

DEVELOPMENT PERMIT / DEVELOPMENT VARIANCE PERMIT



**APPROVED ISSUANCE OF DEVELOPMENT PERMIT / DEVELOPMENT VARIANCE PERMIT NO. DP17-0031
DVP17-0032**

Issued To: Wes Riley Jones, Tammy Retta Jones
Site Address: 775 Rose Avenue
Legal Description: Lot 7, DL 136, ODYD, Plan 11487
Zoning Classification: RM1 – Four Dwelling Housing
Development Permit Area: Comprehensive Development Permit – Multi-Family

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

AND THAT Council authorizes the issuance of Development Permit No. DP17-0031 and DVP17-0032 for Lot 7 DL 136 ODYD Plan 11487, located at 775 Rose Avenue, Kelowna, BC subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted:

Section 8.1.9(c) Parking and Loading: Location

To allow two required parking stalls to be located within 1.5m of the side property lines on the east and west sides;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. PERFORMANCE SECURITY

None required.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

5. APPROVALS

Issued and approved by Council on the 17th day of October , 2017.

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

Date

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or his or her designates**

SCHEDULE

This forms part of application

DP17-0031 DVP17-0032

Planner
Initials

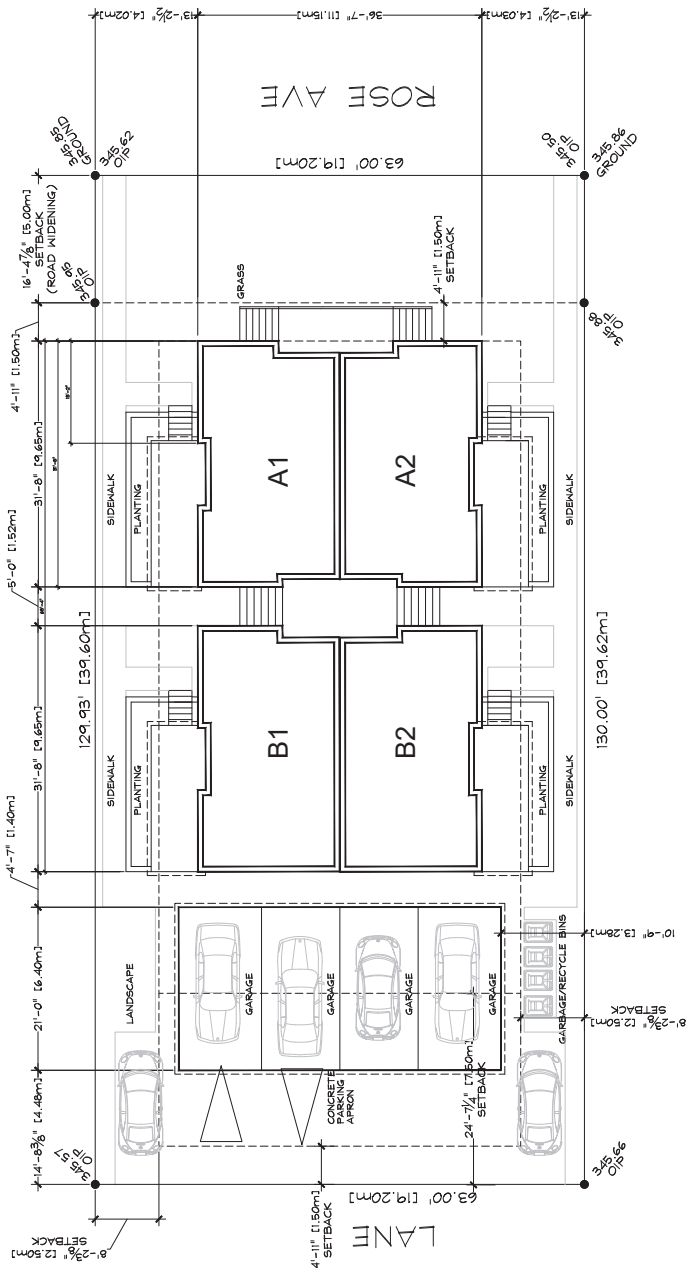
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LOT COVERAGE

BUILDING COVERAGE
MAIN FLOOR = 2,022 SF
GARAGE = 872 SF
TOTAL LOT SQ/FT = 2,894 SF
TOTAL FOOTPRINT = 2,894 SF
TOTAL COVERAGE = 35.35%
MAX ALLOWED 40%

TOTAL SITE COVERAGE
MAIN FLOOR = 2,022 SF
GARAGE = 872 SF
PARKING/DRIVENAY = 978 SF
TOTAL LOT SQ/FT = 3,872 SF
TOTAL FOOTPRINT = 3,872 SF
TOTAL COVERAGE = 47.30%
MAX ALLOWED 50%

FLOOR AREA RATIO
MAIN FLOOR = 2,022 SF
UPPER FLOOR = 1,932 SF
GARAGE = 872 SF
TOTAL LOT SQ/FT = 4,826 SF
LOT AREA = 12,800 SF
FAR = 0.59 MAX ALLOWED 0.60

