



CITY OF KELOWNA
MEMORANDUM

Date: June 6, 2017
File No.: Z17-0026
To: Community Planning (LK)
From: Development Engineering Manager(SM)
Subject: 1350 – 1370 KLO Road

RM5

Development Engineering Department have the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Jason Angus.

1. Domestic Water and Fire Protection

- (a) The development site is presently serviced with a small diameter (19-mm) water service. The developer's consulting mechanical engineer will determine the domestic, fire protection requirements of this proposed development and establish hydrant requirements and service needs. Only one service will be permitted for this development. The estimated cost of this construction for bonding purposes is **\$20,000.00**
- (b) A water meter is mandatory for this development and must be installed inside a building on the water service inlet as required by the City Plumbing Regulation and Water Regulation bylaws. The developer or building contractor must purchase the meter from the City at the time of application for a building permit from the Inspection Services Department, and prepare the meter setter at his cost.
- (c) An approved backflow protection device must also be installed on site as required by the City Plumbing Regulation and Water Regulation bylaws.

2. Sanitary Sewer

- (a) The development site is presently serviced with a 100mm-diameter sanitary sewer service. Only one service will be permitted for this development. The developer's consulting mechanical engineer will determine the servicing requirements of this proposed development. The estimated cost of this construction for bonding purposes is **\$8,000.00**
- (b) The downstream 250mm diameter sanitary sewer main in KLO Road (between Gordon Drive and Lowe Court) is limited in capacity. A flow analysis check is required by the developer's civil engineering consultant. If it is determined that upgrades to the main are required, the estimated cost to upgrade this section of main for bonding purposes is **\$100,000.00**

3. Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for these sites which meets the requirements of the City Subdivision Development and Servicing Bylaw 7900. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.
- (b) Only one service will be permitted for this development. The applicant, at their cost, will arrange the installation of one overflow service. The estimated cost of this construction for bonding purposes is **\$12,000.00**

4. Road Improvements

- (a) KLO Road fronting this development has been urbanized. The existing driveway let-downs must be removed and replaced with barrier curb & gutter. The existing two way left turn lane must be upgraded to an all movement exclusive left turn lane cross section including concrete medians to be aligned with the access to 1359 KLO Road. The boulevard full frontage is landscaped complete with street trees. The estimated cost of this construction for bonding purposes is **\$60,000.00**

6. Subdivision

- (a) Grant Statutory Rights of Way if required for utility services.
- (b) Lot consolidation.
- (c) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.

7. Electric Power and Telecommunication Services

The electrical and telecommunication services to this development must be installed in an underground duct system. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services which would be at the applicant's cost.

8. Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the city engineering department for review and marked "issued for construction" by the city engineer before construction may begin.

9. Design and Construction

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.

- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

10. Servicing Agreements for Works and Services

- (a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

11. Geotechnical Report

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.

12. Bonding and Levy Summary(a) Bonding

Water works	\$20,000.00
Sanitary Service	\$ 8,000.00
Storm Service	\$12,000.00
KLO Rd works	\$60,000.00
Flow analysis and sewer pipe upgrade KLO Rd Gordon - Lowe	\$100,000.00
Total Bonding	\$200,000.00

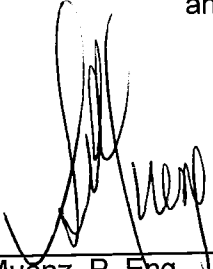
NOTE: The bonding amount shown above are comprised of estimated construction costs escalated by 140% to include engineering design and contingency protection and are provided for information purposes only. The owner should engage a consulting civil engineer to provide detailed designs and obtain actual tendered construction costs if he wishes to do so. Bonding for required off-site construction must be provided and may be in the form of cash or an irrevocable letter of credit, in an approved format.

The owner must also enter into a servicing agreement in a form provided by the City.

12. Development Permit and Site Related Issues

Access and Manoeuvrability

- (i) One site access for the development to KLO Rd is permitted and must be located opposite the access to 1359 KLO Road.
- (ii)
- (iii) The site plan should illustrate the ability of an MSU standard size vehicle to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles, the site plan should be modified and illustrated accordingly.
- (iv) Indicate on the site, the locations of loading bays as well as the garbage and recycle bins.


 Steve Muenz, P. Eng.
 Development Engineering Manager
 SS



CITY OF KELOWNA

Planner
Initials

LK

City of
Kelowna
COMMUNITY PLANNING

MEMORANDUM

Date: June 5, 2017
File No.: OCP17-0010
To: Community Planning (LK)
From: Development Engineering Manager (SM)
Subject: 1350 & 1370 KLO Road

The Development Engineering Branch comments and requirements regarding this OCP amendment application are as follows:

1. **General**

All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z17-0026.

A handwritten signature in black ink, appearing to read 'Steve Muenz', written over a horizontal line.

Steve Muenz, P. Eng
Development Engineering Manager

SS

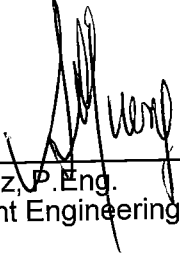
**CITY OF KELOWNA****MEMORANDUM**

Date: June 5, 2017
File No.: DP17-0068
To: Community Planning (Lk)
From: Development Engineer Manager (SM)
Subject: 1350 & 1370 KLO Road

The Development Engineering comments and requirements regarding this Development Permit application are as follows:

1. **General.**

- a) All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z17-0026.



Steve Muenz, P. Eng.
Development Engineering Manager

SS



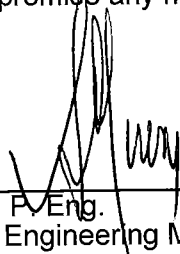
CITY OF KELOWNA

MEMORANDUM

Date: June 5, 2017
File No.: DVP17-0069
To: Community Planning (LK)
From: Development Engineer Manager (SM)
Subject: 1350 & 1370 KLO Road

The Development Engineering comments and requirements regarding this DVP application are as follows:

This development variance permit application to vary the building height and side yard setback does not compromise any municipal services.



Steve Muenz, P.Eng.
Development Engineering Manager

SS

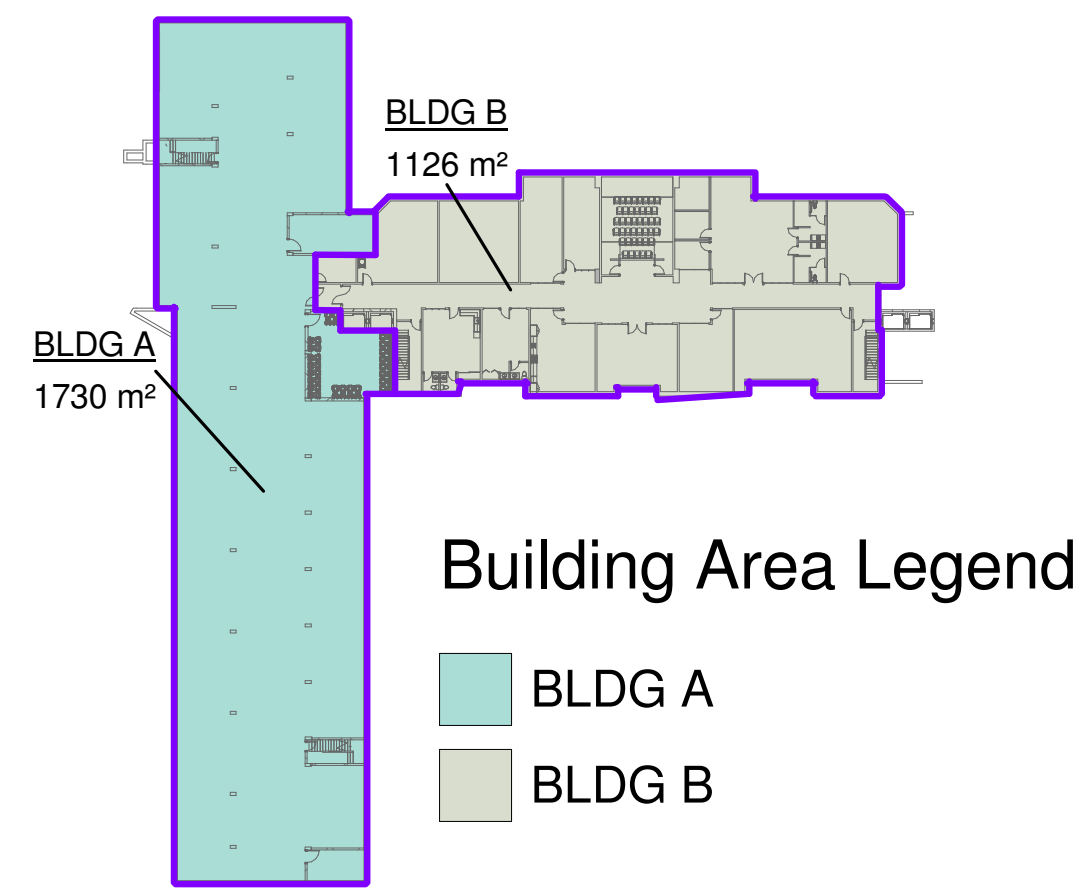
SUMMERWOOD RETIREMENT RESORT

OCP AMENDMENT, REZONING & DEVELOPMENT PERMIT SET



ISSUE FOR:
OCP AMENDMENT, REZONING &
DEVELOPMENT PERMIT

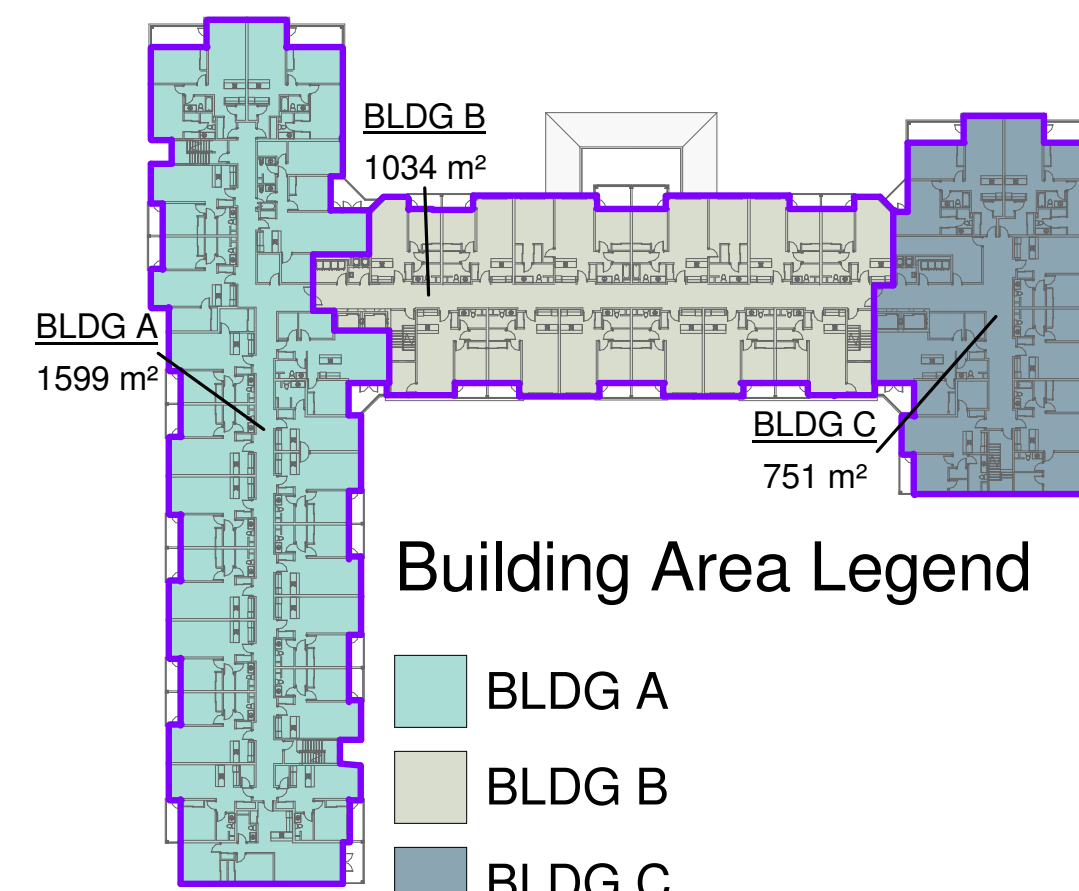
A0	TITLE PAGE
A1	PROJECT SUMMARY
A2	SITE PLAN
A3	LOWER LEVEL
A4	MAIN FLOOR PLAN
A5	SECOND FLOOR PLAN
A6	THIRD FLOOR PLAN
A7	FOURTH FLOOR PLAN
A8	FIFTH FLOOR PLAN
A9	ROOF PLAN
A10	ELEVATIONS
A11	ELEVATIONS
A12	PERSPECTIVE



