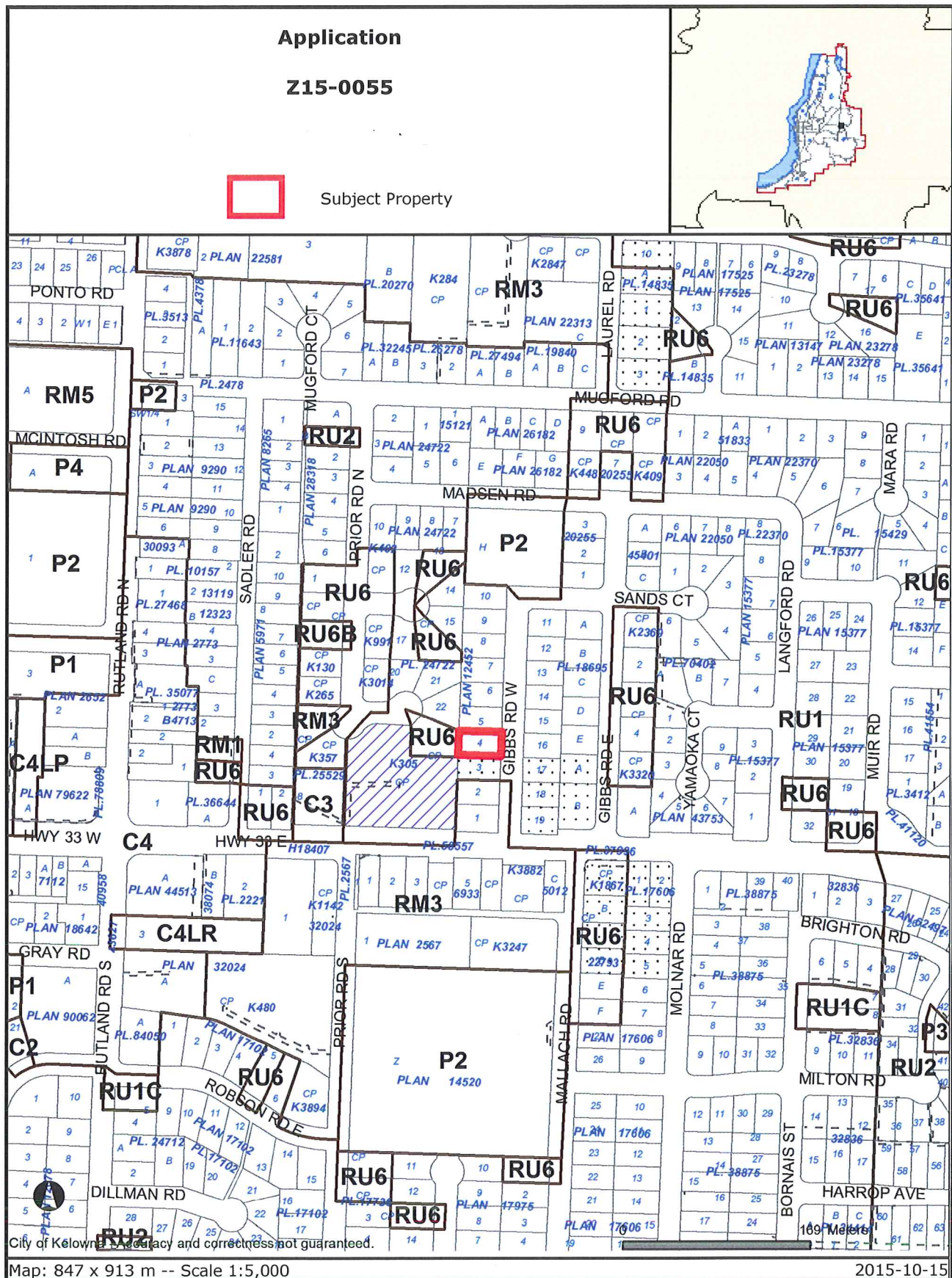




Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only.
The City of Kelowna does not guarantee its accuracy. All information should be verified.

CITY OF KELOWNA
MEMORANDUM

Date: November 25, 2015
File No.: Z15-0055
To: Land Use Management Department (LB)
From: Development Engineering Manager
Subject: 160 Gibbs Rd. W. Lot 4 Plan 12452 Carriage House RU1C

Development Engineering has the following requirements associated with this application.