LOT INFORMATION

ZONING RUC
LEGAL DESCR. 0.50 AC 1/4, ODT
CIVIC ADDRESS 775 ROSE AVE.
MILL CREEK FLOODPLAIN BYLAW: 345.05m

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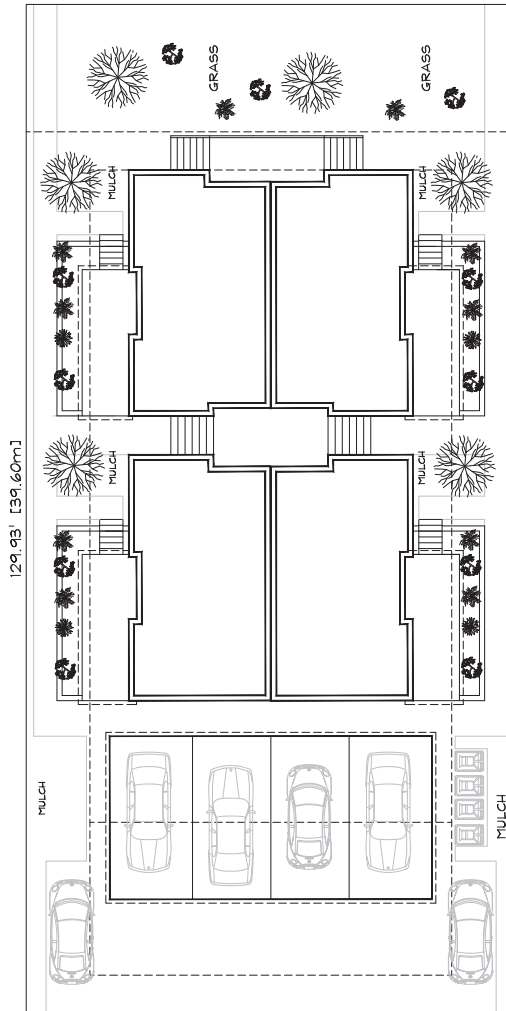


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ZONING RU6
LEGAL DESCR.
CIVIC ADDRESS

MAPLE
JAPANESE
NINE BARK
BARBERRY

SMALL PLANTS AND FLOWERS
WILL BE ADDED TO PLANTING BEDS

SPECIFICATIONS

- EXTERIOR WALL
ACTIVE STUCCO ON
PAPER & WIRE MESH W/ SCRATCH COAT
7" INSULATION @ 4" O.C.
8.25" BATT INSULATION
9 MIL POLY V.A. (UV RESISTANT)
5/8" GYPSUM BOARD
GARAGE FLOOR
CONCRETE SLAB
SLOPE 2" MIN FOR DRAINAGE
EXTERIOR FOUNDATION
2" CON. SP. SP. INSULATION
3" CONCRETE FOUNDATION WALL
3" RIGID INSULATION TO EXTERIOR
MAX 24" BELOW FINISH GRADE
24"x8" CONCRETE FOOTING
INTERIOR FOUNDATION
6" CONCRETE CURB
6" 4" CONCRETE FOOTING
DRAINAGE
6" MIN DRAIN ROCK COVER
4" DIA. DRAIN TILE

BELOW GRADE WALL ASSEMBLY OPTION 1

DESCRIPTION	NOMINAL	EFFECTIVE
8" FOUNDATION WALLS W/ 2X6 PW/RSI 2.65 (#1.5.1)		
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		
1. DAMPROOFING/INTERIOR AIR FILM 0.33		1.9



BELOW GRADE WALL ASSEMBLY OPTION 2

DESCRIPTION	NOMINAL	EFFECTIVE
8" FOUNDATION WALLS W/ 3" EPS (#75.3)		
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		
1. DAMPROOFING/INTERIOR AIR FILM		

TOTAL EFFECTIVE INSULATION VALUE (@ 16" O.C. FRAMING)	RSI 2.99 (R-17.0)
MINIMUM THERMAL RESISTANCE FOR BELOW GRADE WALLS W/ RIGID	RSI 2.98 (R-16.9)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE WALLS	RSI 2.98 (R-16.9)