Building Area Legend

- BLDG A
- BLDG B

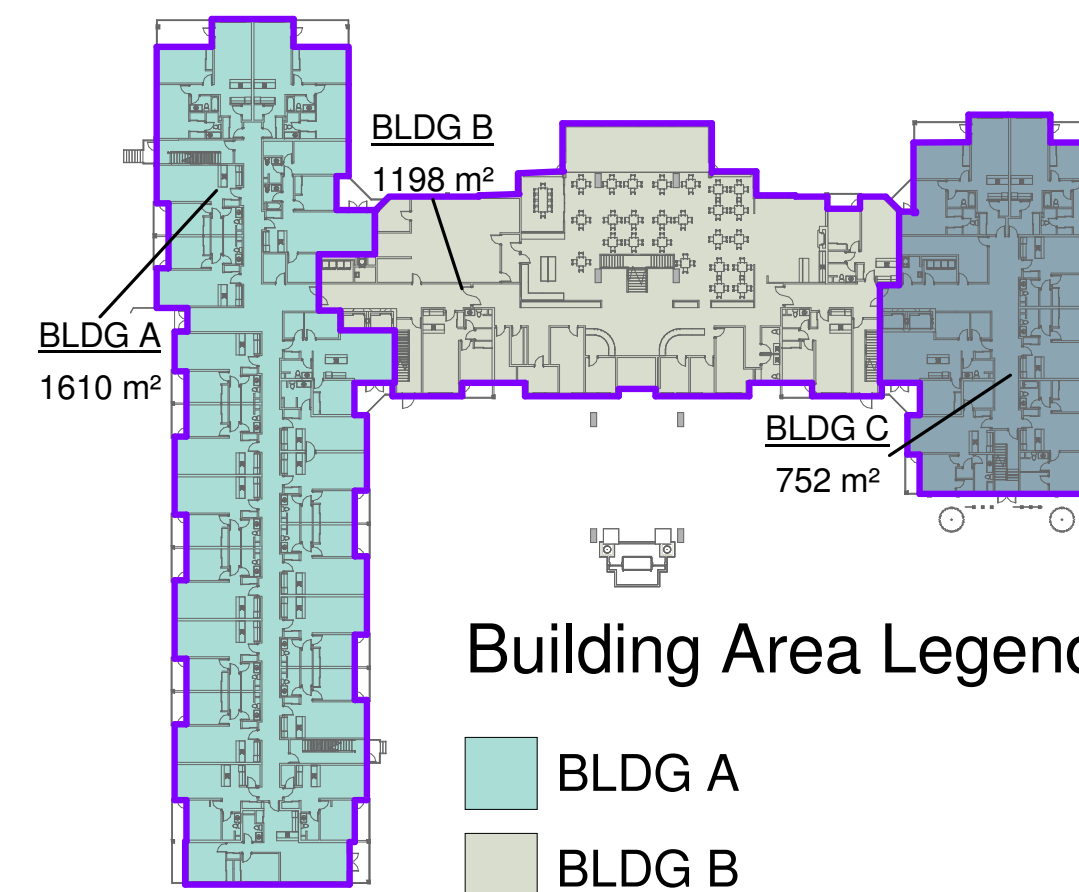
1 LOWER LEVEL
A10 SCALE: 1/64" = 1'-0"



Building Area Legend

- BLDG A
- BLDG B
- BLDG C

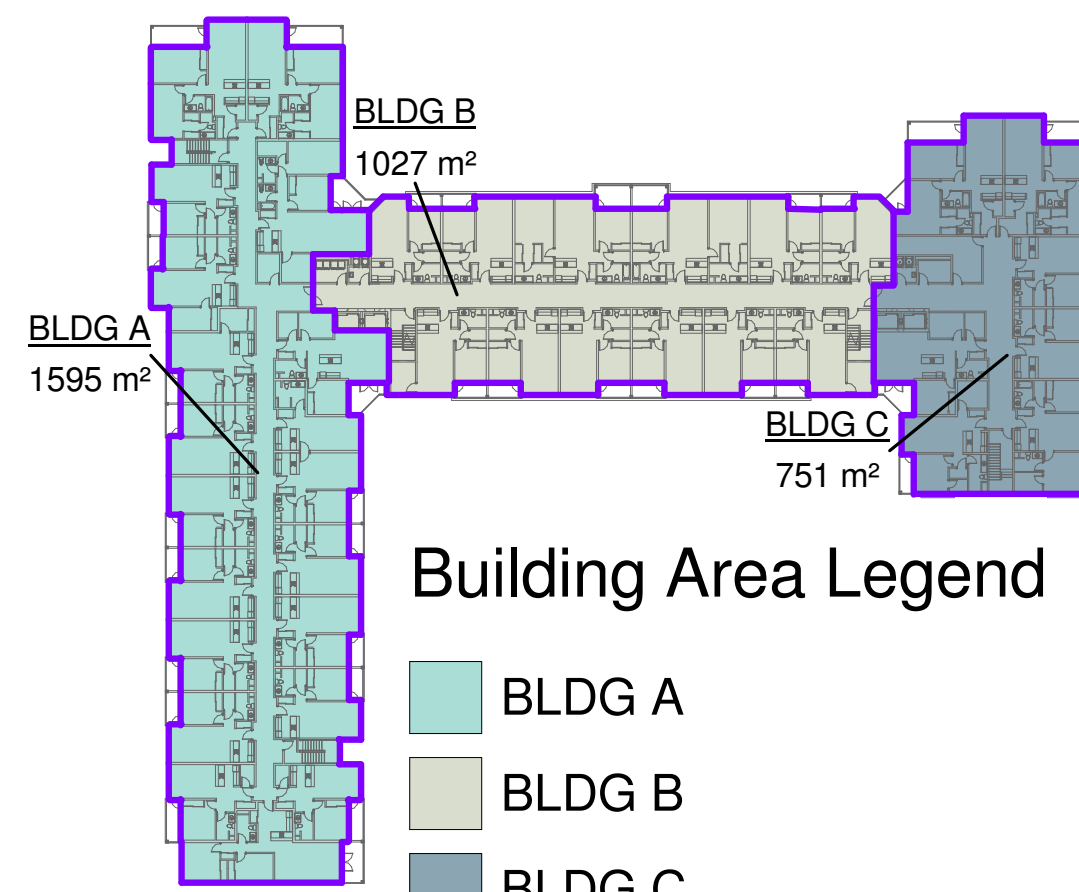
4 THIRD FLOOR
A10 SCALE: 1/64" = 1'-0"



Building Area Legend

- BLDG A
- BLDG B
- BLDG C

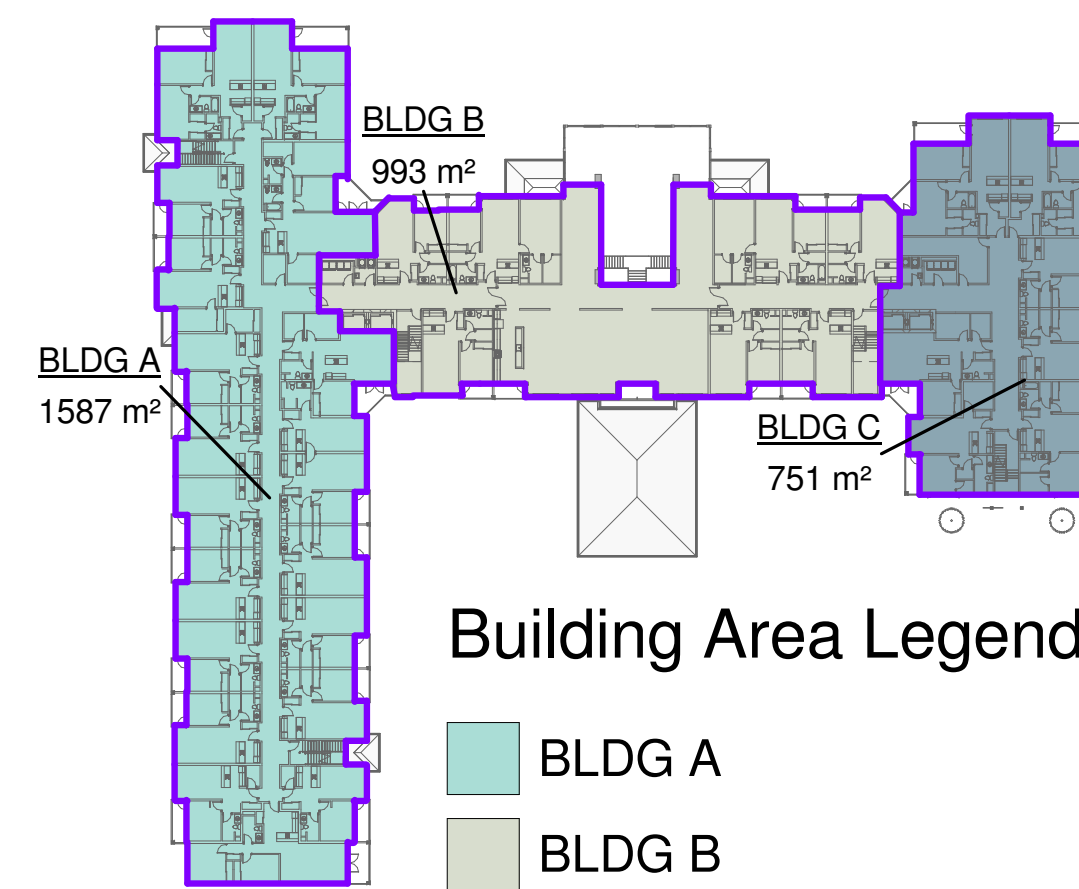
2 MAIN FLOOR
A10 SCALE: 1/64" = 1'-0"