1. **Domestic Water**

- (a) The property is located within the Rutland Water District (RWD) service area. The water system must be capable of supplying domestic and fire flow demands of the project in accordance with the Subdivision, Development & Servicing Bylaw. The developer is responsible, if necessary, to arrange with RWD staff for any service improvements and the decommissioning of existing services. Only one water service will be permitted to a consolidated lot.

2. **Sanitary Sewer**

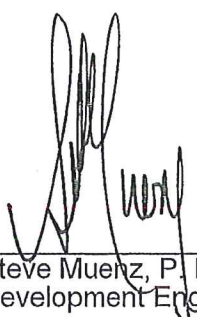
Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service. No service upgrades are required for this application.

3. **Electric Power and Telecommunication Services**

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.

4. **Access and Parking Requirements**

Access to the subject property is limited to Gibbs Road West.



Steve Muenz, P. Eng.
Development Engineering Manager

CITY OF KELOWNA

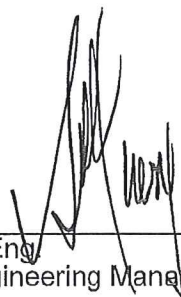
MEMORANDUM

Date: November 25, 2015
File No.: DP15-0251
To: Urban Planning (LB)
From: Development Engineer Manager (SM)
Subject: 160 Gibbs Rd. W. Lot 4 Plan 12452 Carriage House

The Development Engineering comments and requirements regarding this Development Application to construct a carriage house are as follows:

1. General.

Requirements addressed in rezoning file Z15-0055 must be satisfied prior to the issuance of this Development Permit.



Steve Muenz, P.Eng.
Development Engineering Manager

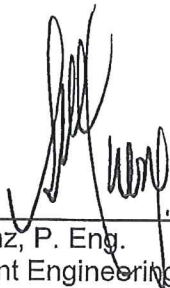
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CITY OF KELOWNA
MEMORANDUM

Date: November 25, 2015
File No.: DVP15-0252
To: Community Planning (LB)
From: Development Engineering Manager (SM)
Subject: 160 Gibbs Rd. W. Lot 4 Plan 12452

Development Engineering comments and requirements regarding this development permit application are as follows:

This development variance permit application to vary the rear yard setback to 1.6m does not compromise any municipal services.



Steve Muenz, P. Eng.
Development Engineering Manager

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PROJECT STATISTICS:

Zoning Analysis Table

CRITERIA	RUTC ZONE REQUIREMENT	PROPOSAL
Development Regulations		
Maximum Total Site Coverage (buildings)	40%	21.8%
Maximum Total Site Coverage (buildings, driveways & parking)	50%	46.0%
Maximum Height	9.5 m / 2 3/4 stories	existing / 1 1/2 story
Minimum Front Yard	4.5 m	7.8 m
Minimum Side Yard (South)	6.0 m (to garage / carport)	
Minimum Side Yard (North)	2.0 m (1 or 1 1/2 storeys)	8.6 m
Minimum Rear Yard	2.3 m (2 or 2 1/2 storeys)	1.5 m
Minimum Rear Yard	4.5 m (flanking street)	
Minimum Rear Yard	7.5 m	22.4 m
Carriage House Development Regulations		
Maximum Accessory Site Coverage	20%	10 %
Maximum Accessory Building Footprint	100 m ² (carriage house), 50 m ² (accessory buildings) 130 m ² (total)	85.8 m ²
Maximum Net Floor Area	100 m ²	80 m ²
Maximum Net Floor Area to Principal Building	75%	40%
Maximum Accessory Site Coverage	14%	n/a
Maximum Accessory Building Footprint	90 m ²	n/a
Maximum Net Floor Area	90 m ²	n/a
Maximum Net Floor Area to Principal Building	75%	n/a
Maximum Upper Storey Floor Area to Building Footprint	75%	n/a
Maximum Height (to mid-point)	4.8 m	4.2 m
Maximum Height (to peak)	Peak of principal dwelling	4.8 m
Minimum Front Yard	To be in rear yard	yes
Minimum Side Yard (South)	2.0 m	2.9 m
Minimum Side Yard (North)	4.5 m (flanking street)	9.1 m
Minimum Rear Yard	0.9 m	1.5 m
Minimum Rear Yard	1.5 m (to garage / carport)	
Minimum Rear Yard	2.0 m (no lane)	
Minimum Distance to Principal Building	3.0 m	12.4 m
Other Regulations		
Minimum Parking Requirements	3 stalls	3 stalls
Minimum Private Open Space	30 m ² per dwelling	30 m ² per dwelling