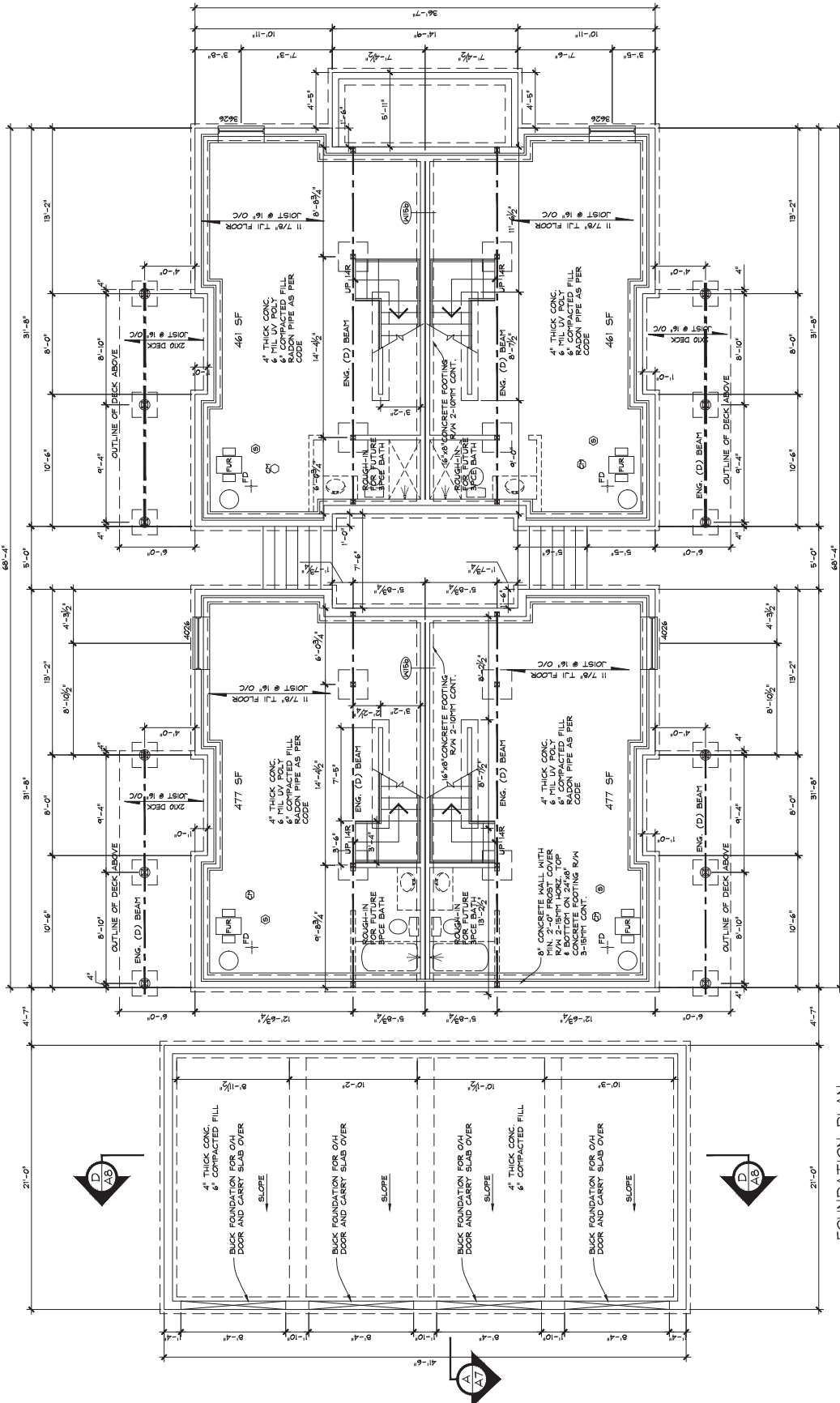
SCHEDULE

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Plumber
Initialed
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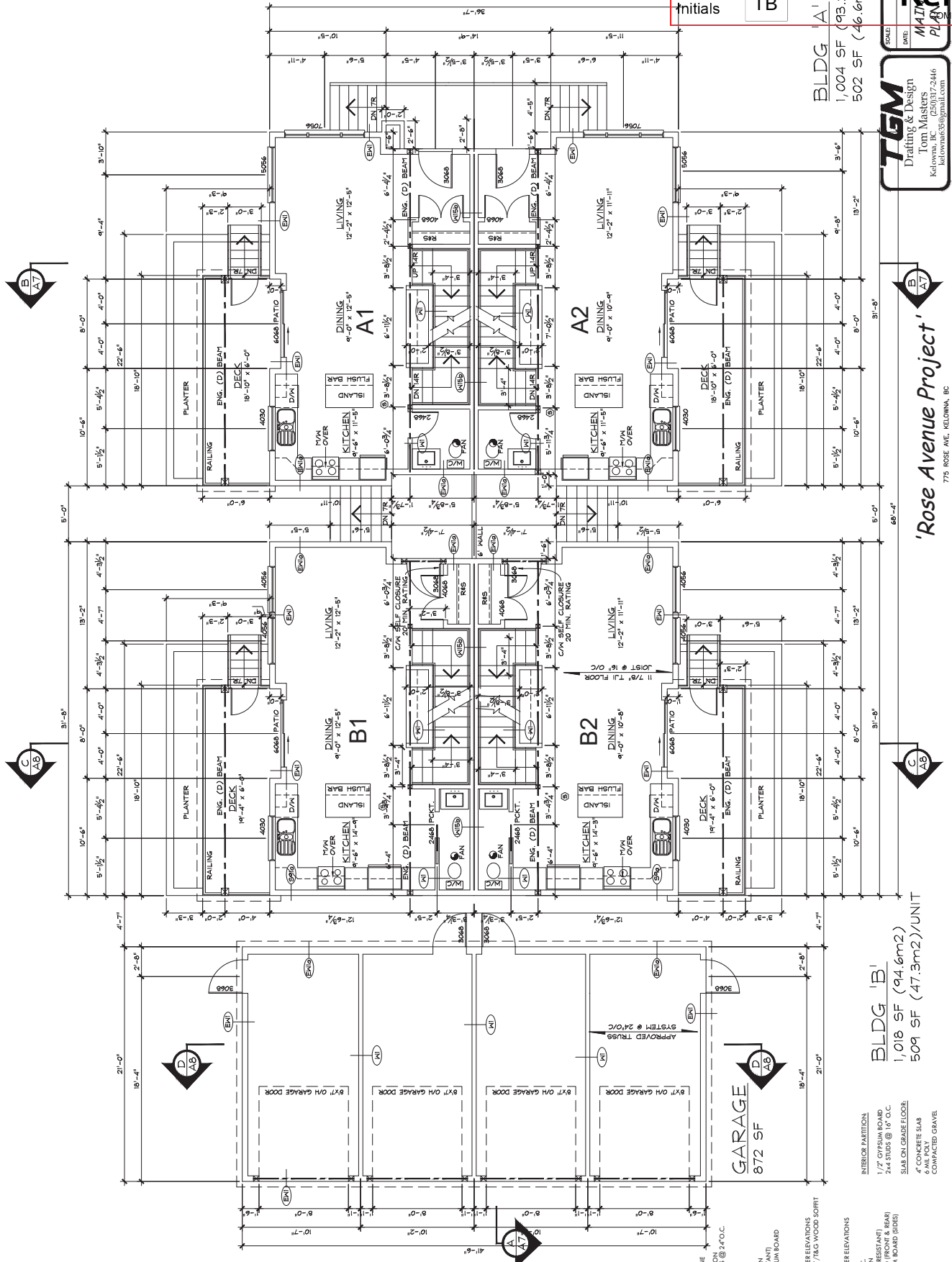
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FOUNDATION PLAN