Building Area Legend

- BLDG A
- BLDG B
- BLDG C

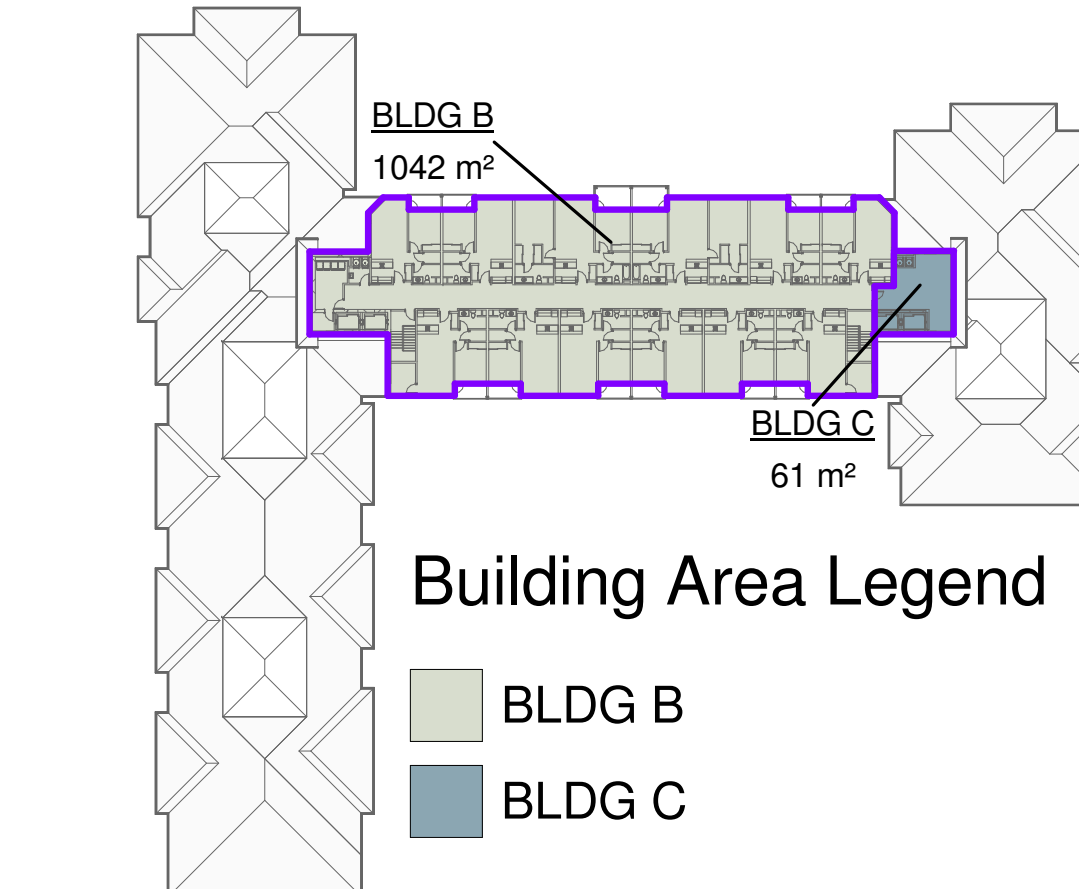
5 FOURTH FLOOR
A10 SCALE: 1/64" = 1'-0"



Building Area Legend

- BLDG A
- BLDG B
- BLDG C

3 SECOND FLOOR
A10 SCALE: 1/64" = 1'-0"



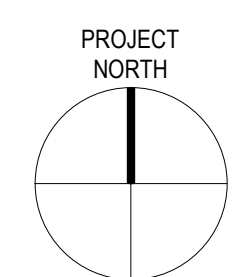
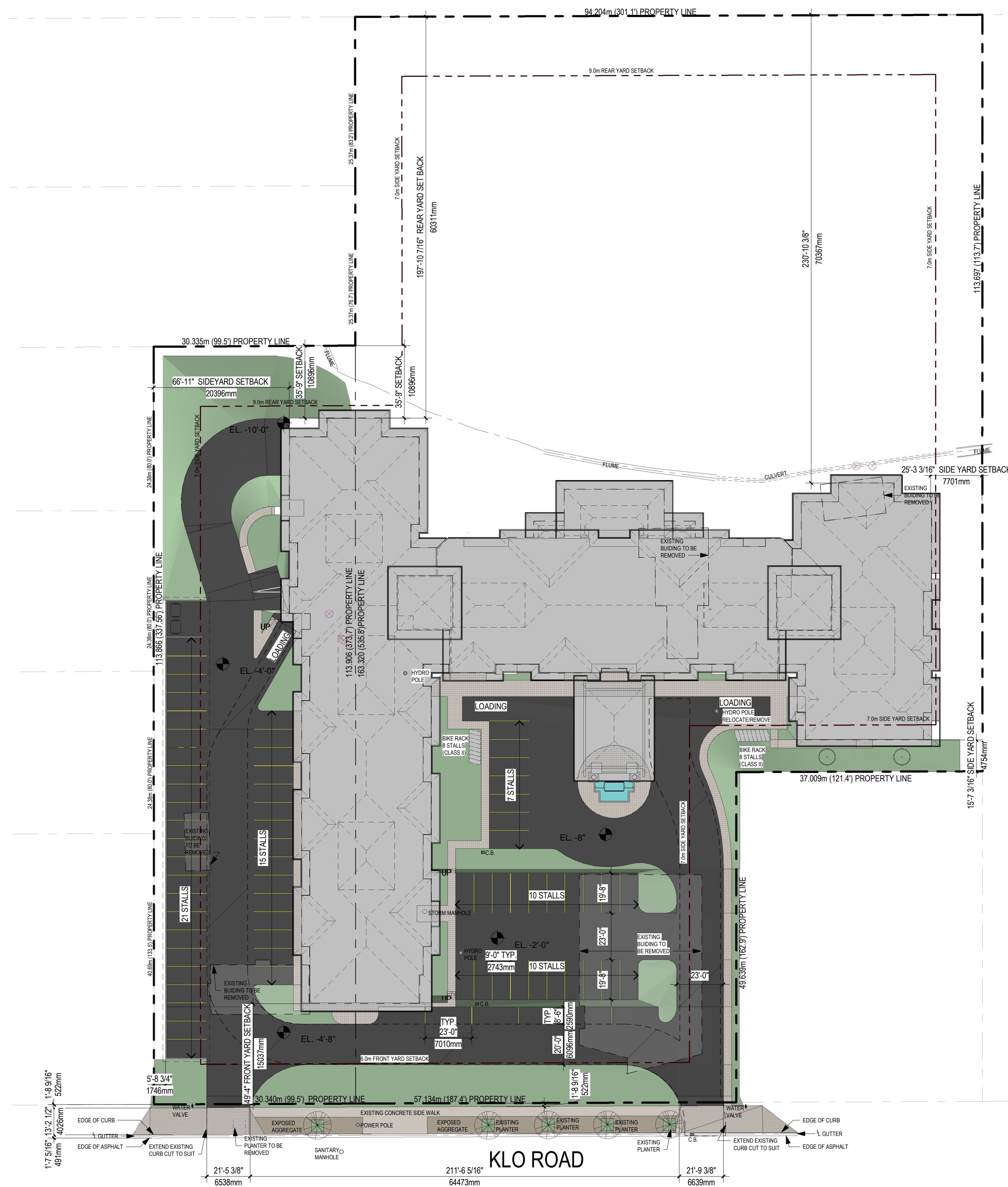
Building Area Legend

- BLDG B
- BLDG C

6 FIFTH FLOOR
A10 SCALE: 1/64" = 1'-0"

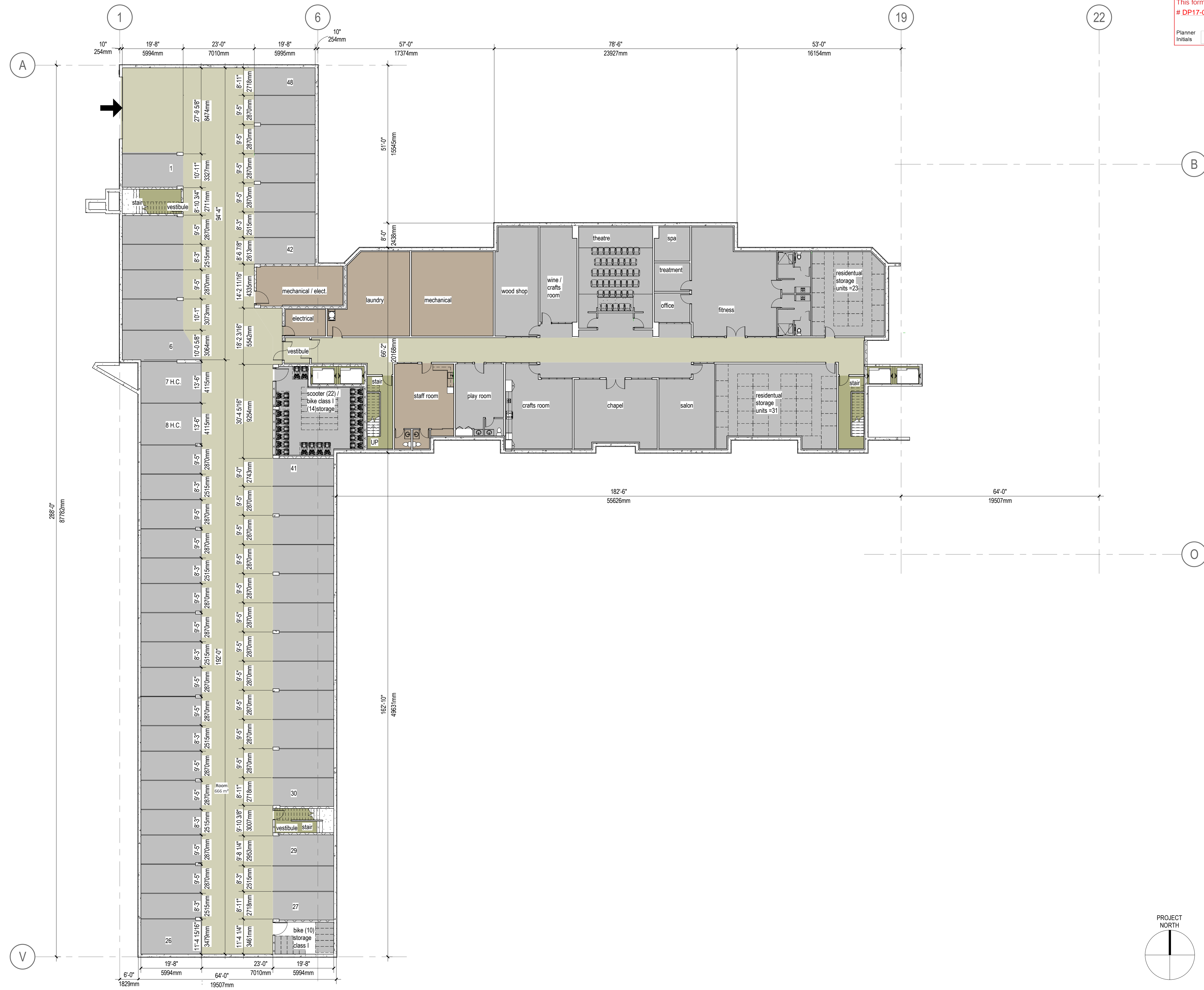
AREA SCHEDULE (GROSS BUILDING)	
LEVEL	AREA
BLDG A	
LOWER LEVEL	1,730 m ²
MAIN FLOOR	1,610 m ²
SECOND FLOOR	1,587 m ²
THIRD FLOOR	1,599 m ²
FOURTH FLOOR	1,595 m ²
FIFTH FLOOR	61 m ²
BLDG B	8,121 m²
LOWER LEVEL	1,126 m ²
MAIN FLOOR	1,198 m ²
SECOND FLOOR	993 m ²
THIRD FLOOR	1,034 m ²
FOURTH FLOOR	1,027 m ²
FIFTH FLOOR	1,042 m ²
BLDG C	6,421 m²
MAIN FLOOR	752 m ²
SECOND FLOOR	751 m ²
THIRD FLOOR	751 m ²
FOURTH FLOOR	751 m ²
FIFTH FLOOR	61 m ²
TOTAL	31,067 m²