CONTEXT SITE PLAN:

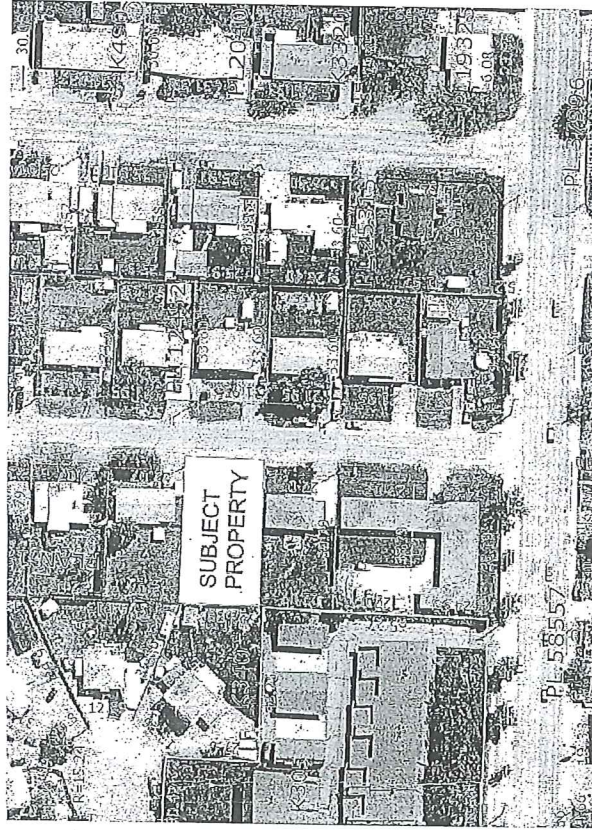
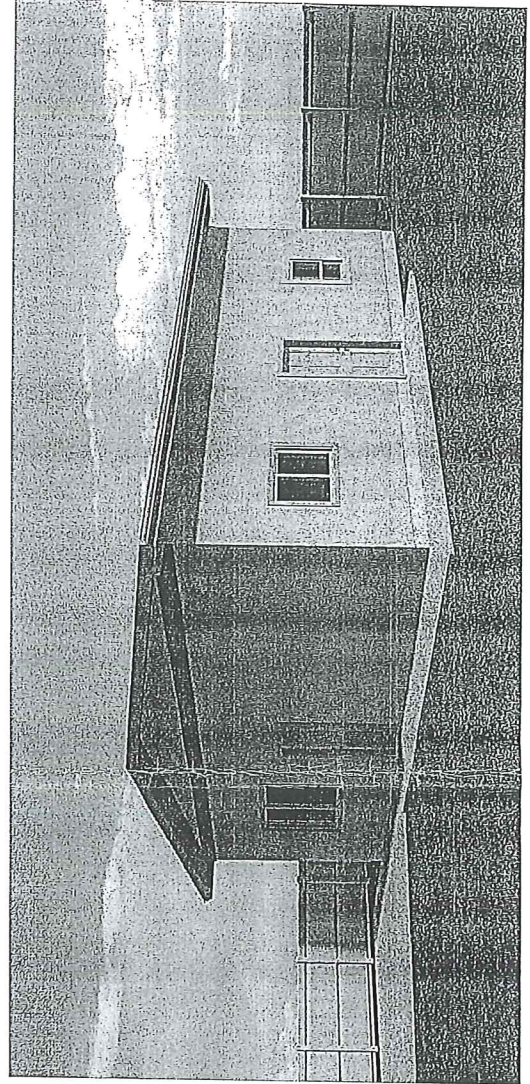


ILLUSTRATION:



Notes:
1. All drawings are the property of the author and shall remain confidential.
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10. All drawings are the property of the author and shall remain confidential.

* The document is:
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☐ A controlled document, it is a working draft.

