

DRAFT DEVELOPMENT PERMIT



APPROVED ISSUANCE OF DEVELOPMENT PERMIT NO. DP17 -0130

Issued To: Karmjit S. Gill, Balvir K. Gill and Avineet S. Gill
Site Address: 1160 McKenzie Road, Kelowna BC
Legal Description: Lot 4, Section 25, Township 26, ODYD Plan 1760 Except Plan KAP60715
Zoning Classification: A1t – Agriculture 1 with Agri-tourism Accommodation
Development Permit Area: Farm Protection

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Development Permit No. DP17-0130 for Lot 4, Section 25, Township 26, ODYD Plan 1760 Except Plan KAP60715, located at 1160 McKenzie Rd, Kelowna, BC to allow the construction of Agri-tourist Accommodation Recreational Vehicle Site for nine units be approved subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) Landscaping to be provided on the land be in accordance with Schedule "B"; and
- c) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect.

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$_____ OR
- b) An Irrevocable Letter of Credit in the amount of \$ 60,146.88 .

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

5. APPROVALS

Issued and approved by Council on the _____ day of _____, 2017.

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

Date

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or his or her designates**

KARMA GILL 9 LOT RV PARK 1160 McKENZIE ROAD KELOWNA, BC

SCHEDULE

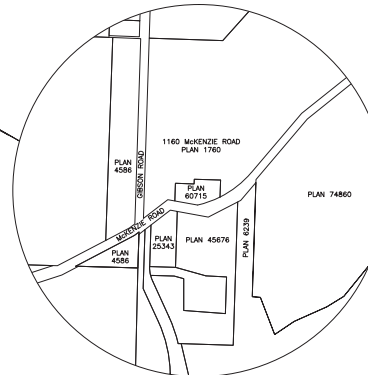
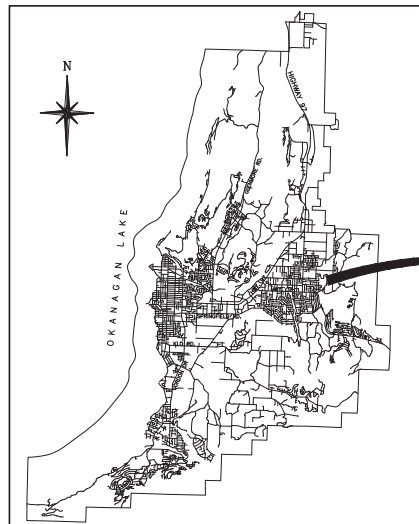
A