SUITE COUNT BY LEVEL		
SUITE TYPE	NO.	
MAIN FLOOR		
1 BEDROOM	19	
1 BEDROOM + DEN	3	
2 BEDROOM	6	
2 BEDROOM + DEN	1	
STUDIO	1	
TOTAL	30	
SECOND FLOOR		
1 BEDROOM	19	
1 BEDROOM + DEN	4	
2 BEDROOM	9	
2 BEDROOM + DEN	1	
STUDIO	1	
TOTAL	34	
THIRD FLOOR		
1 BEDROOM	22	
1 BEDROOM + DEN	6	
2 BEDROOM	9	
2 BEDROOM + DEN	1	
STUDIO	1	
TOTAL	39	
FOURTH FLOOR		
1 BEDROOM	22	
1 BEDROOM + DEN	6	
2 BEDROOM	9	
2 BEDROOM + DEN	1	
STUDIO	1	
TOTAL	39	
FIFTH FLOOR		
1 BEDROOM	8	
1 BEDROOM + DEN	2	
2 BEDROOM	2	
TOTAL	12	
TOTAL	154	
TOTAL SUITE COUNT		
SUITE TYPE	NO.	%
1 BEDROOM	90	58%
1 BEDROOM + DEN	21	14%
2 BEDROOM	35	23%
2 BEDROOM + DEN	4	3%
STUDIO	4	3%
TOTAL	154	100%



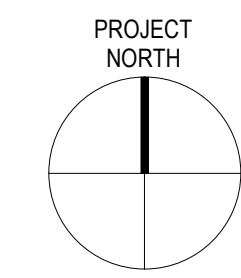
ITEM	REQUIRED / ALLOWED	PROVIDED
0. EXISTING SITE STATS		
LAND PARCEL # 1		
STREET ADDRESS	1370 KLO ROAD	
LEGAL DISCRPTION	PLAN # 27982 LOT #1 EXCEPT KAP57931	
EXISTING ZONING	P2	
OFFICIAL COMMUNITY PLAN	EDINS - EDUCATIONAL / INSTITUTIONAL	
AREA	13x556.97 m ² (145,926 ft ²)	
LAND PARCEL # 2		
STREET ADDRESS	1350 KLO ROAD	
LEGAL DISCRPTION	PLAN # 1070 LOT # 15 EXCEPT PLAN KAP79079	
EXISTING ZONING	RU1	
OFFICIAL COMMUNITY PLAN	S2 RESIDENTIAL- SINGLE 182 UNIT RESIDENTIAL	
AREA	3,447,922 m ² (37,113 ft ²)	
1. PROPOSED SITE STATS		
PROPOSED SITE ZONING		RM5
COMBINED LOT AREA		17,004.9 m ²
HEIGHT	4.5 STOREYS / (MAX) 18.0 m (58 ft)	5.0 STOREYS / 16 m (53 ft)
TOTAL DWELLING UNITS		154 UNITS
LOT AREA	(MIN.) 1,400 m ² (15069.5 ft ²)	17,004.9 m ² (183,039.2 ft ²)
LOT AREA (NET)	1,400 m ² (15069.5 ft ²)	17,004.9 m ² (183,039.2 ft ²)
2. SETBACKS		
FRONT YARD (SOUTH)	6.0m	14.97m
SIDE YARD (SOUTH)	4.5m / 7m (14.76 ft/ 26.0 ft)	4.75m (15.58 ft)
SIDE YARD (WEST) CARPORTS	1.5m (4.72 ft)	1.75m (5.74 ft)
SIDE YARD (WEST) ≤ 2 1/2 STOREYS	4.5m / 7m (14.76 ft/ 26.0 ft)	1.75m / 20.40m (5.74 ft/ 66.93 ft)
SIDE YARD (EAST) < 2 1/2 STOREYS	4.5m / 7m (14.76 ft/ 26.0 ft)	7.62m (25 ft)
SIDE YARD (NORTH)	9.0m (29.53 ft)	10.90m / (35.76 FT.)
3. LANDSCAPE BUFFERS		
FRONT YARD (SOUTH)	3.0 m (9.84 ft) - LEVEL 2	5.76m (18.90 ft)
SIDE YARD (SOUTH)	3.0 m (9.84 ft) - LEVEL 3	4.75m (15.58 ft)
SIDE YARD (WEST)	3.0 m (9.84 ft) - LEVEL 3	1.5m / 4.11m (4.92 ft / 13.48 ft)
SIDE YARD (EAST)	3.0 m (9.84 ft) - LEVEL 3	1.91m to 7.62m (6.27ft/ 25.0 ft)
REAR YARD (NORTH)	3.0 m - LEVEL 3	10.88m to 60.46m (35.70 ft / 198.36 ft)
4. FLOOR SPACE RATIO		
FLOOR AREA RATIO	1.1	< 0.93
LOT AREA (NET)		17,004.9 m ² (183,039.2 ft ²)
FLOOR AREA (NET)	18,705.39m ² (201,343.14 ft ²)	15870 m ² (170,823.3 ft ²)
FLOOR AREA (GROSS)		17,600 m ² (189,444.8 ft ²)
5. BUILDING SITE COVERAGE		
MAX BUILDING FOOT PRINT (% OF SITE)	(MAX) 40%	23.4%
MAX BUILDING FOOT PRINT AREA	(MAX) 6801.96 m ² (73,215.69 ft ²)	3,984 m ² (40,730.64 ft ²)
MAX BUILDING FOOT PRINT & PARKING (% OF SITE)	65%	42.7%
MAX BUILDING FOOT PRINT & PARKING AREA	(MAX) 11053 m ² (115,973.5 ft ²)	7,277 m ² (78,328.96 ft ²)
6. PARKING		
ABOVE GROUND PARKING		53 STALLS
CARPORT PARKING		23 STALLS
BELOW GRADE PARKING		46 STALLS
LOADING PARKING SPACES		3 STALLS
HANDICAP PARKING	2 STALLS	2 STALLS
STAFF PARKING	12 STALLS	
SLEEPING AREAS = 193	65 STALLS	
TOTAL PARKING STALLS REQUIRED = 193 / PROVIDED	77 STALLS REQUIRED	137 STALLS PROVIDED
7. BICYCLE PARKING		
CLASSIFICATION (CLASS I) 154 UNITS X 0.5	77 BIKE STALLS	24 BIKE STALLS
SCOOTER PARKING C/W RECHARGING OUTLET		22 SCOOTER STALLS
RESIDENTIAL STORAGE LOCKERS		56 STOR. LOCKERS
TOTAL BICYCLE PARKING (CLASS I)	77 BIKE STALLS REQUIRED	± 118 BIKE STORAGE
CLASSIFICATION (CLASS II) 154 UNITS X 0.1	16 BIKE STALLS	16 BIKE STALLS
TOTAL BICYCLE PARKING (CLASS II)	16 BIKE STALLS REQUIRED	16 BIKE STALLS
8. DENSITY		
STUDIO		4 UNITS
1 BEDROOM		111 UNITS
2 BEDROOM		39 UNITS
TOTAL		154 UNITS
10. PRIVET OPEN SPACE		
BACK YARD (NOT INCLUDING SETBACKS)		5232 m ²
EXTERIOR DECKS		940 m ²
AMENITY SPACE		3007 m ²
TOTAL AREA	2670 m ²	> 9179 m ²

SUITE AREA CHART					
SUITE TYPE	NUMBER OF BEDROOMS	SUITE AREA	NUMBER OF SUITES	TOTAL SUITE AREA	OCCUPANTS
UNIT TYPE A	0	44 m ²	4	176 m ²	4
UNIT TYPE B	1	58 m ²	9	518 m ²	9
UNIT TYPE C	1	58 m ²	8	463 m ²	8
UNIT TYPE D	1	60 m ²	62	3721 m ²	62
UNIT TYPE D1	1	63 m ²	11	689 m ²	11
UNIT TYPE E	1.5	68 m ²	6	410 m ²	6
UNIT TYPE F	1.5	69 m ²	3	208 m ²	3
UNIT TYPE G	1.5	72 m ²	4	289 m ²	4
UNIT TYPE H	2	72 m ²	3	217 m ²	6
UNIT TYPE J	1.5	78 m ²	8	621 m ²	8
UNIT TYPE K	2	92 m ²	4	368 m ²	8
UNIT TYPE L	2	97 m ²	6	582 m ²	12
UNIT TYPE M	2	101 m ²	6	605 m ²	12
UNIT TYPE N	2	104 m ²	16	1667 m ²	32
UNIT TYPE P	2.5	119 m ²	4	477 m ²	8
			154	11001 m ²	193
TOTAL STAFF 12					TOTAL NUMBER OF OCCUPANTS = 205