01 201502 ISSUED FOR REVISION
Date: 2015-02-02
Author: [Name]
Reviewer: [Name]

NOVATION
NOVATION CONSULTING
101-102 CUMBERLAND AVE. SUITE 200
KILGORE, ONT. L3Y 1Y1

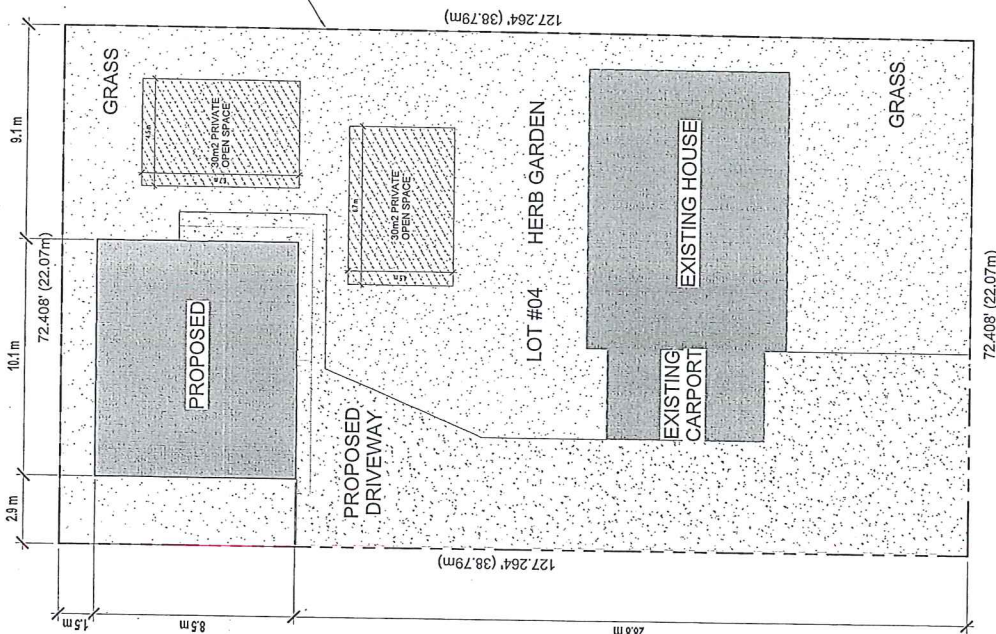
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Project No: [Number]

Scale: 1/8" = 1'-0" (1:96)
Project No: [Number]

Project Name: Carriage House
Project No: [Number]

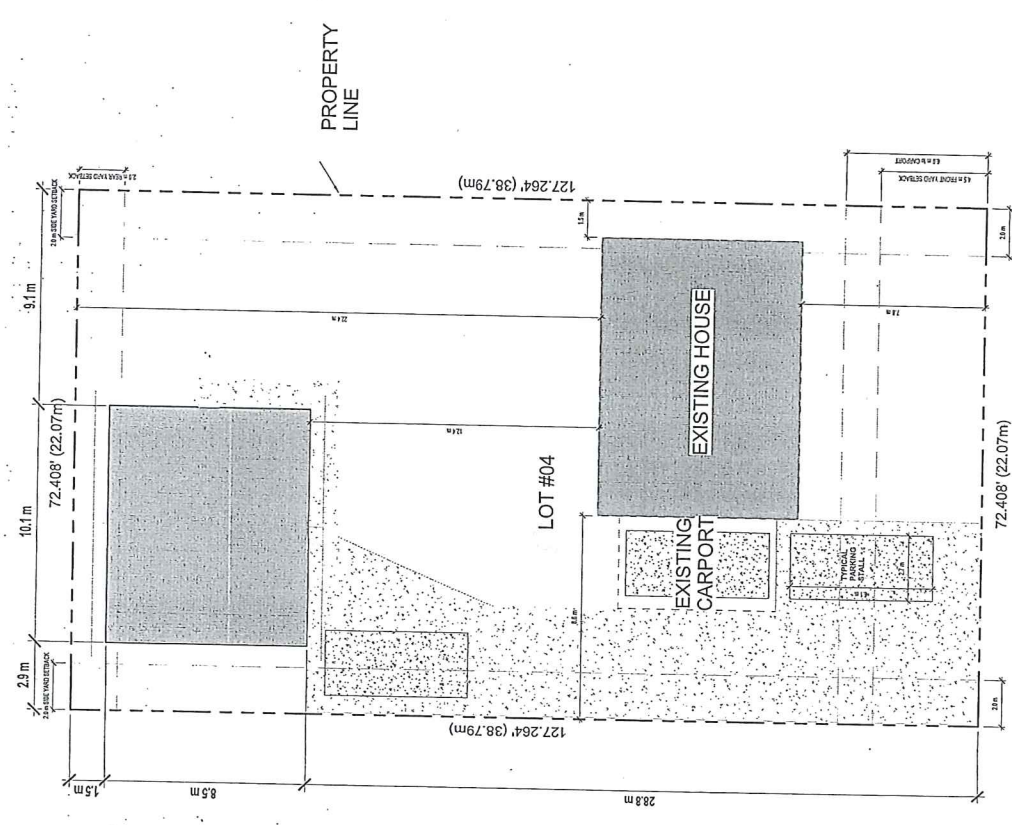
Project Name: Carriage House
Project No: [Number]

