

DEVELOPMENT PERMIT / DEVELOPMENT VARIANCE PERMIT



APPROVED ISSUANCE OF DEVELOPMENT PERMIT / DEVELOPMENT VARIANCE PERMIT NO. DP17-0036 and DVP17-0037

Issued To: Pillar West Developments Inc. Inc. No BC1066488
Site Address: 861 Rose Avenue
Legal Description: Lot 7, DL 136, ODYD, Plan 8116
Zoning Classification: RM1 – Four Dwelling Housing
Development Permit Area: Comprehensive Development Permit – Multi-Family

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

AND THAT Council authorizes the issuance of Development Permit No. DP17-0031 and DVP17-0032 for Lot 7 DL 136 ODYD Plan 8116, located at 861 Rose Avenue, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 8.1.9(c) Parking and Loading: Location

To allow two required parking stalls to be located within 1.5m of the side property lines on the east and west sides;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. PERFORMANCE SECURITY

None required.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

5. APPROVALS

Issued and approved by Council on the 17th day of October , 2017.

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

Date

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or his or her designates**

A

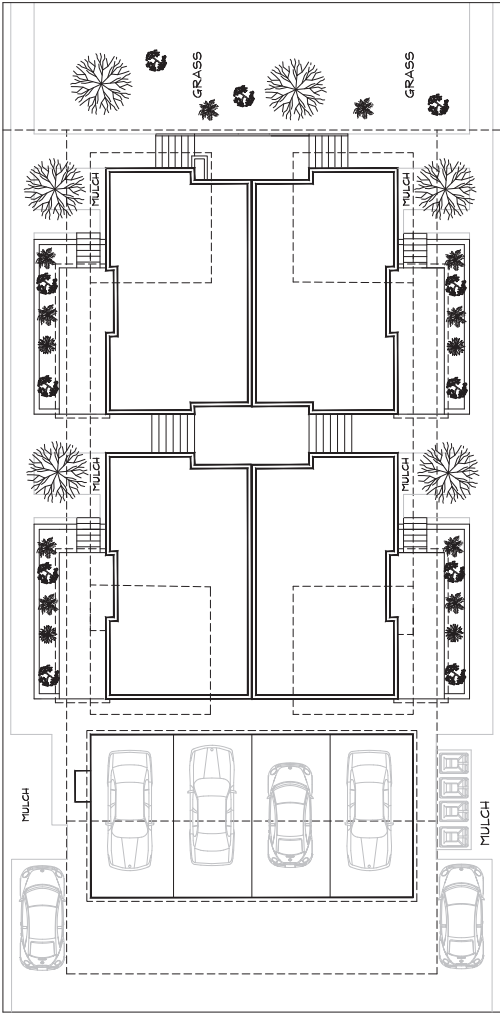


861 ROSE AVE., KELOWNA, BC

Site plan for a four-unit residential development. The plan shows four units labeled A1, A2, B1, and B2 arranged in a 2x2 grid. Each unit has a front entrance, a side entrance, and a rear entrance. Units A1 and A2 have a rear garden, while B1 and B2 have a front garden. The plan includes a parking area with four car spaces and a motorcycle space, a concrete apron, and a landscaped area. The site is bounded by Rose Ave to the north, Lane to the east, and a road to the south. Dimensions are provided in feet and inches, and meters. The plan also shows setbacks, sidewalks, and landscaping.

Key features and dimensions:

- Units:** A1, A2, B1, B2
- Entrances:** Front, Side, Rear
- Gardens:** Front garden (B1, B2), Rear garden (A1, A2)
- Parking:** 4 Car spaces, 1 Motorcycle space
- Concrete Apron:** 64.11' [19.54m]
- Landscaping:** Landscaped area, Sidewalk, Planting
- Setbacks:** 16'-4 7/8" [5.00m] (Road Widening), 4'-11" [1.50m] (Setback)
- Dimensions:** 130.00' [39.62m] (Overall width), 130.00' [39.62m] (Overall depth)
- Boundaries:** Rose Ave (North), Lane (East), Road (South)



- MAPLE
- JAPANESE MAPLE
- NINE BARK
- BARBERRY
- SMALL PLANTS AND FLOWERS
WILL BE ADDED TO PLANTING BEDS

LOT INFORMATION

ZONING RU6
LEGAL DESCR. LOT 16, ODD
CIVIC ADDRESS 861 ROSE AVE.