Department Legend

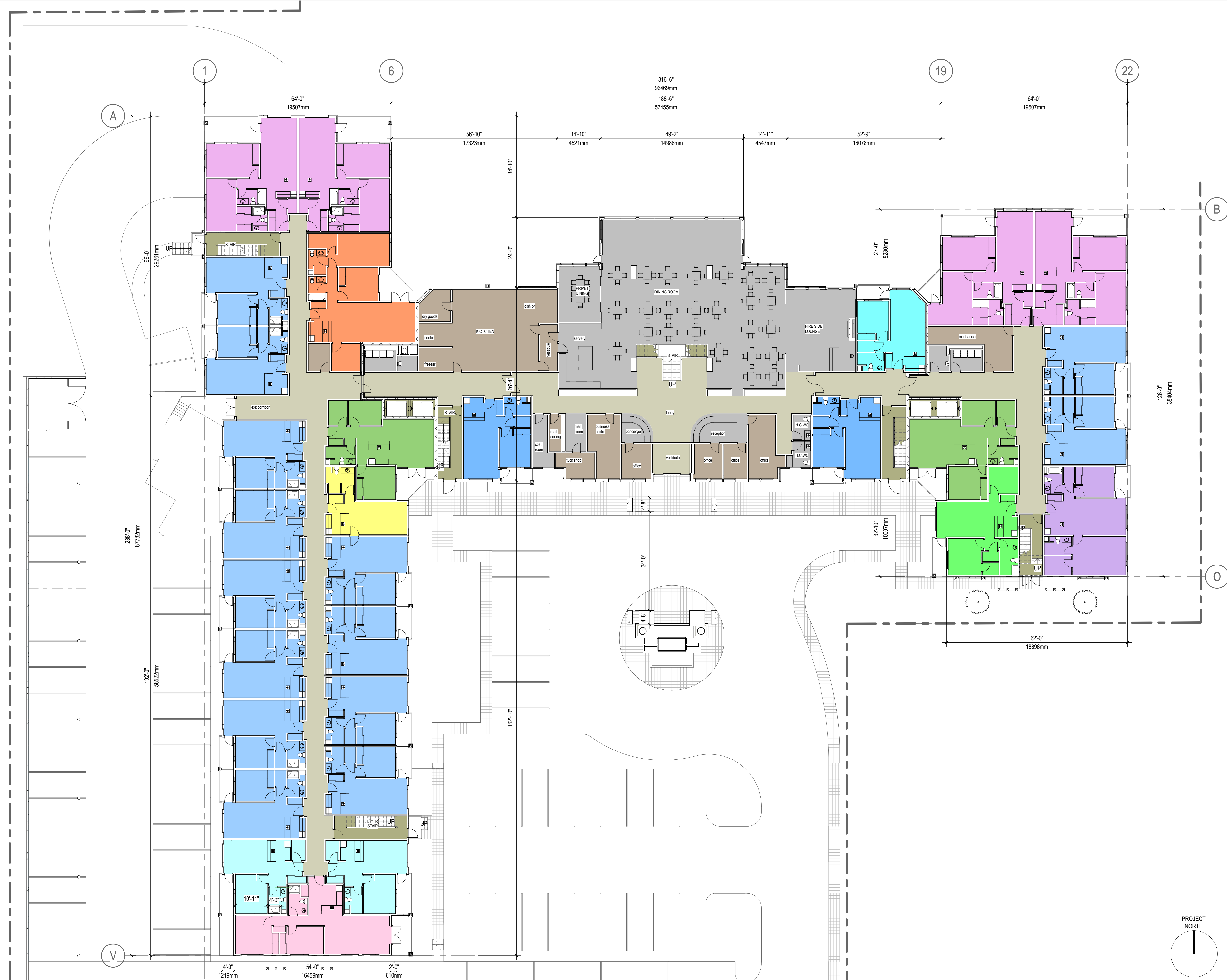
- CIRCULATION
- COMMON
- OPERATIONS SPACE
- VERTICAL CIRCULATION



LOWER LEVEL

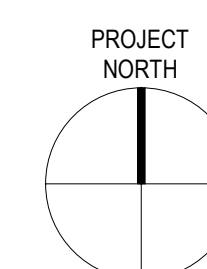
SUMMERWOOD RETIREMENT RESORT
 STREET ADDRESS: 1350 & 1370 KLO ROAD, KELOWNA, BC
 LEGAL ADDRESS: PLAN # 1070, LOT 15, EXCEPT KAP 79079 & PLAN # 27982, LOT #1, EXCEPT 57931

DRAWING: **A3**
 PROJECT: 16040
 DATE: 2017/03/01
 SCALE: 1/16" = 1'-0"



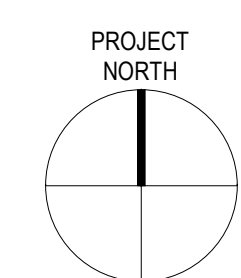
Department Legend

- CIRCULATION
- COMMON
- OPERATIONS SPACE
- TYPE A - STUDIO + 472 s.f.
- TYPE B - 1BDRM 619 s.f.
- TYPE C - 1BDRM 623 s.f.
- TYPE D1 - 1BDRM 674 s.f.
- TYPE D - 1BDRM 646 s.f.
- TYPE G - 1 BDRM + DEN 778 s.f.
- TYPE J - 1 BDRM + DEN 836 s.f.
- TYPE K - 2 BDRM 985 s.f.
- TYPE L - 2 BDRM 1045 s.f.
- TYPE N - 2 BDRM 1115 s.f.
- TYPE P - 2 BDRM+DEN 1284 s.f.
- VERTICAL CIRCULATION





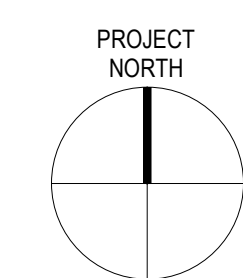
- Department Legend**
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 - TYPE D - 1BDRM 646 s.f.
 - TYPE F - 1 BDRM + DEN 746 s.f.
 - TYPE G - 1 BDRM + DEN 778 s.f.
 - TYPE H - 2 BDRM 778 s.f.
 - TYPE J - 1 BDRM + DEN 836 s.f.
 - TYPE K - 2 BDRM 985 s.f.
 - TYPE L - 2 BDRM 1045 s.f.
 - TYPE N - 2 BDRM 1115 s.f.
 - TYPE P - 2 BDRM+DEN 1284 s.f.
 - VERTICAL CIRCULATION

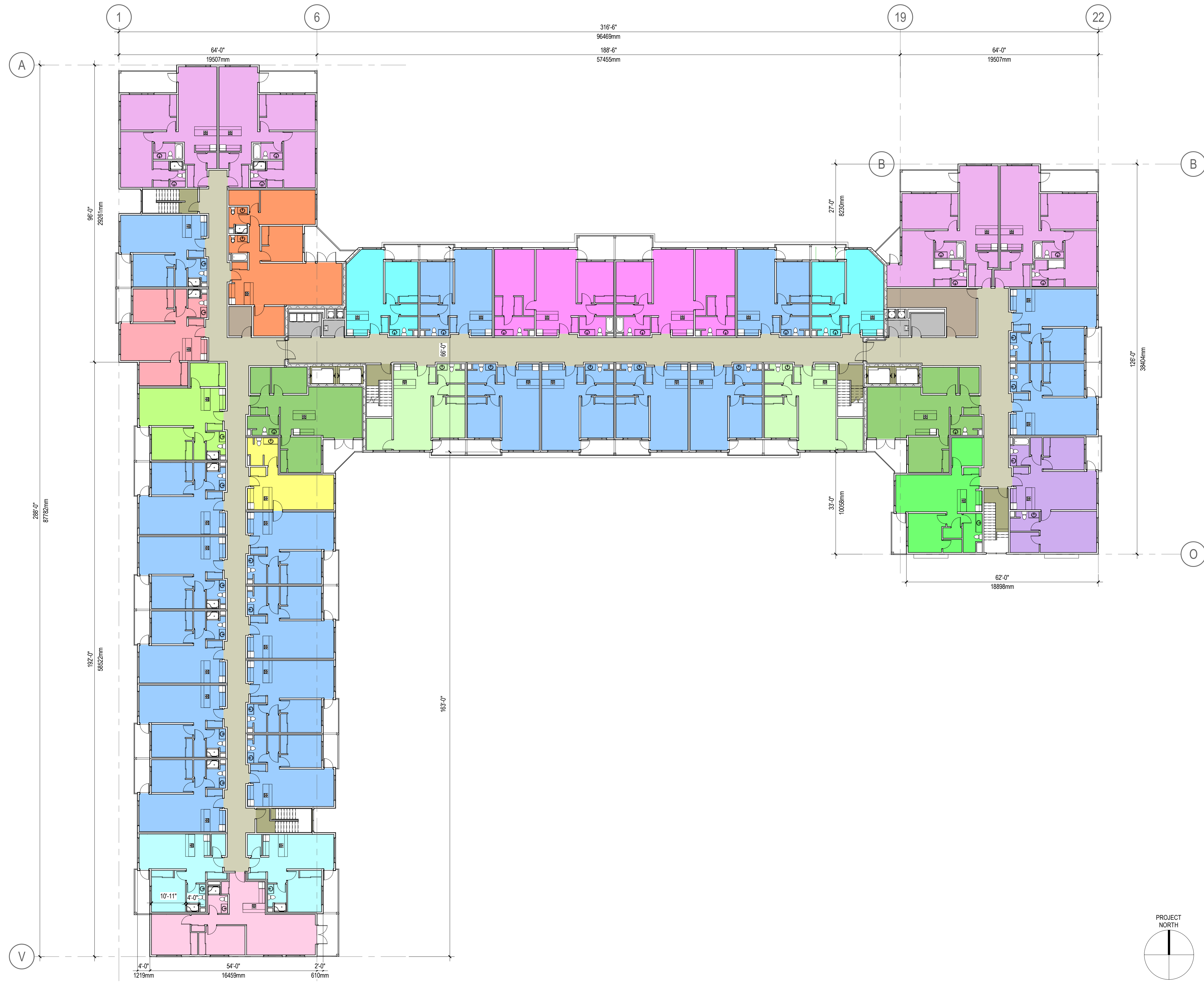




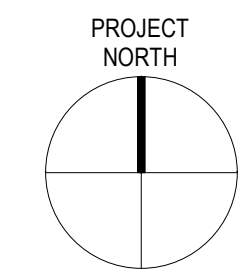
Department Legend

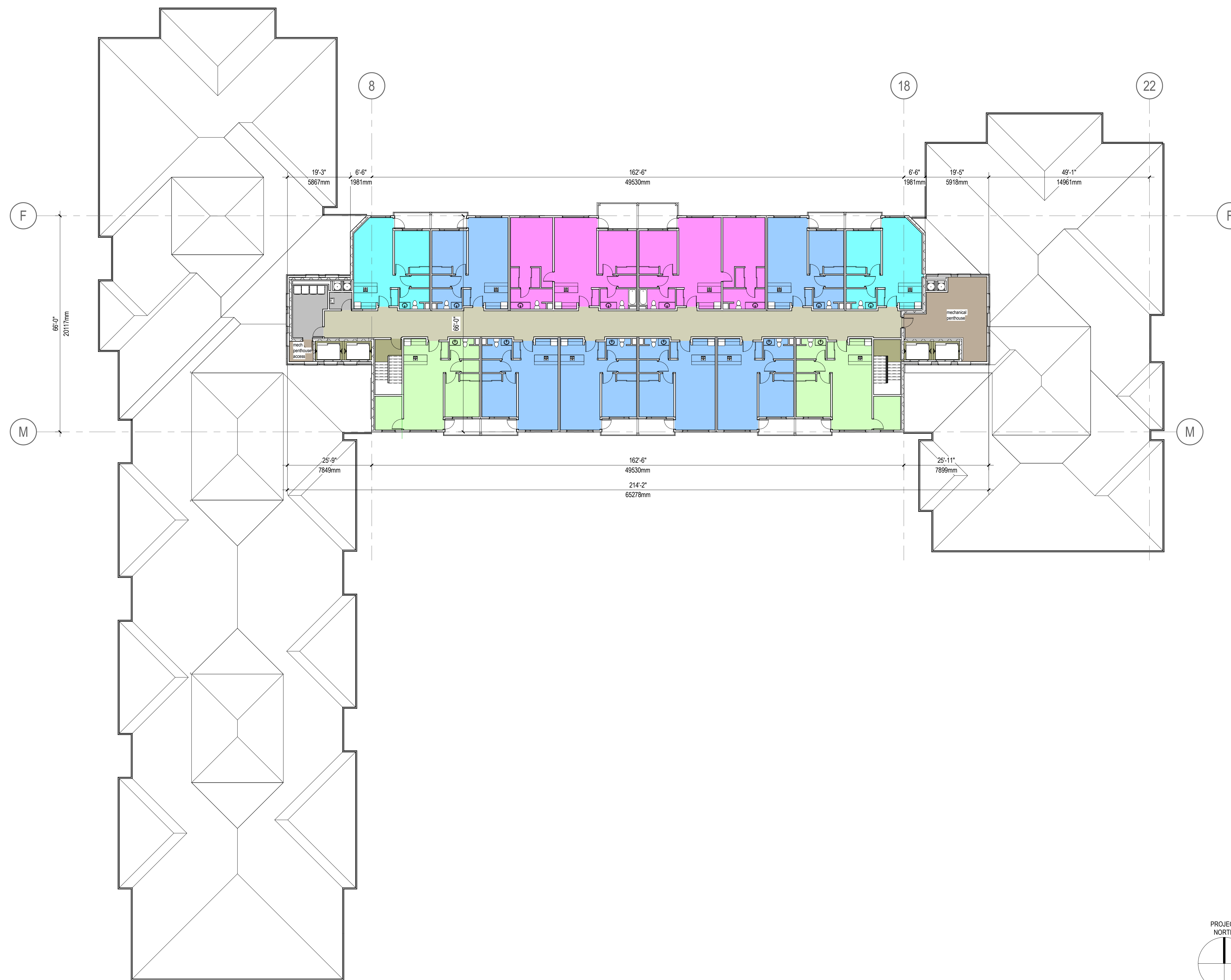
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- TYPE D - 1BDRM 646 s.f.
- TYPE E - 1BDRM + DEN 736 s.f.
- TYPE F - 1 BDRM + DEN 746 s.f.
- TYPE G - 1 BDRM + DEN 778 s.f.
- TYPE H - 2 BDRM 778 s.f.
- TYPE J - 1 BDRM + DEN 836 s.f.
- TYPE K - 2 BDRM 985 s.f.
- TYPE L - 2 BDRM 1045 s.f.
- TYPE M - 2 BDRM 1086 s.f.
- TYPE N - 2 BDRM 1115 s.f.
- TYPE P - 2 BDRM+DEN 1284 s.f.
- VERTICAL CIRCULATION