This forms part of application
DP17-0130

Planner
Initials

MS

City of
Kelowna
COMMUNITY PLANNING



SITE LOCATION
NTS

GENERAL NOTES

- CONSTRUCTION SHALL ONLY PROCEED WITH APPROVED ISSUED FOR CONSTRUCTION DRAWINGS. IT IS THE CONTRACTOR RESPONSIBILITY TO ASSURE THAT THEY ARE IN POSSESSION OF THE MOST RECENT SET OF DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT FROM DIGITAL INFORMATION. ACCURACY FROM DIGITAL FILES IS NOT GUARANTEED. LAYOUT TO CONFORM TO DISTANCES AND OFFSETS AS SHOWN ON THE CONTRACT DRAWINGS. CONTRACTOR TO CONFIRM THE ACCURACY OF THE LAYOUT PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS FOR CONSTRUCTION & ARRANGING FOR DISPOSAL OF GROUND WATER AS REQUIRED.
- THE CONTRACTOR SHALL COORDINATE ALL TESTING REQUIRED WITH THE TESTING FIRM SPECIFIED BY THE ENGINEER.
- INITIAL TESTING COSTS TO BE BORNE BY THE DEVELOPER WITH THE COST OF RETESTS OF FAILED TESTS BORNE BY THE CONTRACTOR.
- THE POSITION OF POLE LINES, CONDUITS, WATERMANS, SEWERS, UNDERGROUND, ABOVEGROUND UTILITIES & STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS. WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED. BEFORE STARTING WORK, THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF SUCH UTILITIES AND STRUCTURES, AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING AROUND LEGAL PINS TO AVOID DISTURBANCE. IF THE CONTRACTOR IS UNABLE TO AVOID DISTURBANCE OF ANY PIN BECAUSE OF PHYSICAL CONSTRAINTS OF THE SITE, THE ENGINEER SHALL BE NOTIFIED PRIOR TO DISTURBING THE SURVEY PIN. ANY SURVEY PIN DISTURBED WITHOUT NOTIFYING THE ENGINEER, SHALL BECOME THE CONTRACTOR'S RESPONSIBILITY.
- ALL HYDRO AND COMMUNICATION INSTALLATION TO CONFORM TO INDIVIDUAL UTILITY COMPANY STANDARDS & CITY OF KELOWNA STANDARDS.
- SEE UTILITY COMPANY DRAWINGS FOR DETAILED INSTALLATION PLANS. PRIOR TO STARTING SHALLOW UTILITY CONSTRUCTION THE CONTRACTOR MUST CONTACT THE INDIVIDUAL UTILITY COMPANIES (FORTIS, TERSEN, TELUS & SHAW CABLE) TO ENSURE THEY ARE IN POSSESSION OF THE MOST RECENT DRAWINGS AND SPECIFICATIONS AND ARRANGE FOR INSPECTIONS. ANY CHANGES TO THE WORK IN THE FIELD MUST BE APPROVED BY THE UTILITY COMPANIES AND RECORDED BY THE CONTRACTOR FOR AS BUILT INFORMATION.
- THE CONTRACTOR SHALL BE APPROVED BY THE CITY OF KELOWNA ENGINEERING DEPARTMENT.
- BEDDING MATERIAL AND PIPE COVER ON ALL PIPES TO BE CLEAN SAND OR 3/4" CRUSHED GRAVEL PER CITY SUPPLEMENTAL SPECIFICATIONS UNLESS OTHERWISE NOTED.
- BEDDING MATERIAL TO BE HAND TAMPED AROUND PIPES AND MACHINE TAMPED TO 95% M.P.D. FROM 300mm ABOVE PIPE TO SURFACE.
- SANITARY SEWER AND STORM SEWER MAINS TO BE VIDEO INSPECTED TO CITY OF KELOWNA STANDARDS.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING MANHOLES HYDRANTS, SERVICE BOXES ETC. TO MATCH FINAL GRIDES.
- EXISTING EDGE OF PAVEMENT ELEVATIONS TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION TO ENSURE CROSSFALL OF BETWEEN 1% - 3%.
- THE CONTRACTOR'S SURVEYOR SHALL PROVIDE ELEVATIONS OF TOP OF ASPHALT AT THE EDGE OF THE SLOUT PRIOR TO POURING CURB AND GUTTER IN ORDER THAT CURB DESIGN GRIDES MAY BE CHECKED BY THE ENGINEER.
- ALL CATCH BASIN GRATE ELEVATIONS TO BE SET A MIN. OF 30mm BELOW DESIGN GUTTER ELEVATION.
- WHERE PAVEMENT IS LEFT LOW FOR FUTURE OVERLAY CATCH BASIN GRATES TO BE SET 40mm BELOW DESIGN GUTTER ELEVATIONS.
- ALL SANITARY SEWER SERVICES AND ALL STORM SEWER CONNECTIONS TO HAVE 2x4 MARKERS AT INVERTS OF PIPES TO ABOVE GROUND SURFACE WITH MARKERS TO SHOW DEPTH TO INVERT.
- SANITARY AND STORM SEWER SERVICES TO BE INSTALLED AT 2% GRADE UNLESS OTHERWISE NOTED. RISER TYPE NOT APPROVED UNLESS OTHERWISE NOTED.
- ALL WORK TO CONFORM TO THE LATEST EDITION OF M.M.G.D., CITY OF KELOWNA BYLAW #7000 AND APPLICABLE PLUMBING CODE UNLESS OTHERWISE NOTED ON DRAWING. WHERE DISCREPANCIES OCCUR THE CITY OF KELOWNA BYLAW SHALL GOVERN.
- STORM SEWER TO BE ULTRA RIB PVC (PERFORATED WHERE SHOWN).
- ALL STORM SEWER CATCH BASIN LEADS TO BE 200mm DIAMETER SDR 35 PVC.
- THE CONTRACTOR AND CONSULTANT ARE TO COMPLETE ALL TIE-INS AND DISCONNECTS FOR BMD WATER, CITY SEWER AND DRAINAGE SYSTEMS IN THE PRESENCE OF CITY/BMD PERSONNEL. THE CONTRACTOR IS TO COORDINATE THIS WITH THE UTILITY CONSTRUCTION SERVICE PERSON (250-470-0480) AT LEAST TWO (2) FULL WORKING DAYS PRIOR TO SCHEDULING. FOR WATER TIE-INS, PRIOR APPROVAL IS REQUIRED FROM BMD. PRIOR TO SCHEDULING, THE CONTRACTOR MUST OBTAIN A ROAD USAGE PERMIT AND A THIRD PARTY WORK ORDER FROM THE CITY ROAD OFFICE.
- ALL NEW MANHOLES AND DRAINAGE DRIVELLS TO COME WITH FRAME AND COVER MEETING CITY OF KELOWNA STANDARD SS-S16 & CSA STANDARD A257.4-M2. CONCRETE TOP TO HAVE 762mm OPENING. STEEL FRAME TO HAVE 610mm OPENING. ALL EXISTING MANHOLES AND DRAINAGE DRIVELLS ENCOUNTERED DURING THE COURSE OF CONSTRUCTION TO HAVE THE CONCRETE TOP, AND THE STEEL FRAME & COVER UPGRADED TO THAT STANDARD.
- ALL MANHOLE FRAMES AND COVERS INSTALLED IN HARD SURFACE APPLICATIONS TO BE ADJUSTABLE (TERMINAL CITY C44A OR EQUIVALENT).

DRAWING LIST

DRAWING NO.	DRAWING DESCRIPTION
17002-00	COMPOSITE UTILITY PLAN
17002-01	SITE GRADING PLAN
17002-02	PLAN/PROFILE DRAWING
17002-03	STORM WATER MANAGEMENT PLAN
17002-04	TURNING MOVEMENTS

PROTECH
CONSULTING 2012

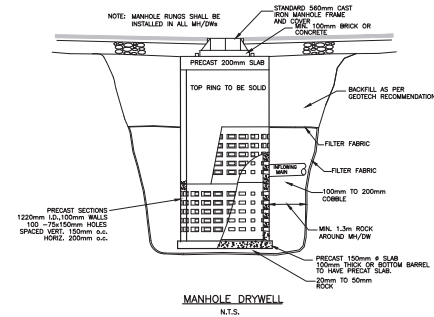
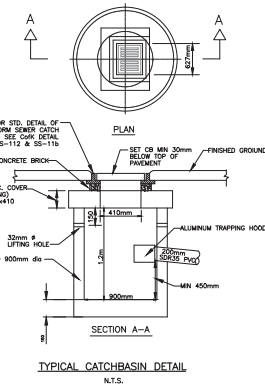
200 - 1461 St. Paul Street Kelowna B.C. Phone 860-1771
FAX 860-1994

Protech File: 17002
City File: --

A



A compass rose diagram showing the relationship between true North (N) and magnetic South (MS). A red line is drawn from the center of the compass, pointing towards the left, representing the magnetic declination.