- NOTES**
- PROVIDE FIRE STOPS IN ACCORDANCE WITH BC BUILDING CODE REFERENCE 9.10.1.3 AND SMOKE ALARMS IN ACCORDANCE WITH REFERENCE 9.10.1.8.
 - PROVIDE DAMPROOFING, WATERPROOFING AND SOIL GAS CONTROL IN ACCORDANCE WITH BC BUILDING CODE REFERENCE SECTION 9.13 & 9.16.2.
 - FOOTINGS ARE TO BE PLACED ON UNDISTURBED OR COMPACTED SOIL WITH AN ALLOWABLE BEARING PRESSURE OF 2000LBS/SQ.FT. OR GREATER.
 - FOOTINGS ARE TO BE PLACED ON UNDISTURBED OR COMPACTED SOIL WITH AN ALLOWABLE BEARING PRESSURE OF 2000LBS/SQ.FT. OR GREATER. COMPACTION TO BE TESTED BY QUALIFIED PROFESSIONAL OR GEOTECHNICAL ENGINEER.



SPECIFICATIONS

ROOF:
TORCH-ON MEMBRANE
1/2" T&G PLYWOOD ON
BNGD ROOF TRUSSES @ 24" O.C.

CEILING:
8-50 BATT INSULATION
6 MIL V.B. D.V. RESISTANT
1/2" ANTI-SAG GYPSUM BOARD

FASCIA/SOFFIT:
EXTERIOR FINISH AS PER ELEVATIONS
VENTED ALUM. SOFFIT/T&G WOOD SOFFIT

EXTERIOR WALL:
EXTERIOR FINISH AS PER ELEVATIONS
1/2" GYPSUM BOARD
244 STUDS @ 16" O.C.
1/2" GYPSUM BOARD (FRONT & REAR)
5/8" TYPE X GYPSUM BOARD (SIDES)

INTERIOR PARTITION:
EXTERIOR FINISH AS PER ELEVATIONS
1/2" GYPSUM BOARD
244 STUDS @ 16" O.C.
1/2" GYPSUM BOARD (FRONT & REAR)
5/8" TYPE X GYPSUM BOARD (SIDES)

FLOOR:
4" CONCRETE SLAB
2" COMPACTED GRAVEL

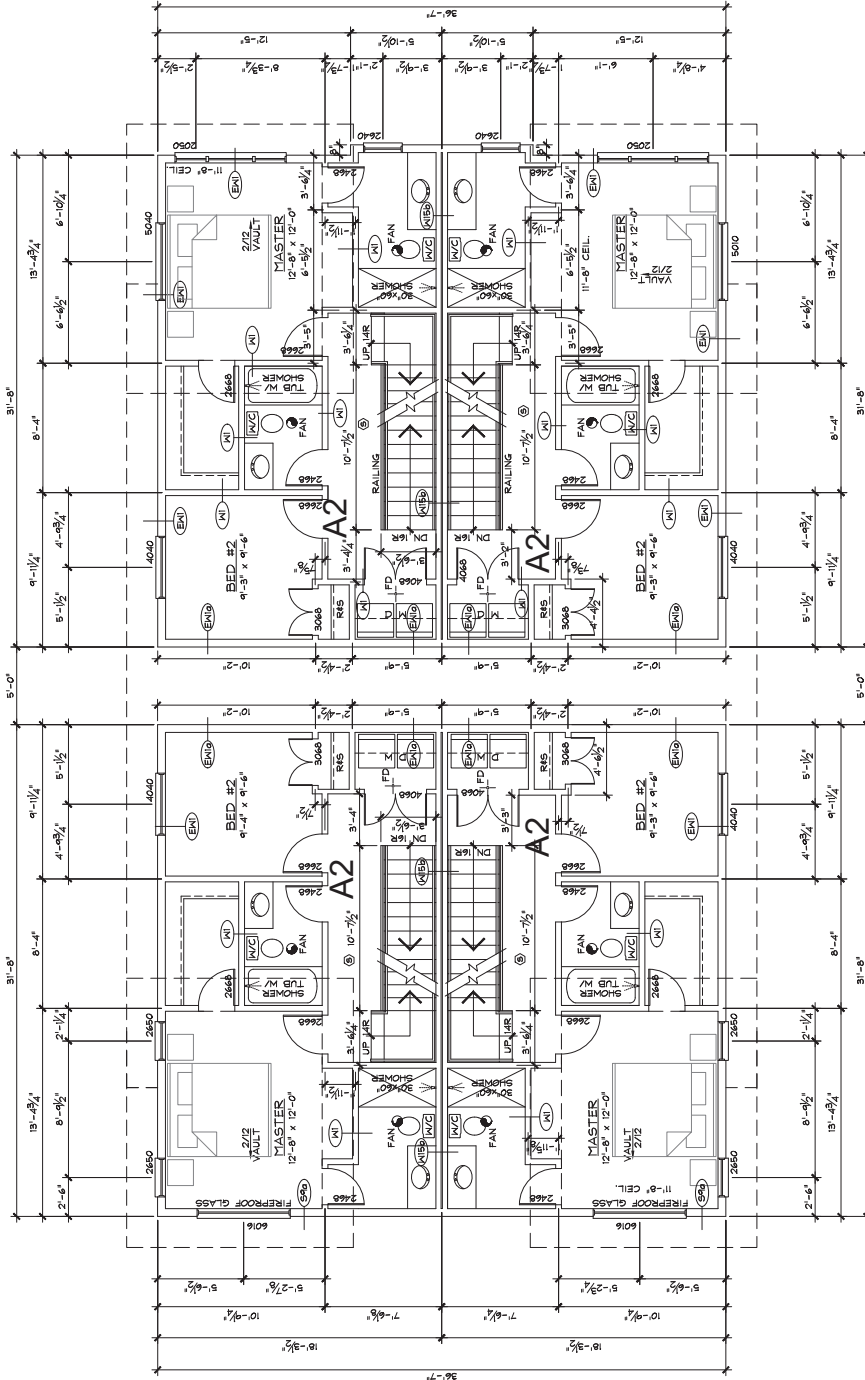
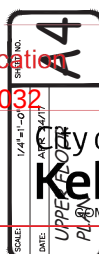
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Planner
Initials TB