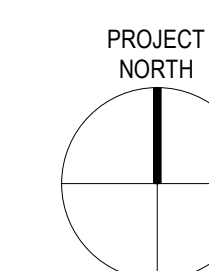
- Department Legend**
- CIRCULATION
 - COMMON
 - OPERATIONS SPACE
 - TYPE A - STUDIO + 472 s.f.
 - TYPE B - 1BDRM 619 s.f.
 - TYPE C - 1BDRM 623 s.f.
 - TYPE D - 1BDRM 646 s.f.
 - TYPE E - 1BDRM + DEN 736 s.f.
 - TYPE F - 1 BDRM + DEN 746 s.f.
 - TYPE G - 1 BDRM + DEN 778 s.f.
 - TYPE H - 2 BDRM 778 s.f.
 - TYPE J - 1 BDRM + DEN 836 s.f.
 - TYPE K - 2 BDRM 985 s.f.
 - TYPE L - 2 BDRM 1045 s.f.
 - TYPE M - 2 BDRM 1086 s.f.
 - TYPE N - 2 BDRM 1115 s.f.
 - TYPE P - 2 BDRM+DEN 1284 s.f.
 - VERTICAL CIRCULATION

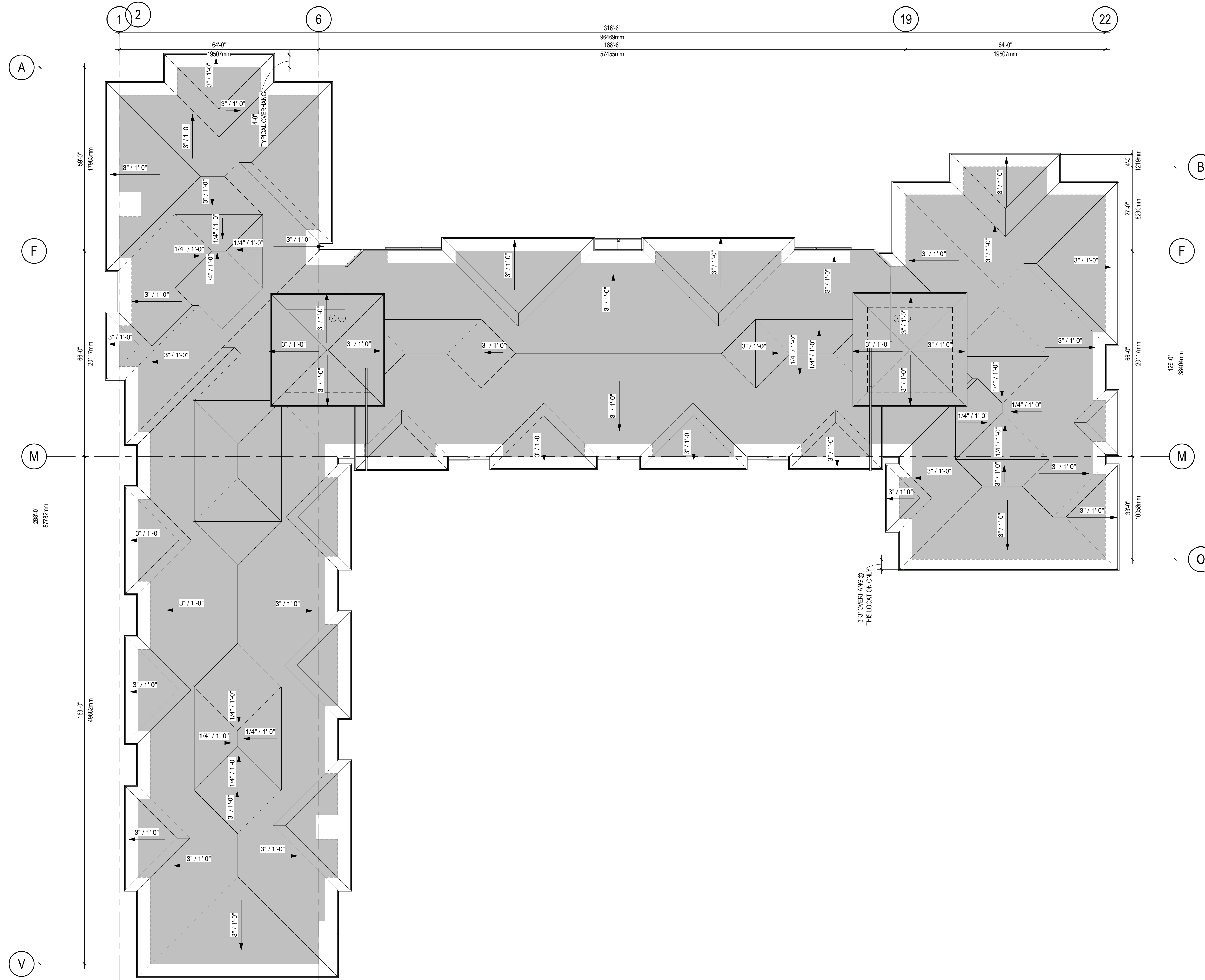




Department Legend

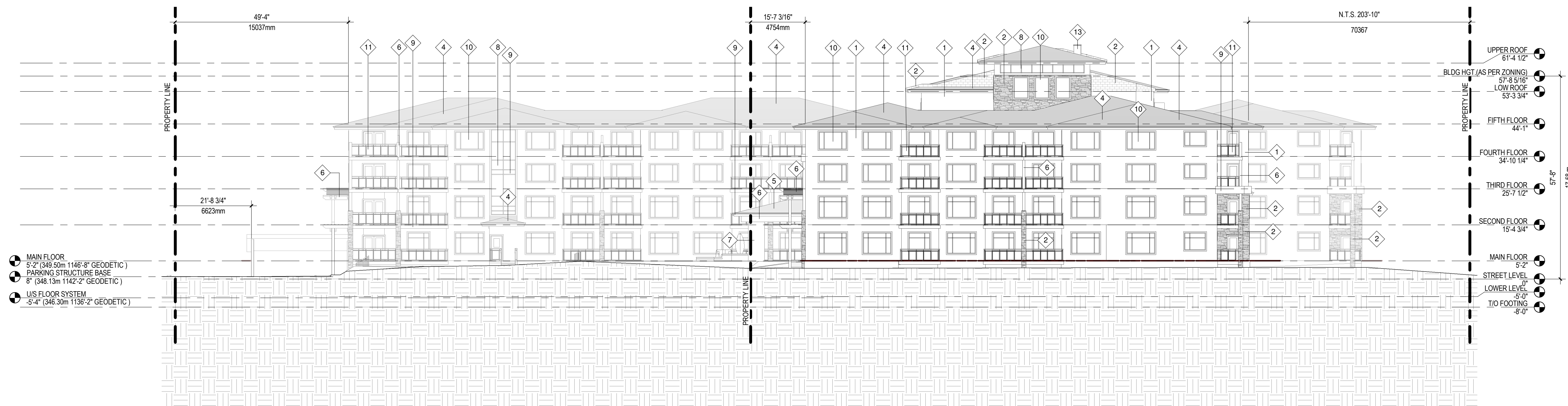
- CIRCULATION
- COMMON
- OPERATIONS SPACE
- TYPE B - 1BDRM 619 s.f.
- TYPE D - 1BDRM 646 s.f.
- TYPE E - 1BDRM + DEN 736 s.f.
- TYPE M - 2 BDRM 1086 s.f.
- VERTICAL CIRCULATION