DIVISION	
DRAWING NO.	REV. NO.
17002-00	0

SCHEDULE

A

This forms part of application

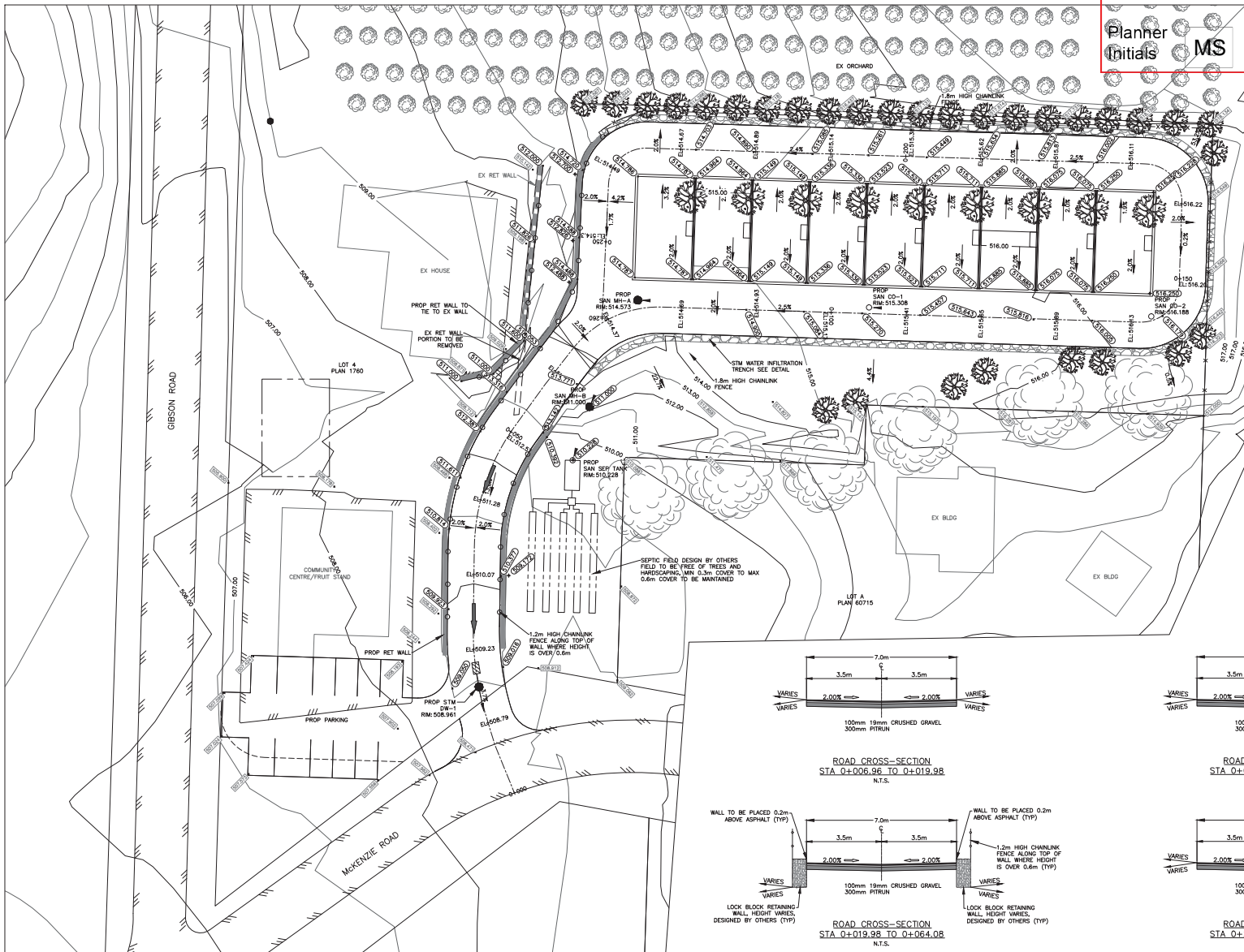
DP17-0130



City of
Kelowna
COMMUNITY PLANNING

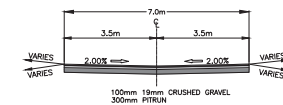


Planner
Initials MS

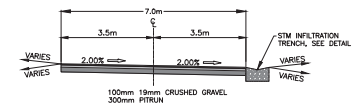


LEGEND

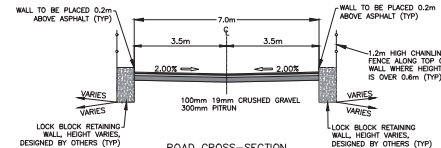
- FINISHED GRUND CONTOURS
- EXISTING ELEVATIONS
- PROPOSED ELEVATIONS
- OVERLAND FLOW ROUTE
- 100 YR STORM FLOOD ROUTING



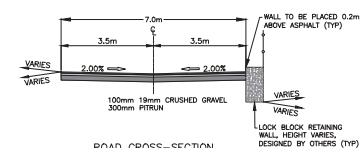
ROAD CROSS-SECTION
STA 0+006.96 TO 0+019.98
N.T.S.



ROAD CROSS-SECTION
STA 0+064.08 TO 0+239.17
N.T.S.



ROAD CROSS-SECTION
STA 0+019.98 TO 0+064.08
N.T.S.



ROAD CROSS-SECTION
STA 0+239.17 TO 0+260.00
N.T.S.

LEGEND

- WATER
- SEWER
- STORM SEWER
- GAS
- U/C UTILITY (ALIGNMENT)
- EX. MANHOLE
- PROP. MANHOLE
- POWER POLE
- LAMP STANDARD
- CATCH BASIN
- HYDRANT
- SURVEY MONUMENT
- WATER CURB STOP
- SANITARY INSPECTION CHAMBER
- TRANSFORMER - POWER
- SERVICE BOX

PROTECH CONSULTING 2012

200 - 1461 St. Paul Street Kelowna B.C.

Phone 860-1771

FAX 860-1994

NO.	DATE	BY	REVISION	CHKD
0	2017.04.03	BZ	ISSUED FOR DEVELOPMENT PERMIT	

DRAWN	BMZ
DESIGN	BMZ
APPROVED	DRP
DATE	FEB 2017
SCALE	
HORIZ.	1:250

THE CITY OF KELOWNA
ENGINEERING DEPARTMENT

9 LOT RV PARK
1160 MCKENZIE ROAD
SITE GRADING PLAN

DIVISION

DRAWING NO.

REV. NO.