BLDG 'A'
966 SF (89.7m2)
483 SF (44.9m2)/UNIT

BLDG 'B'
966 SF (89.7m2)
483 SF (44.9m2)/UNIT

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ROOF ASSEMBLY - CATHEDRAL CEILINGS

DESCRIPTION R-55 MIN INSULATION IN ENG. TRUSS @ 24" O.C.	NOMINAL R-55 U.T.	EFFECTIVE R-55 U.T. (R-50.0)
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		
1. INTERIOR AIR FILM	0.12	0.48
2. 1/2" GYPSUM BOARD	0.08	0.45
3. 7/8" SHEATHING	0.11	0.62
4. ROOF FINISH	0.00	0.00
TOTAL EFFECTIVE INSULATION VALUE (@24" O.C. FRAMING)		R-9.12 (R-51.75)
MINIMUM EFFECTIVE THERMAL RESISTANCE W/HV		R-9.47 (R-26.5)
MINIMUM EFFECTIVE THERMAL RESISTANCE		R-9.47 (R-26.5)

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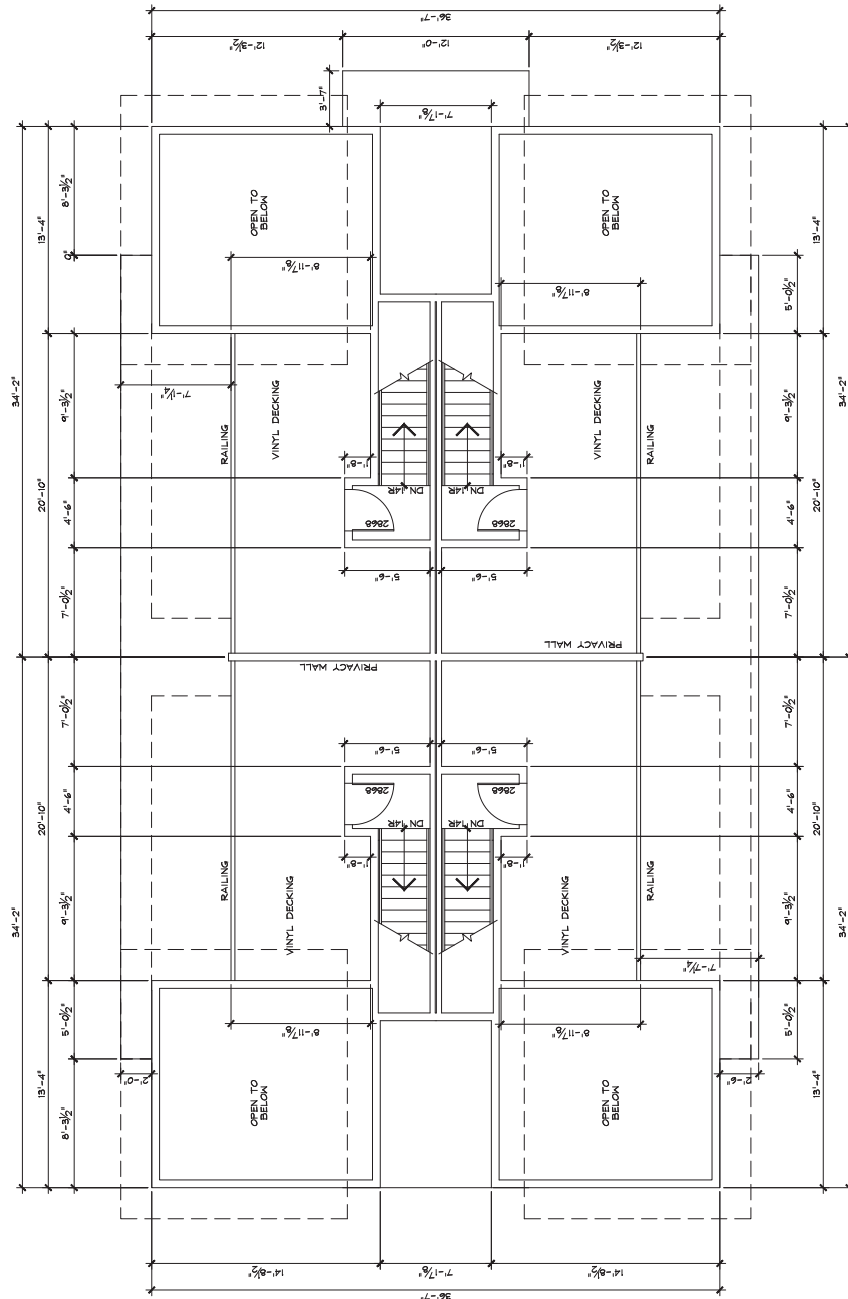
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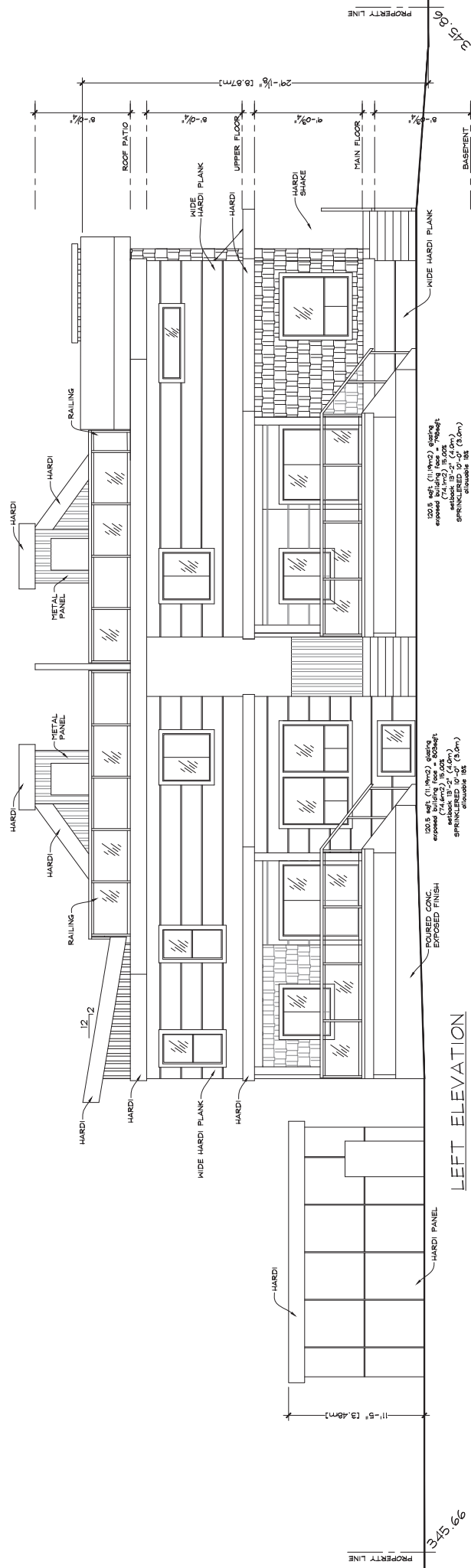
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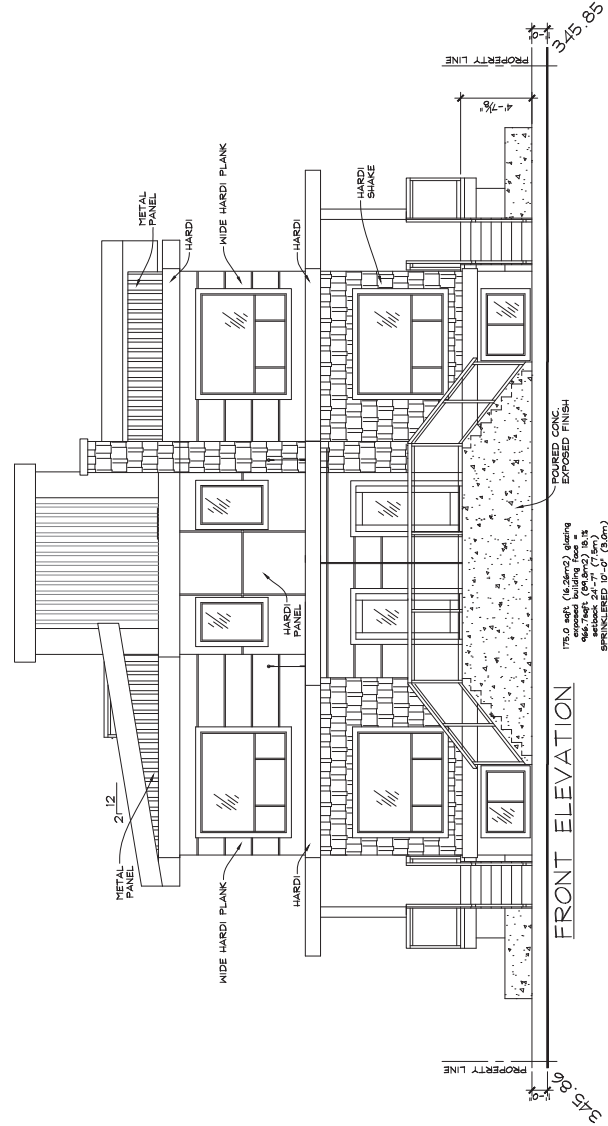
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ROOF PATIO
213 SF(19.87 m2)/UNIT