PROPOSED RM
PLAN 616
PLAN 616

Planner
Initials TB

DP17-0036
DVP17-0037

This forms part of application

SCHEDULE

DATE	1/23/17
SCALE	1/8" = 1'-0"
PROJECT	City of Kelowna
PLANNER	TB

TGM
Drafting & Design
Tom Masters
Kelowna, BC
(250) 372-2446
kelowna6@gmail.com



'Rose Avenue Project'

861 ROSE AVE, KELOWNA, BC

EXTERIOR WALL	ACRYLIC STUCCO ON 1/2" GYP. BOARD WITH 5/8" SCATCH COAT 1" SMearing 8-24 BATT INSULATION (R-19) (FIRE RESISTANT) 5/8" GYP. BOARD
GARAGE FLOOR	CONCRETE SLAB SLOPE 2" MIN FOR DRAINAGE
EXTERIOR FOUNDATION	2 CYCLES ASPHALT FULSHER 8" CONCRETE FOUNDATION WALL 3" RIGID INSULATION TO BLOWSTOP LINE W/ PROTECTION SHIELDING 24" x 8" CONCRETE FOOTING
INTERIOR FOUNDATION	6" CONCRETE CURB 16" x 8" CONCRETE FOOTING
DRAINAGE	4" MIN DRAIN PIGE COVER 4" MIN DRAIN TIE

DESCRIPTION	NOMINAL	EFFECTIVE
	RSI 2.66	[R-1.5-1]
8" FLOW GRADE WALLS W/ 2X6 PWF @24" O.C. W/ R-2.4 BATT INSULATION		
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		
1. DAMPROOFING/ INTERIOR AIR FILM	0.33	1.9
		
TOTAL EFFECTIVE INSULATION VALUE		RSI 2.99 [R-1.70]
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE WALLS W/ HRV		RSI 2.98 [R-1.692]
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE WALLS W/ HRV		RSI 2.98 [R-1.692]

Planner
Initials



Drafting & Design

Tom Masters

Kelowna, BC (250) 317-2446
kelownadtc3@gmail.com

SCALE: 1/4" = 1'-0"