17002-01 0

SCHEDULE

A

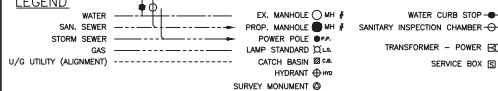
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DP17-0130

Planner
Initials

MS



LEGEND



PROTECH CONSULTING 2012

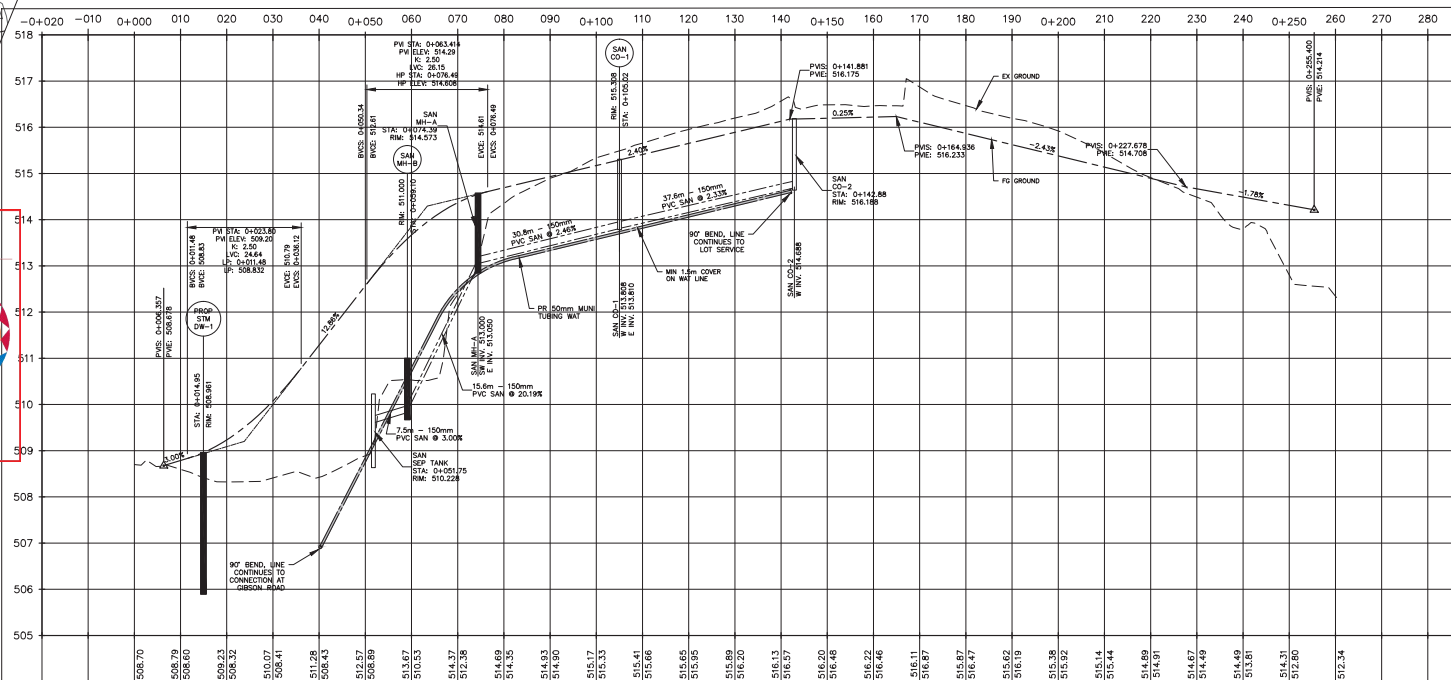
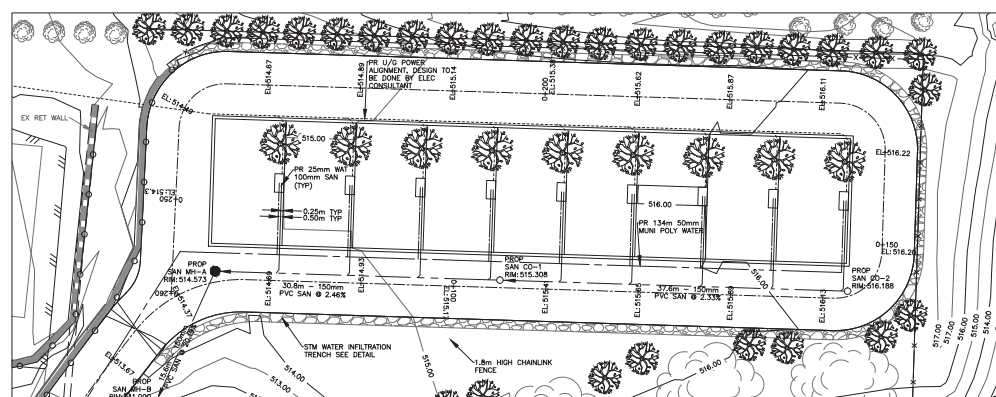
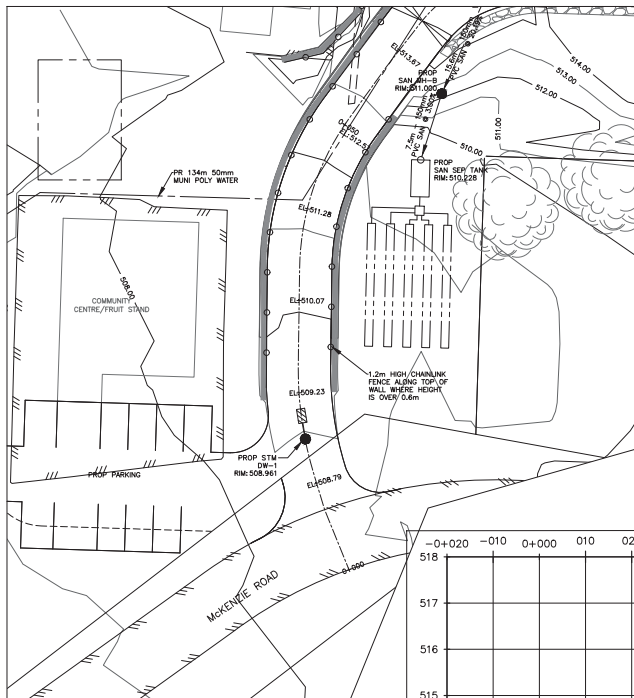
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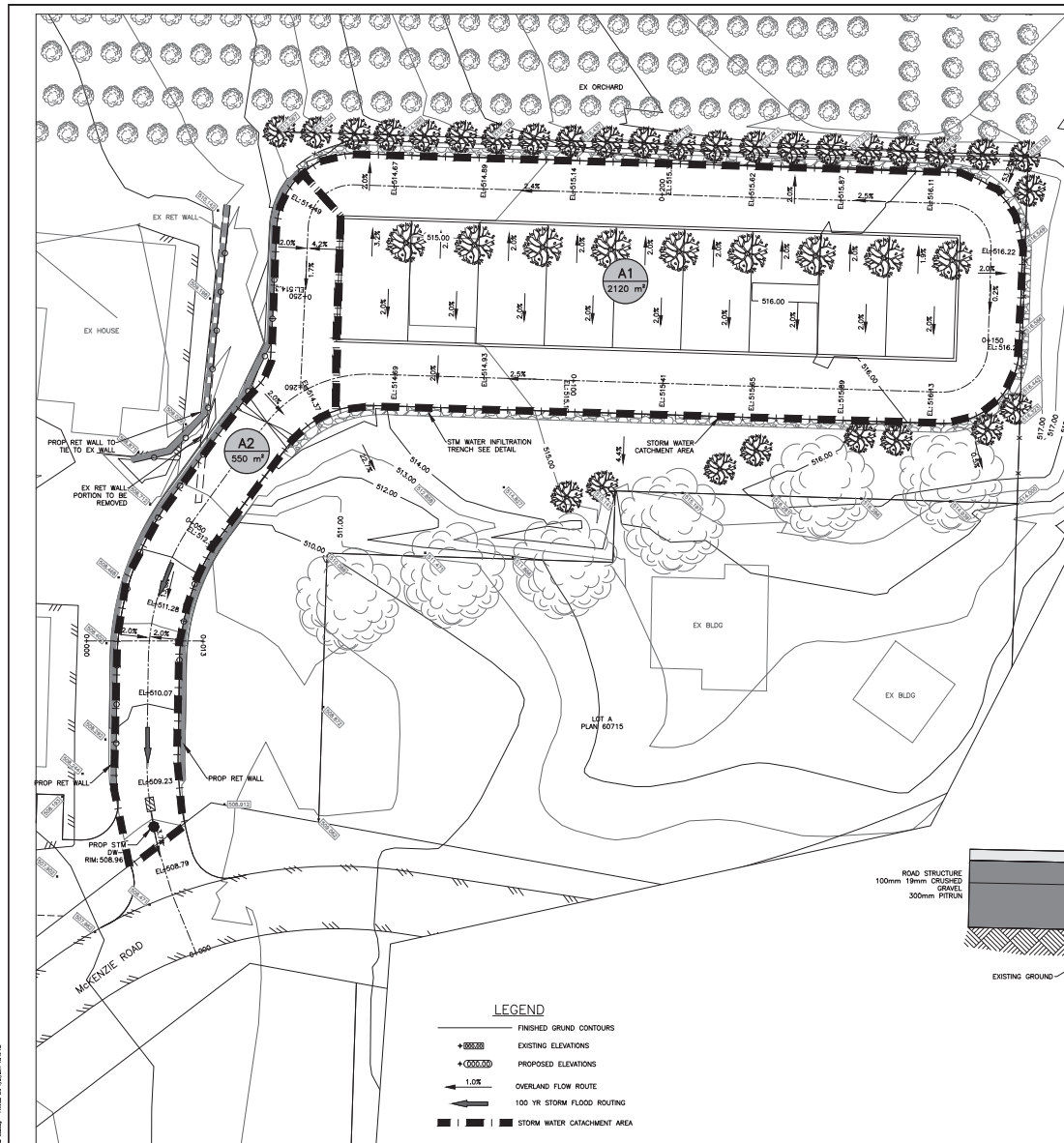
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0	2017.04.03	BZ	ISSUED FOR DEVELOPMENT PERMIT	