LEFT ELEVATION



FRONT ELEVATION

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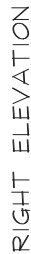
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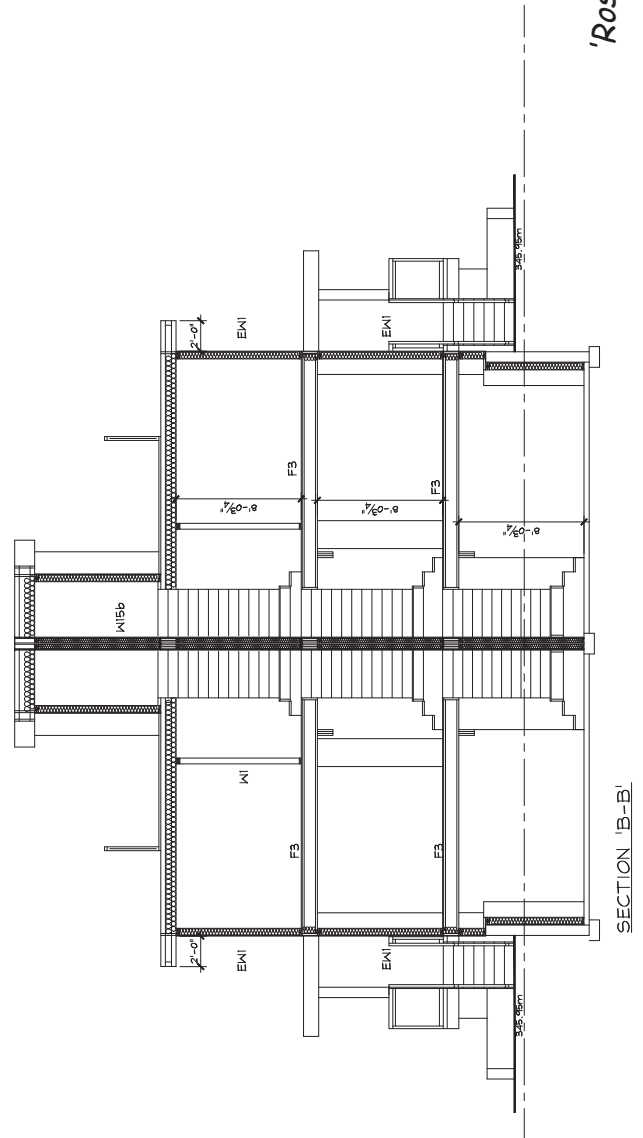
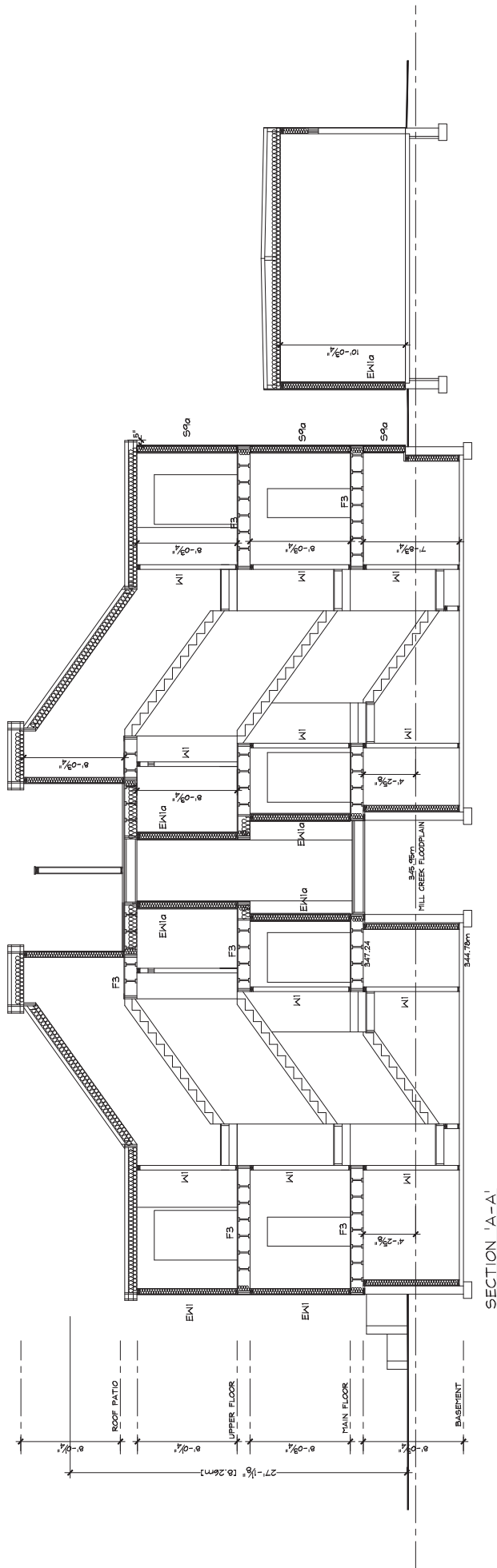
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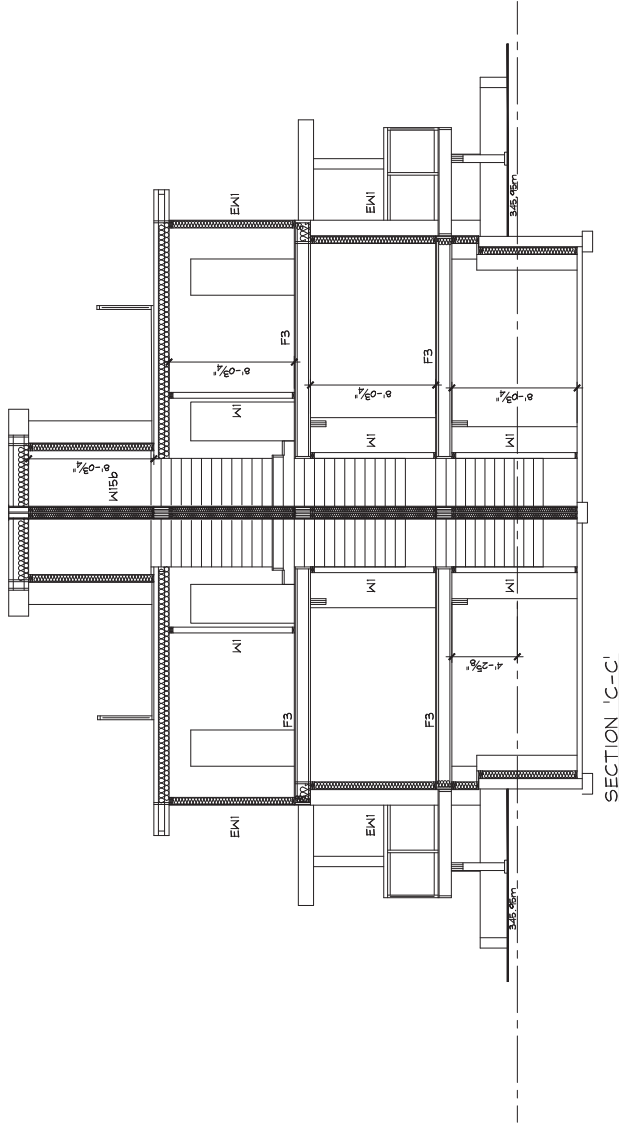
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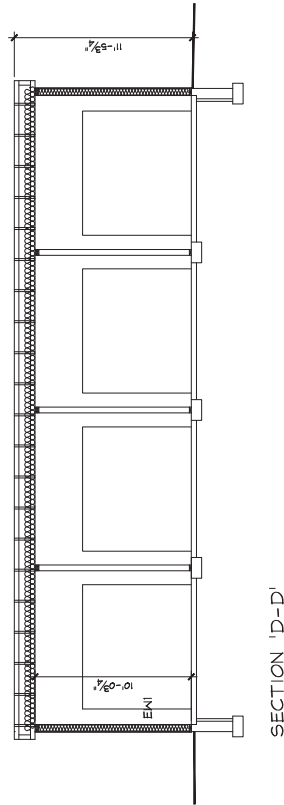
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WALL TYPES