DATE: APR 23/17

PROJECT: B45 MINUTE PLAN

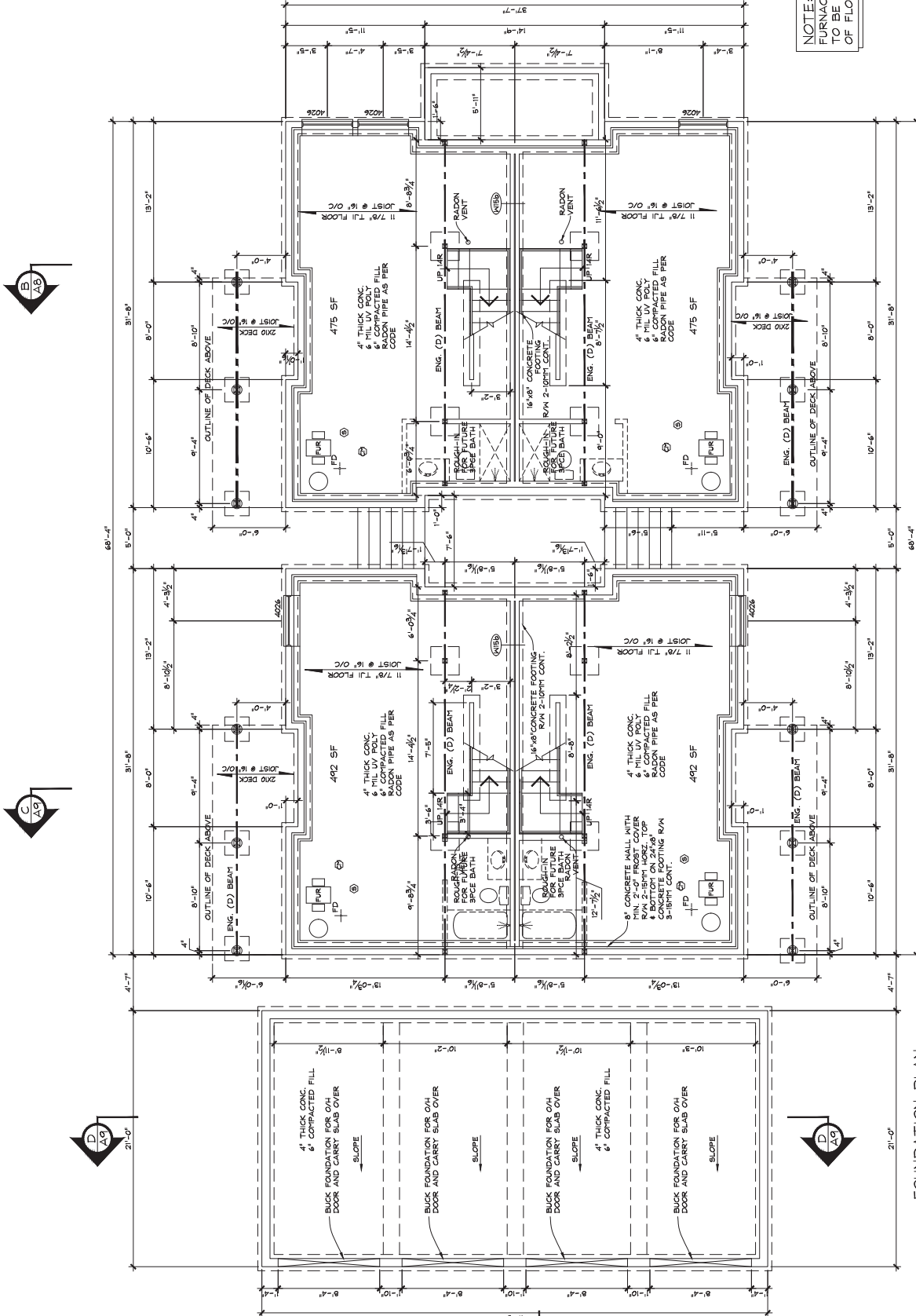
CLIENT: City of Kelowna

NO. 44

STATUS: **Final**



861 ROSE AVE., KELOWNA, BC



NOTES

FOOTINGS ARE TO BE PLACED ON UNDISTURBED OR COMPACTED SOIL WITH A MINIMUM BEARING CAPACITY OF 2000 LBS./SQ. FT. OR GREATER.

FOOTINGS ARE TO BE PLACED ON UNDISTURBED OR COMPACTED SOIL WITH AN ALLOWABLE COMPRESSIVE STRENGTH OF 1500 LBS./SQ. FT. OR GREATER. COMPACTION TO BE TESTED BY QUALIFIED PROFESSIONAL OR GEOTECHNICAL ENGINEER.

ABOVE GRADE WALL ASSEMBLY (HARDI SIDING)

DESCRIPTION	NOMINAL	EFFECTIVE
R-24 BATT INSULATION IN 2X6	R-13.1	R-13.1
WOOD FRAMING @ 24" O.C.		
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		
1. EXTERIOR AIR FILM	0.03	0.17
2. HARD SIDING	0.03	0.11
3. FINISHING PAPER	N/A	N/A
4. N/A	0.11	0.63
5. 7/8" PLYWOOD SHEATHING	0.00	0.00
6. POLYETHYLENE	0.00	0.00
7. 3/4" TYPE X GYPSUM WALL BOARD	0.099	0.56
8. INTERIOR AIR FILM	0.12	0.68
TOTAL EFFECTIVE INSULATION VALUE (R-VALUE)		R-3.42
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS W/HRV		R-2.5
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		R-3.08
		R-17.49

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Initials

TB

BLDG 'A'
1,034 SF (102.2m²)
517 SF (51.1m²)/UNIT

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City of Kelowna
COMMUNITY PLANNING