DRAWN	BMZ
DESIGN	BMZ
APPROVED	DRP
DATE	FEB 2017
SCALE	
PLAN VIEW	1:250
PROFILE VIEW	1:500

THE CITY OF KELOWNA
ENGINEERING DEPARTMENT
9 LOT RV PARK
1160 MCKENZIE ROAD
PLAN PROFILE

DIVISION	
DRAWING NO.	17002-02
REV. NO.	0





STORM DRAINAGE CALCULATIONS (MODIFIED RATIONAL METHOD)

DEVELOPMENT LOCATION
1160 McKenzie Road - Upper Part Area to Infiltration Trench

STORM DRAINAGE CALCULATIONS (MODIFIED RATIONAL METHOD)

PRE DEVELOPMENT FLOW RATES

WHERE: Q_{FLOW} = UNWEIGHTED RAINFALL INTENSITY
Q_{WATER} = UNWEIGHTED RAINFALL INTENSITY
Q_{WATER} = UNWEIGHTED RAINFALL INTENSITY

Assuming: 2120 m² Unimproved C_p = 0.15
0 m² Asphalt C_p = 0.80
0 m² Building C_p = 0.80
Weighted C_p = 0.15

Area: 0.27 Ha

CALCULATING THE TIME OF CONCENTRATION USING THE AIRPORT FORMULA AS FOLLOWS:

$T_c = 0.00004 L^{0.77} S^{-0.0167}$

WHERE: L = CATCHMENT LENGTH
S = WATER-SHED SLOPE

L = 10 m
S = 5%
T_c = 12.9 min

POST DEVELOPMENT FLOW RATES

WHERE: Q_{FLOW} = UNWEIGHTED RAINFALL INTENSITY
Q_{WATER} = UNWEIGHTED RAINFALL INTENSITY
Q_{WATER} = UNWEIGHTED RAINFALL INTENSITY

Assuming: 2120 m² Landscaping C_p = 0.15
0 m² Gravel Surface C_p = 0.80
0 m² Building C_p = 0.80
Weighted C_p = 0.80

Area: 100 yr Event 0.27 Ha

INFILTRATION FLOW RATES

Drainage/Rock Pits Q_{IN} (L/s)

Hydraulic Conductivity k = 1.0E-05 m/s
Infiltration Area A_i = 0.91 m²
Hydraulic Gradient G_i = 0.05 m/m
Infiltration Flow Q_i = 0.0 L/s

Perforated Pipe Q_{IN} (L/s)

Hydraulic Conductivity k = 1.0E-05 m/s
Infiltration Area A_i = 0.91 m²
Hydraulic Gradient G_i = 0.05 m/m
Infiltration Flow Q_i = 0.0 L/s

TOTAL INFILTRATION FLOW Q_{IN} (L/s)