- KI1** 38 MM X 89 MM STUDS SPACED 400 MM OR 600 MM O.C.
WITH OR WITHOUT ABSORPTIVE MATERIAL
1 LAYER OF GYPSUM BOARD ON EACH SIDE
- KI15** TWO ROWS 38 MM X 89 MM STUDS, EACH SPACED 400 MM
OR 600 MM O.C. ON SEPARATE 38 MM X 89 MM PLATES
SET 25 MM APART
WITH OR WITHOUT ABSORPTIVE MATERIAL
2 LAYERS OF GYPSUM BOARD ON EACH SIDE
- KI15b** KI15 WITH
89 MM THICK ABSORPTIVE MATERIAL ON EACH SIDE(4)(8)
12.7 MM TYPE X GYPSUM BOARD(5) 1 HR FR
- EKI1** 38 MM X 89 MM STUDS SPACED 400 MM OR 600 MM O.C.
89 MM THICK ABSORPTIVE MATERIAL(6)
1 OR 2 LAYERS OF GYPSUM BOARD ON INSIDE
EXTERIOR SHEATHING AND SIDING
- EKI1a** EKI1 WITH
15.9 MM TYPE X GYPSUM BOARD(5)(9) 1 HR FR
- F3** SUBFLOOR OF 15.5 MM PLYWOOD, OSB OR WAFFERBOARD
OR 17MM TONGUE AND GROOVE LUMBER
ON WOOD JOISTS CHANGE BEGIN OR WOOD 1-JOISTS
CHANGE END SPACED NOT MORE THAN 600 MM O.C.
WITH OR WITHOUT ABSORPTIVE MATERIAL IN CAVITY
1 LAYER OF GYPSUM BOARD ON CEILING SIDE
- S9a** 31 MM X 152 MM STEEL STUDS SPACED 400 MM OR 600 MM O.C.
2 LAYERS OF 12.7 MM TYPE X GYPSUM BOARD ON EACH SIDE
150 MM THICK ABSORPTIVE MATERIAL



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