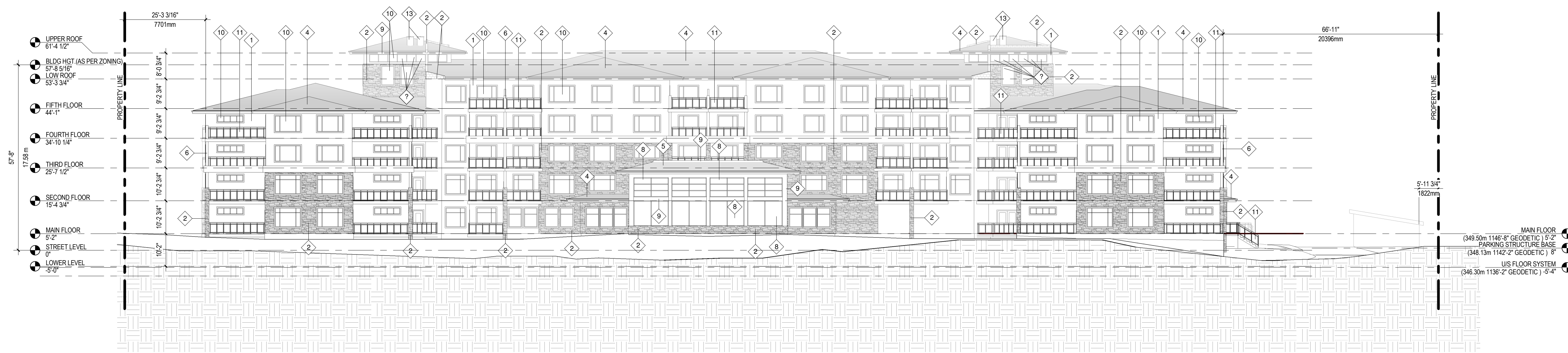


1 SOUTH ELEVATION
 SCALE: 1/16" = 1'-0"



2 EAST ELEVATION
 SCALE: 1/16" = 1'-0"

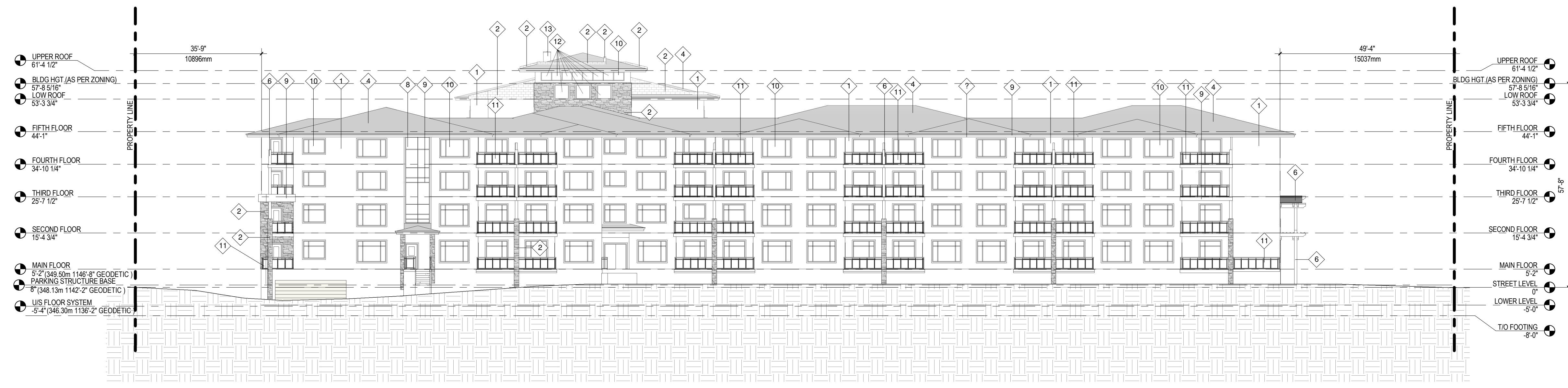
- EXTERIOR FINISHES**
- 1 STUCCO - COLOUR BENJAMIN MOORE ELK CC326
 - 2 FIRE WALL STUCCO COLOUR BENJAMIN MOORE ELK CC326
 - 3 CULTURED STONE - BUCKS COUNTRY DRESSED FIELD STONE & LEDGER STONE MIXED FIELDSTONE
 - 4 ASPHALT SHINGLES - RUSTIC BLACK
 - 5 STANDING SEAM METAL ROOF - VIC WEST 55174 - DEEP GREY
 - 6 WOOD POSTS & BEAMS (ARBOR) STAINED, NATURAL FINISH
 - 7 CONCRETE POST - EXPOSED AGGREGATE
 - 8 ALUMINUM STORE FRONT WINDOW FRAMES - COLOR BLACK
 - 9 EXTERIOR METAL CLADDING - BREAK FLASHING & EAVESTROUGH COLOUR - BLACK
 - 10 VINYL WINDOWS COLOUR BLACK
 - 11 GLASS GUARD RAIL SYSTEM - COLOUR BLACK
 - 12 SPANDREL GLAZING (FRAME BLACK)
 - 13 CHUTE EXHAUST SHAFTS



1 NORTH ELEVATION
 SCALE: 1/16" = 1'-0"

EXTERIOR FINISHES

- 1 STUCCO - COLOUR BENJAMIN MOORE ELK CC326
- 2 FIRE WALL STUCCO COLOUR BENJAMIN MOORE ELK CC326
- 3 CULTURED STONE - BUCKS COUNTRY DRESSED FIELD STONE & LEDGER STONE MIXED FIELDSTONE
- 4 ASPHALT SHINGLES - RUSTIC BLACK
- 5 STANDING SEAM METAL ROOF - VIC WEST 55174 - DEEP GREY
- 6 WOOD POSTS & BEAMS (ARBOR) STAINED, NATURAL FINISH
- 7 CONCRETE POST - EXPOSED AGGREGATE
- 8 ALUMINUM STORE FRONT WINDOW FRAMES - COLOR BLACK
- 9 EXTERIOR METAL CLADDING - BREAK FLASHING & EAVESTROUGH, COLOUR - BLACK
- 10 VINYL WINDOWS COLOUR BLACK
- 11 GLASS GUARD RAIL SYSTEM - COLOUR BLACK
- 12 SPANDREL GLAZING (FRAME BLACK)
- 13 CHUTE EXHAUST SHAFTS



2 WEST ELEVATION
 SCALE: 1/16" = 1'-0"



1 STREET VIEW (SOUTH) PERSPECTIVE



2 NORTH PERSPECTIVE VIEW

TREE	SYMBOL	NAME	SIZE	SPACING
○	○	Small Deciduous Tree	12"	10'
○	○	Medium Deciduous Tree	18"	15'
○	○	Large Deciduous Tree	24"	20'
○	○	Small Evergreen Tree	12"	10'
○	○	Medium Evergreen Tree	18"	15'
○	○	Large Evergreen Tree	24"	20'
○	○	Small Native Tree	12"	10'
○	○	Medium Native Tree	18"	15'
○	○	Large Native Tree	24"	20'

SLIP	SYMBOL	NAME	SIZE	SPACING
○	○	Small Slip	12"	10'
○	○	Medium Slip	18"	15'
○	○	Large Slip	24"	20'
○	○	Small Native Slip	12"	10'
○	○	Medium Native Slip	18"	15'
○	○	Large Native Slip	24"	20'

FLOWERS & GRASSES	SYMBOL	NAME	SIZE	SPACING
○	○	Small Flower	12"	10'
○	○	Medium Flower	18"	15'
○	○	Large Flower	24"	20'
○	○	Small Grass	12"	10'
○	○	Medium Grass	18"	15'
○	○	Large Grass	24"	20'

ROCKS	SYMBOL	NAME	SIZE	SPACING
○	○	Small Rock	12"	10'
○	○	Medium Rock	18"	15'
○	○	Large Rock	24"	20'
○	○	Small Native Rock	12"	10'
○	○	Medium Native Rock	18"	15'
○	○	Large Native Rock	24"	20'

PLANTING	SYMBOL	NAME	SIZE	SPACING
○	○	Small Plant	12"	10'
○	○	Medium Plant	18"	15'
○	○	Large Plant	24"	20'
○	○	Small Native Plant	12"	10'
○	○	Medium Native Plant	18"	15'
○	○	Large Native Plant	24"	20'

SOILS	SYMBOL	NAME	SIZE	SPACING
○	○	Soil 1	12"	10'
○	○	Soil 2	18"	15'
○	○	Soil 3	24"	20'
○	○	Soil 4	30"	25'
○	○	Soil 5	36"	30'
○	○	Soil 6	42"	35'
○	○	Soil 7	48"	40'

NOTE: ALL PLANTING IS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF KELWNA PLANTING SPECIFICATIONS AND THE BC HORTICULTURE ACT.

NOTE: ALL PLANTING IS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF KELWNA PLANTING SPECIFICATIONS AND THE BC HORTICULTURE ACT.

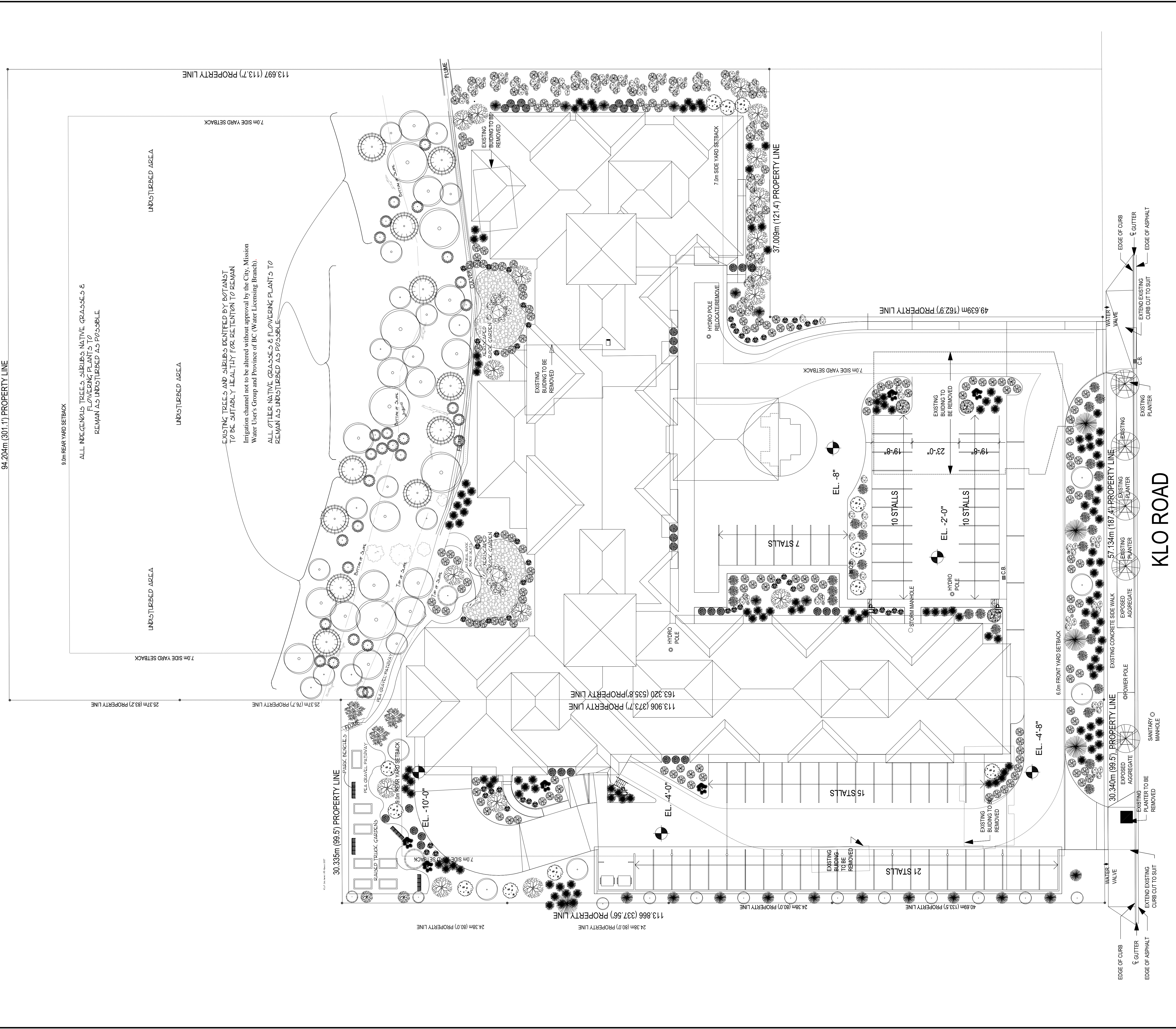
NOTE: ALL PLANTING IS TO BE INSTALLED IN ACCORDANCE WITH THE CITY OF KELWNA PLANTING SPECIFICATIONS AND THE BC HORTICULTURE ACT.