861 ROSE AVE, KELOWNA, BC

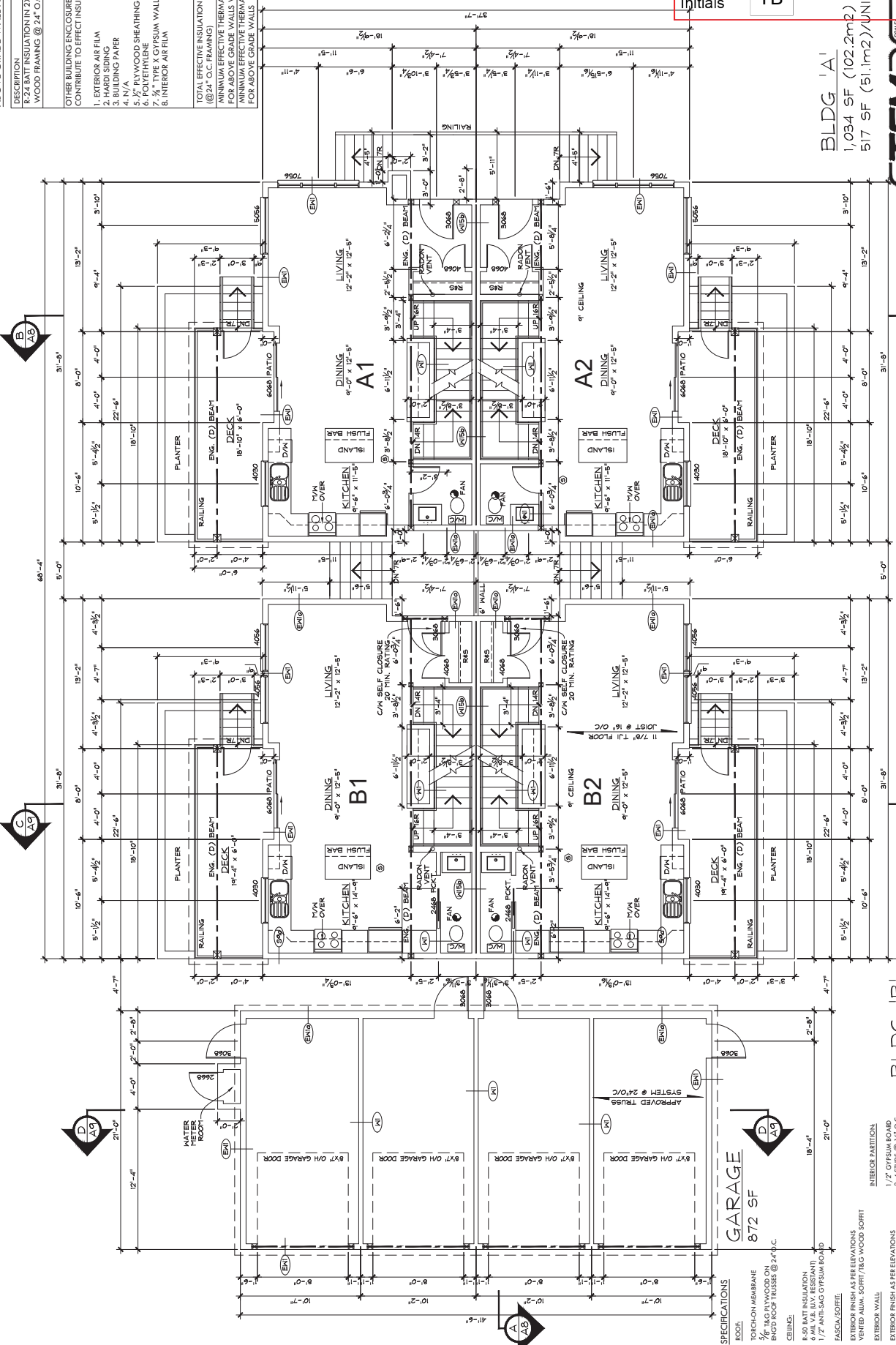
'Rose Avenue Project'

BLDG 'B'
1,048 SF (106.8m²)
524 SF (53.4m²)/UNIT

INTERIOR PARTITION
1/2" GYPSUM BOARD
2x4 STUDS @ 16" O.C.
SUB ON GRADE FLOOR
4" CONCRETE SLAB
1/2" GYPSUM BOARD (FRONT & REAR)
5/8" TYPE X GYPSUM BOARD (SIDES)

EXTERIOR WALL
EXTERIOR FINISH AS PER ELEVATIONS
2x6 STUDS @ 16" O.C.
R-24 BATT INSULATION
5/8" GYPSUM BOARD (FRONT & REAR)
5/8" TYPE X GYPSUM BOARD (SIDES)