Project Name: Carriage House
Project No: [Number]



SITE PLAN:
 -Lot #4, Sec 26, TWP 26, O.D.Y.D
 -Plan 12452
 -Civil Address: #160 Gibbs Rd W., B.C., V1
 -Lot Area: (856.1m2)
 -Zoning: RU1

② Landscape Plan



SITE PLAN:
 -Lot #4, Sec 26, TWP 26, O.D.Y.D
 -Plan 12452
 -Civil Address: #160 Gibbs Rd W., B.C., V1
 -Lot Area: (856.1m2)
 -Zoning: RU1

① Site Plan

Notes:
 1. All dimensions are in meters unless otherwise specified.
 2. All dimensions are to the center of the lot unless otherwise specified.
 3. All dimensions are to the center of the lot unless otherwise specified.
 4. All dimensions are to the center of the lot unless otherwise specified.
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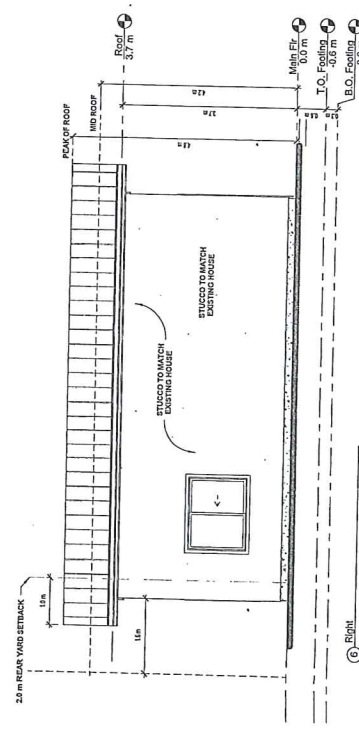
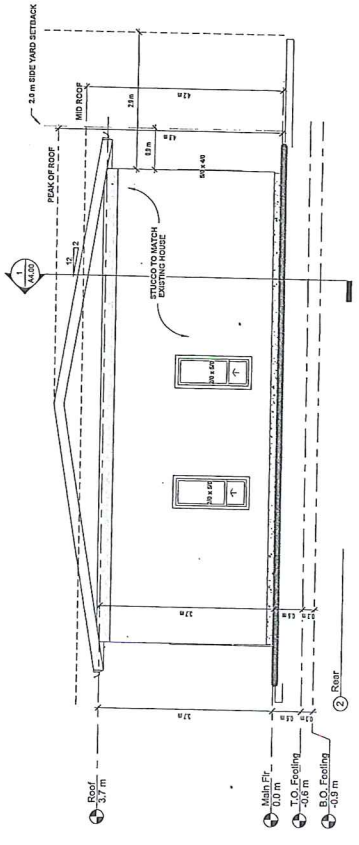
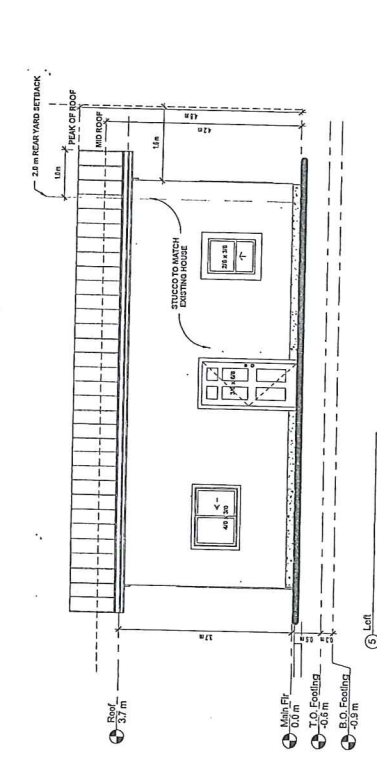
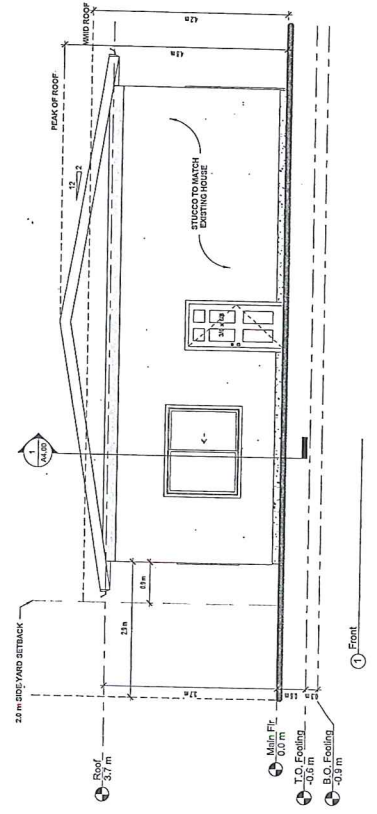
Legend:
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 - CONTROLLED: Features to be shown.
 - NOT CONTROLLED: Features not to be shown.
 - CONTROLLED: Features to be shown.