STORAGE VOLUME REQUIRED

Q_{IN} (PORT-OR-PIPE) X DURATION X 10% SAFETY FACTOR

First Out Flow (First Out First) "Duration" 10% safety factor

15.700 m³
17.600 m³
18.700 m³
19.370 m³
17.700 m³

REQUIRED VOLUME 18.8 m³

STORM TRENCH CAPACITY

180mm 6m x 0.6m = 66.6 m³
AT 30% VOID RATIO = 19.98 m³ AVAILABLE STORAGE

STORM DRAINAGE CALCULATIONS (MODIFIED RATIONAL METHOD)

DEVELOPMENT LOCATION
1160 McKenzie Road - Road Way to Driveway

STORM DRAINAGE CALCULATIONS (MODIFIED RATIONAL METHOD)

PRE DEVELOPMENT FLOW RATES

WHERE: Q_{FLOW} = UNWEIGHTED RAINFALL INTENSITY
Q_{WATER} = UNWEIGHTED RAINFALL INTENSITY
Q_{WATER} = UNWEIGHTED RAINFALL INTENSITY

Assuming: 550 m² Unimproved C_p = 0.15
0 m² Asphalt C_p = 0.80
0 m² Building C_p = 0.80
Weighted C_p = 0.15

Area: 0.06 Ha

CALCULATING THE TIME OF CONCENTRATION USING THE AIRPORT FORMULA AS FOLLOWS:

$T_c = 0.00004 L^{0.77} S^{-0.0167}$

WHERE: L = CATCHMENT LENGTH
S = WATER-SHED SLOPE

L = 10 m
S = 5%
T_c = 12.9 min

POST DEVELOPMENT FLOW RATES

WHERE: Q_{FLOW} = UNWEIGHTED RAINFALL INTENSITY
Q_{WATER} = UNWEIGHTED RAINFALL INTENSITY
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Assuming: 550 m² Landscaping C_p = 0.15
0 m² Gravel Surface C_p = 0.80
0 m² Building C_p = 0.80
Weighted C_p = 0.80

Area: 100 yr Event 0.06 Ha

INFILTRATION FLOW RATES

Drainage/Rock Pits Q_{IN} (L/s)

Hydraulic Conductivity k = 1.0E-05 m/s
Infiltration Area A_i = 0.91 m²
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Infiltration Flow Q_i = 0.0 L/s

Perforated Pipe Q_{IN} (L/s)

Hydraulic Conductivity k = 1.0E-05 m/s
Infiltration Area A_i = 0.91 m²
Hydraulic Gradient G_i = 0.05 m/m
Infiltration Flow Q_i = 0.0 L/s

TOTAL INFILTRATION FLOW Q_{IN} (L/s)

STORAGE VOLUME REQUIRED

Q_{IN} (PORT-OR-PIPE) X DURATION X 10% SAFETY FACTOR

First Out Flow (First Out First) "Duration" 10% safety factor

4.982 m³
4.990 m³
4.990 m³
4.990 m³
4.990 m³

REQUIRED VOLUME 5.0 m³

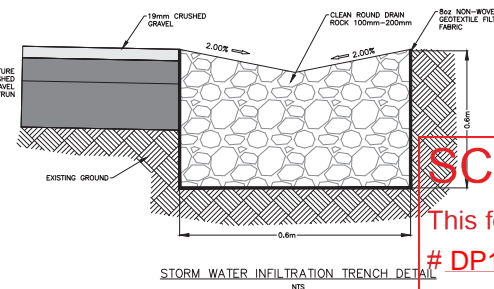
STORAGE VOLUME PROVIDED

C_p CLOSED PIPE PER PIPE

TOTAL IN 1 DRYWELLS AND 1 SURROUNDING STONE 6.4 m³

TOTAL IN 1 DRYWELLS AND 1 SURROUNDING STONE 6.4 m³

TOTAL ON SITE STORAGE 6.4 m³



SCHEDULE A

This forms part of application
DP17-0130

Planner
Initials

MS

City of
Kelowna
COMMUNITY PLANNING

LEGEND

WATER

SAN. SEWER

STORM

GAS

U/G UTILITY (ALIGNMENT)