EXTERIOR FINISH AS PER ELEVATIONS
2x6 STUDS @ 16" O.C.
R-24 BATT INSULATION
5/8" GYPSUM BOARD (FRONT & REAR)
5/8" TYPE X GYPSUM BOARD (SIDES)



ROOF:
TORCH-ON MEMBRANE
3/8\"/>

CEILING:
8.50 BATT INSULATION
6 MIL V.B. (V.V. RESISTANT)
1/2\"/>

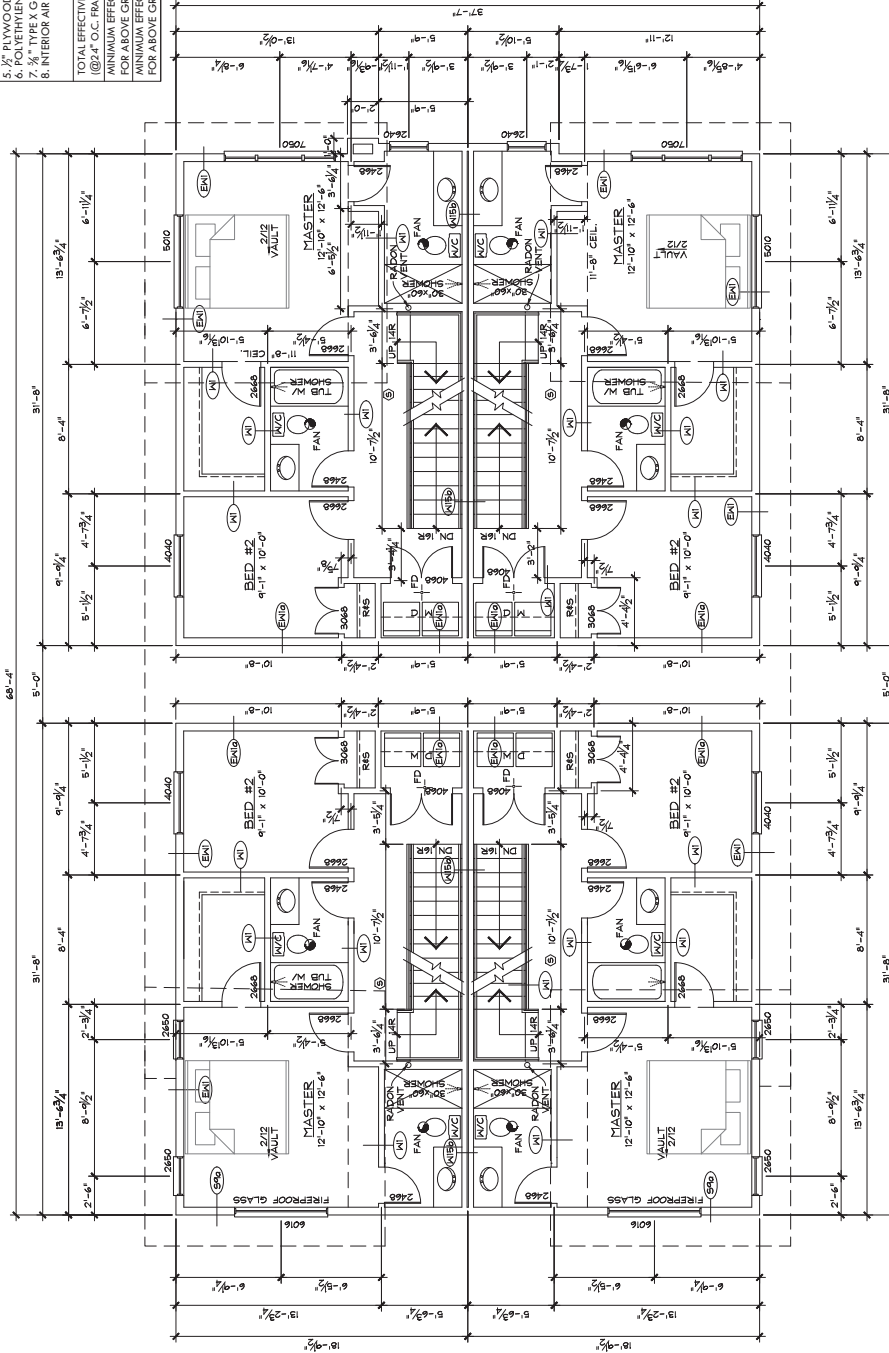
EXTERIOR WALL
EXTERIOR FINISH AS PER ELEVATIONS
2x6 STUDS @ 16" O.C.
R-24 BATT INSULATION
5/8" GYPSUM BOARD (FRONT & REAR)
5/8" TYPE X GYPSUM BOARD (SIDES)