Project Information:
 Project Name: GIBBS RD. W.
 Project Location: #160 Gibbs Rd W., B.C., V1
 Project Date: 2018-05-10
 Project Status: In Progress
 Project Manager: [Name]
 Project Engineer: [Name]

NOVATION
 101-102 DUNDAS ST. W. 2ND FL.
 TORONTO, ONT. M5G 1C1
 TEL: 416-593-8888
 FAX: 416-593-8889
 WWW.NOVIATION.COM

Revision History:
 Revision No. | Description | Date
 1 | Initial Design | 2018-05-10
 2 | Final Design | 2018-05-10
 3 | Final Design | 2018-05-10
 4 | Final Design | 2018-05-10
 5 | Final Design | 2018-05-10
 6 | Final Design | 2018-05-10
 7 | Final Design | 2018-05-10
 8 | Final Design | 2018-05-10
 9 | Final Design | 2018-05-10
 10 | Final Design | 2018-05-10

Notes:
 1. All dimensions are in meters.
 2. All dimensions are to the centerline of the structure.
 3. All dimensions are to the finished ground level.
 4. All dimensions are to the finished floor level.
 5. All dimensions are to the finished ceiling level.
 6. All dimensions are to the finished roof level.
 7. All dimensions are to the finished wall level.
 8. All dimensions are to the finished window level.
 9. All dimensions are to the finished door level.
 10. All dimensions are to the finished staircase level.
 11. All dimensions are to the finished balcony level.
 12. All dimensions are to the finished terrace level.
 13. All dimensions are to the finished garden level.
 14. All dimensions are to the finished driveway level.
 15. All dimensions are to the finished parking level.
 16. All dimensions are to the finished ramp level.
 17. All dimensions are to the finished bridge level.
 18. All dimensions are to the finished tunnel level.
 19. All dimensions are to the finished bridge level.
 20. All dimensions are to the finished tunnel level.



01 201902 ISSUED FOR PERMITS
 PROJECT NO. 201902
 DRAWING NO. 201902-01

NOVATION
 101-105 DUNDAS ST. E. SUITE 200
 K1C 1G1
 TEL: 416-593-1111

Project Data	
Project Name	Gangplank Carriage House
Project No.	201902
Client	101-105 DUNDAS ST. E. SUITE 200
Architect	NOVATION
Engineer	NOVATION
Scale	1:48
Sheet	PK
Page	PS
Revision	
EXTERIOR ELEVATIONS	
A3.00	

Notes:

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All drawings shall be made in compliance with specifications and standards listed.

All work shall be completed in accordance with Council standards, specifications, B.C. Building Code (2012) zoning and local authority laws and regulations.

Tobacco stands comply with B.C. Fire Department standards.

This drawing must not be used.

Circulation and safety of pedestrians prior to commencement of work.

Any violations or alterations shall be reported to the architect.

Zhuo

☐	NOT controlled. Revisions may be made without notice.
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☐	Not for Construction.

01 20151002 ISSUED FOR REZONE/OP
 No. date
 No. date



Garage/Futuro Carriago House

Lot #4, Sec 26, Twp 26, O.D.Y.D. Phase 12452

BUILDING SECTIONS

Spind	PK	Scale	1:48
are	PK		
shed	PS		

A4.00