EX. MANHOLE MH #

PROP. MANHOLE MH #

POWER POLE

LAMP STANDARD

CATCH BASIN

HYDRANT

SURVEY MONUMENT

WATER CURB STOP

SANITARY INSPECTION CHAMBER

TRANSFORMER - POWER

SERVICE BOX

PROTECH CONSULTING 2012

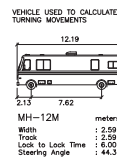
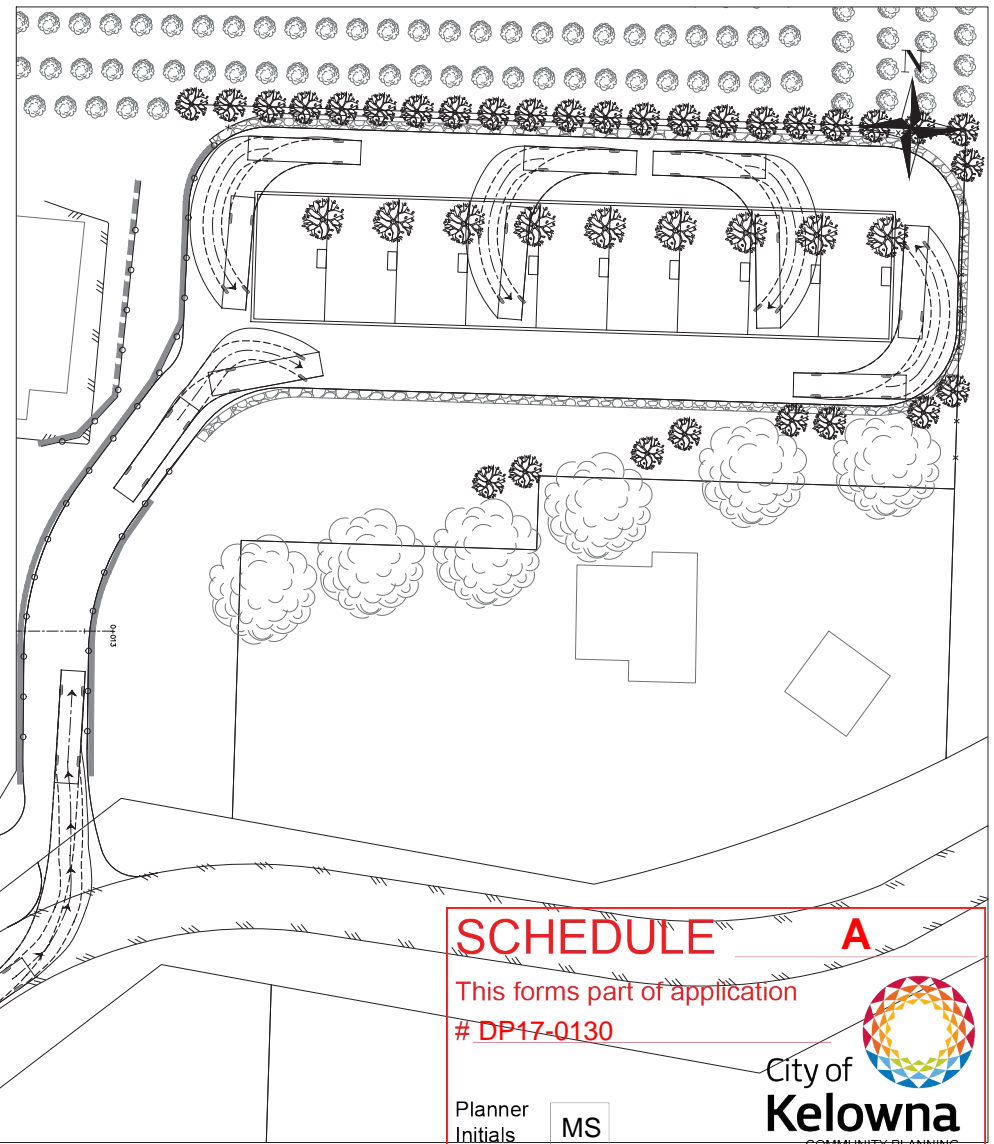
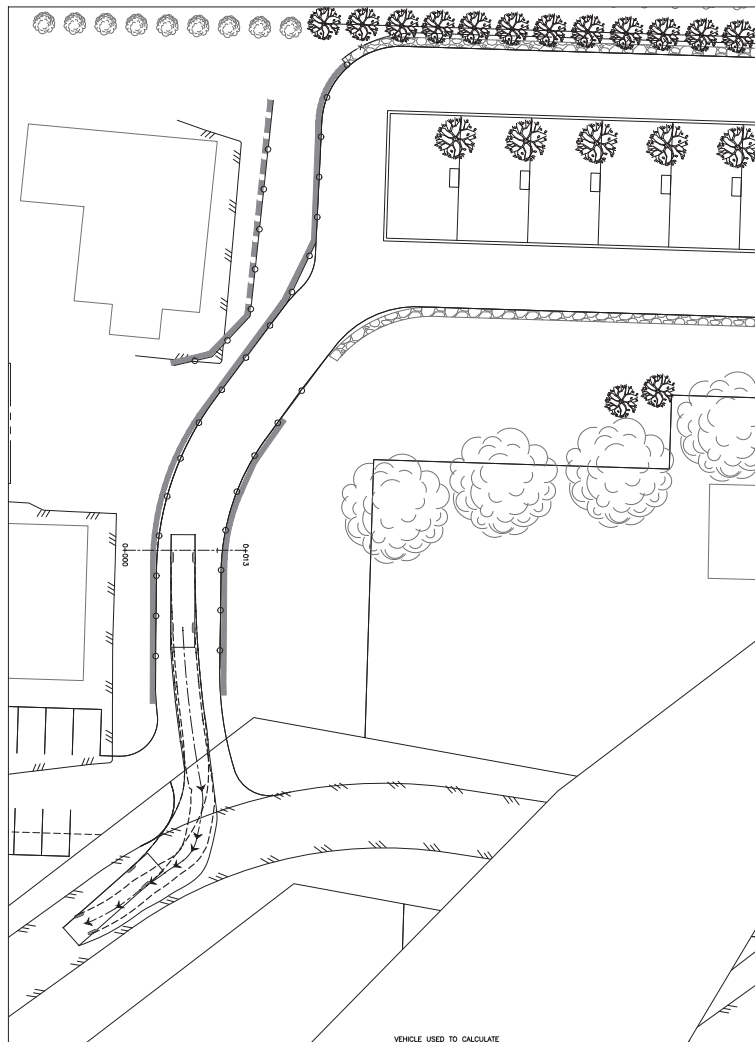
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DESIGN	BMZ
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SCALE	
HORIZ.	1:250

THE CITY OF KELOWNA
ENGINEERING DEPARTMENT
9 LOT RV PARK
1160 MCKENZIE ROAD
SITE GRADING PLAN

DIVISION	DRAWING NO.	REV. NO.
	17002-03	0



SCHEDULE A

This forms part of application
DP17-0130

Planner Initials

MS

City of Kelowna
COMMUNITY PLANNING

- LEGEND**
- | | | |
|---|--|---|
| <p>WATER</p> <p>SAN. SEWER</p> <p>STORM SEWER</p> <p>GAS</p> <p>U/G UTILITY (ALIGNMENT)</p> | <p>EX. MANHOLE ○ MH #</p> <p>PROP. MANHOLE ● MH #</p> <p>POWER POLE ○</p> <p>LAMP STANDARD ○ Lx</p> <p>CATCH BASIN ○ CB</p> <p>HYDRANT ○ Hy</p> <p>SURVEY MONUMENT ○</p> | <p>WATER CURB STOP</p> <p>SANITARY INSPECTION CHAMBER</p> <p>TRANSFORMER - POWER</p> <p>SERVICE BOX</p> |
|---|--|---|