ROOF ASSEMBLY - CATHEDRAL CEILINGS

DESCRIPTION	NOMINAL	EFFECTIVE
R-50 BATT INSULATION IN ENG. TRUSS @ 24" O.C.	RSI 8.81	[R-50.0]
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		
1. INTERIOR AIR FILM	0.12	0.68
2. 1/2" GYPSUM BOARD	0.08	0.45
3. 1/4" SHEATHING	0.03	0.25
4. ROOF FINISH	0.00	0.00
TOTAL EFFECTIVE INSULATION VALUE (@24" O.C. FRAMING)		RSI 9.12 (R-51.7)
MINIMUM EFFECTIVE THERMAL RESISTANCE W/ HRV		RSI 2.65 (R-26.5)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 4.67 (R-26.5)

ROOF ASSEMBLY - CATHEDRAL CEILINGS

DESCRIPTION	NOMINAL	EFFECTIVE
R-50 BATT INSULATION IN ENG. TRUSS @ 24" O.C.	RSI 8.81	[R-50.0]
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		
1. INTERIOR AIR FILM	0.12	0.68
2. 1/2" GYPSUM BOARD	0.08	0.45
3. 1/4" SHEATHING	0.03	0.25
4. ROOF FINISH	0.00	0.00
TOTAL EFFECTIVE INSULATION VALUE (@24" O.C. FRAMING)		RSI 9.12 (R-51.7)
MINIMUM EFFECTIVE THERMAL RESISTANCE W/ HRV		RSI 2.65 (R-26.5)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 4.67 (R-26.5)



BLDG 'B'

996 SF (92.6m²)
498 SF (46.3m²)/UNIT

BLDG 'A'

996 SF (92.6m²)
498 SF (46.3m²)/UNIT

'Rose Avenue Project'