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Regency
Summerwood
Retirement Resort



DRAFTING BY:
PROFESSIONAL
Landscape & Design
Phone: 250.873.3333
www.prestigelandscapeservice.com

NOTE: THE CONTRACTOR IS RESPONSIBLE FOR THE PROPOSED LOCATION OF THE BUILDING. SITE CONDITIONS TO BE TESTED AND APPROVED BY LOCAL BUILDING AUTHORITY REGARDING SUBSTRATE STABILITY AND FROST PENETRATION FOR THE PROPOSED BUILDING. FURNISH AND INSTALL DRAINAGE SYSTEMS TO PROVIDE POSITIVE DRAINAGE TO DRAIN AND GROUND WATER DRAINAGE.

LANDSCAPE LAYOUT

Approved By: **AS SLOVAN**

Scale: **AS SLOVAN**

Drawn By: **CLC**

Date: **06 MAR 2017**

Checked By: **ED HALL**

Drawing Number: **REGENCY SUMMERWOOD PRELIMINARY**

SCHEDULE C

This form part of application # DP17-0068 & DV17-0069

Planner Initials: **LK**

City of Kelowna
2017

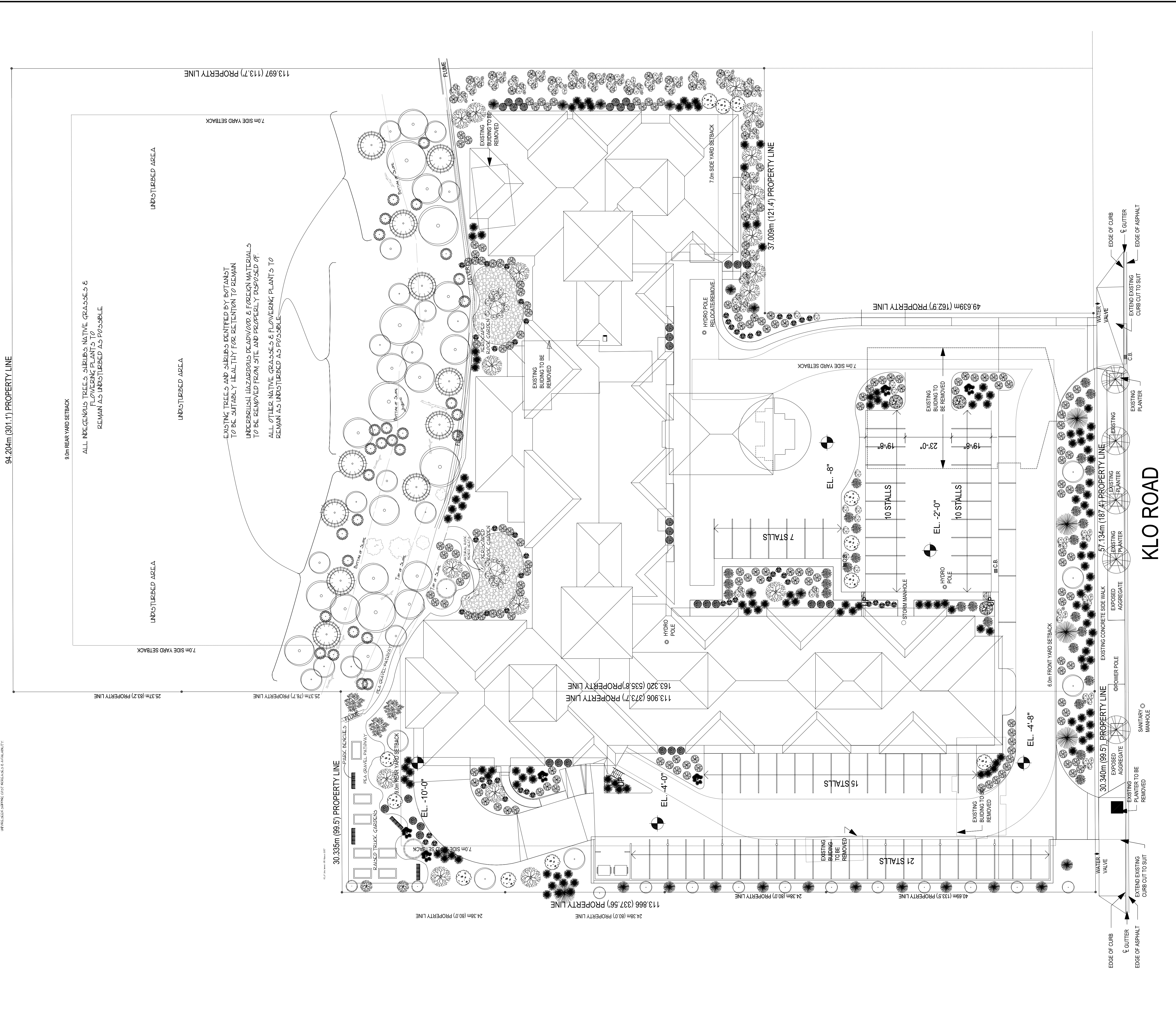
TREE #	NAME	DATE	BY
1	Large shrub, 10-15' tall, dense foliage	2017	CLC
2	Medium shrub, 6-8' tall, dense foliage	2017	CLC
3	Small shrub, 3-4' tall, dense foliage	2017	CLC
4	Large tree, 20-25' tall, dense foliage	2017	CLC
5	Medium tree, 15-20' tall, dense foliage	2017	CLC
6	Small tree, 10-15' tall, dense foliage	2017	CLC
7	Large tree, 25-30' tall, dense foliage	2017	CLC
8	Medium tree, 18-25' tall, dense foliage	2017	CLC
9	Small tree, 12-18' tall, dense foliage	2017	CLC
10	Large tree, 30-35' tall, dense foliage	2017	CLC
11	Medium tree, 22-30' tall, dense foliage	2017	CLC
12	Small tree, 15-22' tall, dense foliage	2017	9M
13	Large tree, 35-40' tall, dense foliage	2017	9M
14	Medium tree, 28-35' tall, dense foliage	2017	9M
15	Small tree, 20-28' tall, dense foliage	2017	9M
16	Large tree, 40-45' tall, dense foliage	2017	9M
17	Medium tree, 35-45' tall, dense foliage	2017	9M
18	Small tree, 30-40' tall, dense foliage	2017	9M
19	Large tree, 45-50' tall, dense foliage	2017	9M
20	Medium tree, 40-50' tall, dense foliage	2017	9M
21	Small tree, 35-45' tall, dense foliage	2017	9M
22	Large tree, 50-55' tall, dense foliage	2017	9M
23	Medium tree, 45-55' tall, dense foliage	2017	9M
24	Small tree, 40-50' tall, dense foliage	2017	9M
25	Large tree, 55-60' tall, dense foliage	2017	9M
26	Medium tree, 50-60' tall, dense foliage	2017	9M
27	Small tree, 45-55' tall, dense foliage	2017	9M
28	Large tree, 60-65' tall, dense foliage	2017	9M
29	Medium tree, 55-65' tall, dense foliage	2017	9M
30	Small tree, 50-60' tall, dense foliage	2017	9M

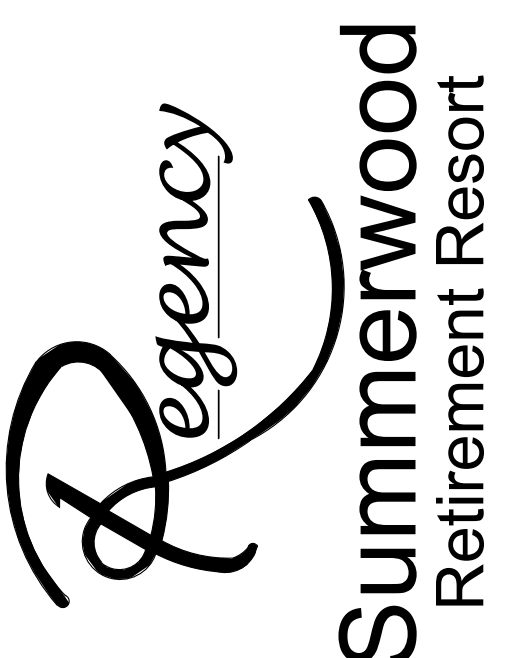
SLIPES	NAME	DATE	BY
1	Grass	2017	CLC
2	Grass	2017	CLC
3	Grass	2017	CLC
4	Grass	2017	CLC
5	Grass	2017	CLC
6	Grass	2017	CLC
7	Grass	2017	CLC
8	Grass	2017	CLC
9	Grass	2017	CLC
10	Grass	2017	CLC
11	Grass	2017	CLC
12	Grass	2017	CLC
13	Grass	2017	CLC
14	Grass	2017	CLC
15	Grass	2017	CLC
16	Grass	2017	CLC
17	Grass	2017	CLC
18	Grass	2017	CLC
19	Grass	2017	CLC
20	Grass	2017	CLC


FLOWERS & GRASSES	NAME	DATE	BY
1	Flower	2017	CLC
2	Grass	2017	CLC
3	Flower	2017	CLC
4	Grass	2017	CLC
5	Flower	2017	CLC
6	Grass	2017	CLC
7	Flower	2017	CLC
8	Grass	2017	CLC
9	Flower	2017	CLC
10	Grass	2017	CLC
11	Flower	2017	CLC
12	Grass	2017	CLC
13	Flower	2017	CLC
14	Grass	2017	CLC
15	Flower	2017	CLC
16	Grass	2017	CLC
17	Flower	2017	CLC
18	Grass	2017	CLC
19	Flower	2017	CLC
20	Grass	2017	CLC

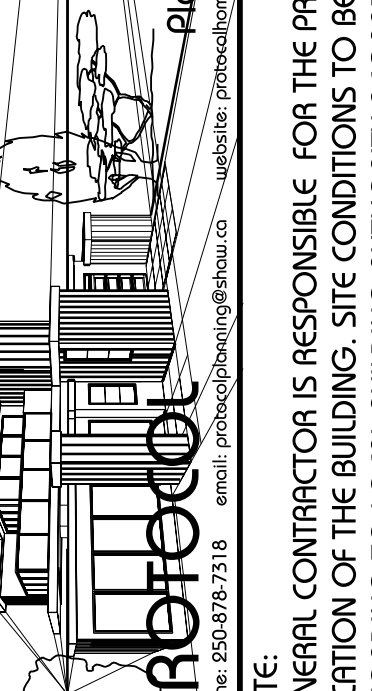
ROUTES	NAME	DATE	BY
1	Route	2017	CLC
2	Route	2017	CLC
3	Route	2017	CLC
4	Route	2017	CLC
5	Route	2017	CLC
6	Route	2017	CLC
7	Route	2017	CLC
8	Route	2017	CLC
9	Route	2017	CLC
10	Route	2017	CLC
11	Route	2017	CLC
12	Route	2017	CLC
13	Route	2017	CLC
14	Route	2017	CLC
15	Route	2017	CLC
16	Route	2017	CLC
17	Route	2017	CLC
18	Route	2017	CLC
19	Route	2017	CLC
20	Route	2017	CLC

NOTES: 1. ALL PLANTINGS ARE TO BE INSTALLED BY THE CONTRACTOR. 2. ALL PLANTINGS ARE TO BE INSTALLED BY THE CONTRACTOR. 3. ALL PLANTINGS ARE TO BE INSTALLED BY THE CONTRACTOR.









LANDSCAPE LAYOUT

Scale: AS 5:10V/N
Date: 06 MAR 2017
Drawing Number: REGENCY SUMMERWOOD PRELIMINARY

Approved By: [Signature]

Drawn By: CLC
Checked By: ED HALL
Drawing Number: PRELIMINARY