PROTECH CONSULTING 2012

200 - 1461 St. Paul Street Kelowna B.C. Phone 860-1771 Fax 860-1994

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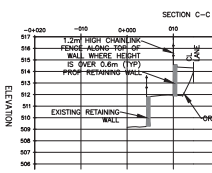
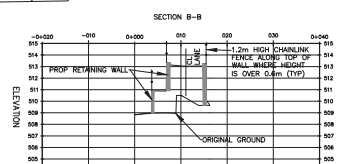
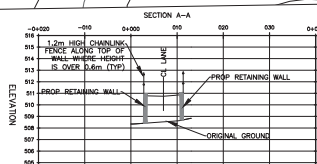
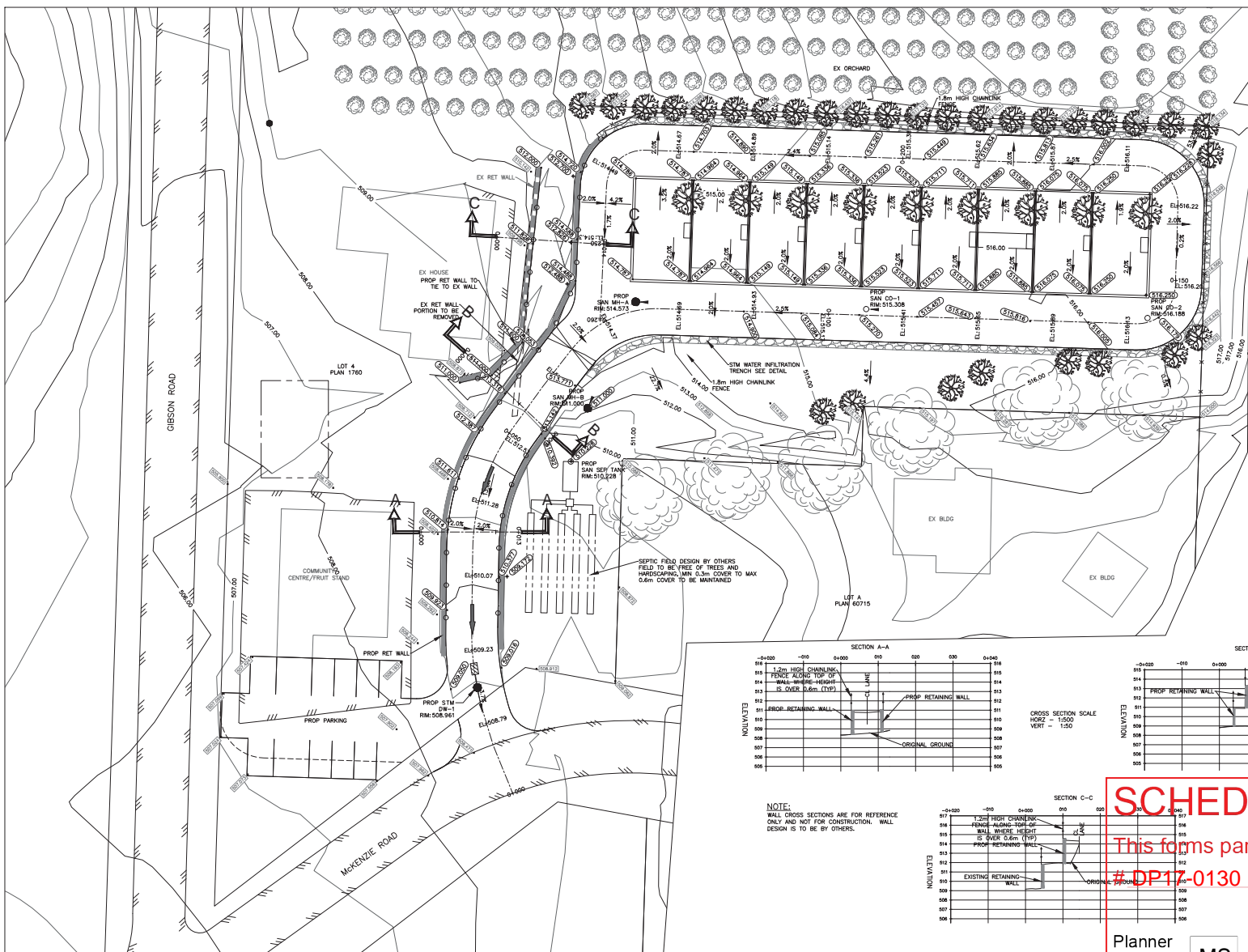
THE CITY OF KELOWNA
ENGINEERING DEPARTMENT

9 LOT RV PARK
1160 MCKENZIE ROAD
TURNING MOVEMENTS

DIVISION	DRAWING NO.	REV. NO.
	17002-04	0



- LEGEND**
- FINISHED GRUND CONTOURS
 - EXISTING ELEVATIONS
 - PROPOSED ELEVATIONS
 - OVERLAND FLOW ROUTE
 - 100 YR STORM FLOOD ROUTING



NOTE:
WALL CROSS SECTIONS ARE FOR REFERENCE
ONLY AND NOT FOR CONSTRUCTION. WALL
DESIGN IS TO BE BY OTHERS.

SCHEDULE A

This forms part of application
#DP17-0130

Planner
Initials MS

- LEGEND**
- WATER
 - SEWER
 - STORM SEWER
 - GAS
 - U/C UTILITY (ALIGNMENT)
 - EX. MANHOLE
 - PROP. MANHOLE
 - POWER POLE
 - LAMP STANDARD
 - CATCH BASIN
 - HYDRANT
 - SURVEY MONUMENT
 - EX. HOUSE
 - PROP. RET. WALL
 - EX. RET. WALL
 - EX. RET. WALL PORTION TO BE REMOVED
 - EX. RET. WALL TIE TO EX. WALL
 - PROP. SAN. MANHOLE
 - PROP. SAN. CO-1
 - PROP. SAN. CO-2
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 - PROP. SAN. CO-100

PROTECH CONSULTING 2012
200 - 1461 St. Paul Street Kelowna B.C. Phone 860-1771 FAX 860-1994

NO.	DATE	BY	REVISION	CHKD

DRAWN	BMZ
DESIGN	BMZ
APPROVED	DRP
DATE	FEB 2017
SCALE	HORIZ. 1:250

THE CITY OF KELOWNA
ENGINEERING DEPARTMENT
9 LOT RV PARK
1160 MCKENZIE ROAD
SITE GRADING PLAN CROSS SECTIONS

DRAWING NO.	REV. NO.
17002-XSE	0



City of
Kelowna
COMMUNITY PLANNING