861 ROSE AVE, KELOWNA, BC

SCHEDULE

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DVP17-0037

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Initials

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COMMUNITY PLANNING



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TB

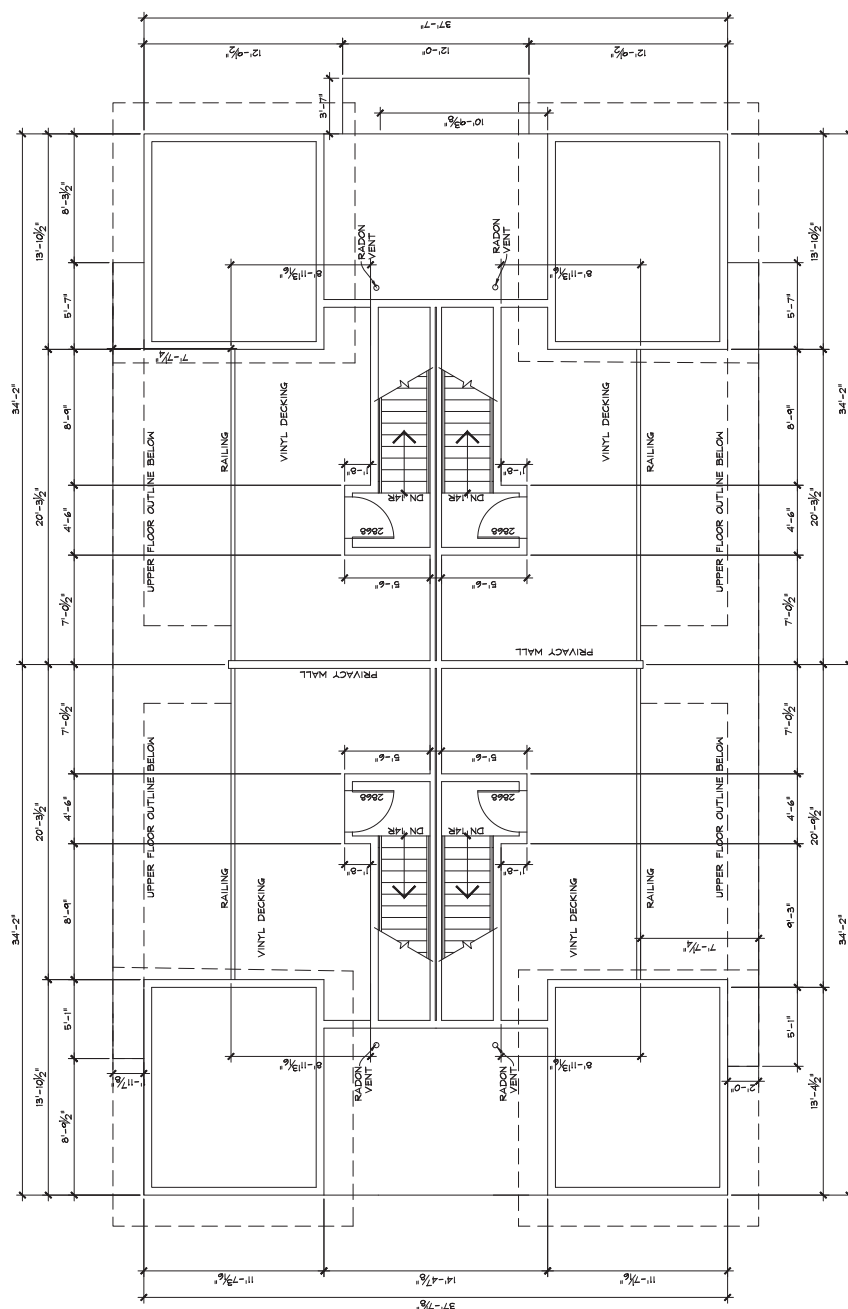


City of Kelowna
COMMUNITY PLANNING



'Rose Avenue Project'

DOE: DOE ALF VES CUMUL DO



PROOF PATIO

$$\frac{213 \text{ SF}(19.87 \text{ m}^2)/\text{UNIT}}{\text{KNOX FATIO}}$$

B

DP17-0036 DVP17-0037

TB



City of Kelowna
COMMUNITY PLANNING

Tom Masters
 Cowan, BC (250)317-2446
 belown635@gmail.com



'Rose Avenue Project'

THE DOOR WAS OPENING IN

B

DP17-0036 DVP17-0037

TB

Tom Masters
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kelowna635@gmail.com



'Rose Avenue Project'

861 ROSE AVE., KELOWNA, BC

2-2. NOTES

36 MM X 84 MM STUDS SPACED 400 MM OR 600 MM O.C.
N1TH OR WITHOUT ABSORPTIVE MATERIAL
1 LAYER OF GYPSUM BOARD ON EACH SIDE

1780 TWO ROWS 36 MM X 84 MM STUDS, EACH SPACED 400 MM
OR 600 MM O.C. SEPARATE 36 MM X 84 MM PLATES
SET 25 MM APART
N1TH OR WITHOUT ABSORPTIVE MATERIAL
2 LAYERS OF GYPSUM BOARD ON EACH SIDE

1780 N1B WITH
12 MM THICK ABSORPTIVE MATERIAL ON EACH SIDE
1780 N1B 1780 MM TYPE X GYPSUM BOARD 1 H

EX1 36 MM X 140 MM STUDS SPACED 400 MM OR 600 MM O.C.
N1TH OR WITHOUT ABSORPTIVE MATERIAL
1 LAYER OF 13 MM GYPSUM BOARD ON INSIDE
EXTERIOR SHEATHING AND SIDING

FE1 SUBFLOOR OF 15.5 MM PLYWOOD, OSB OR WATERBOARD,
ON WOOD JOISTS OR CHANGING TRUCKS
ON WOOD JOISTS CHANGING TRUCKS - JOISTS CHANGE
END SPACED NOT MORE THAN 600 MM O.C.
N1TH OR WITHOUT ABSORPTIVE MATERIAL IN CAVITY
1 LAYER OF GYPSUM BOARD ON CEILING SIDE

520 31 MM X 152 MM STEEL STUDS SPACED 400 MM OR 600 MM O.C.
N1TH OR WITHOUT ABSORPTIVE MATERIAL ON EACH SIDE
150 MM THICK ABSORPTIVE MATERIAL



SCHEDULE

B

This forms part of application

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Initials TB

City of
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2017/05/10