

# DEVELOPMENT VARIANCE PERMIT



## APPROVED ISSUANCE OF DEVELOPMENT VARIANCE PERMIT NO. DVP17-0148

**Issued To:** Angelo Kokonas  
**Site Address:** 671 Ellis Street  
**Legal Description:** Lot A District Lot 9 ODYD Plan EPP52340  
**Zoning Classification:** RU6 – Two Dwelling Housing  
**Development Permit Area:** N/A

### SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

### 1. TERMS AND CONDITIONS

THAT variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A":

**Section 13.6.6(a): RU6 – Two Dwelling Housing Development Regulations**

To vary the required maximum site coverage from 40% permitted to 43.54% proposed;

**Section 13.6.6(b): RU6 – Two Dwelling Housing Development Regulations**

To vary the required maximum lot coverage from 14% permitted to 15.18% proposed.

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

### 2. PERFORMANCE SECURITY

None required.

### 3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not register the subdivision permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

**This Permit IS NOT a Building Permit.**

### 4. APPLICANT'S AGREEMENT

I hereby declare that all of the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit and/or Development Variance Permit, the Municipality may withhold the granting of any Occupancy Permit for the occupancy and / or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Divisional Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning Department immediately to avoid any unnecessary delay in processing the application.

### 5. APPROVALS

Issued and approved by Council on the \_\_\_\_\_ day of \_\_\_\_\_, 2017.

\_\_\_\_\_  
Ryan Smith, Community Planning Department Manager  
Community Planning & Real Estate

\_\_\_\_\_  
Date

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall be returned to the PERMIT HOLDER.**



## CITY OF KELOWNA

## MEMORANDUM

**Date:** July 06, 2017  
**File No.:** DVP17-0148  
**To:** Urban Planning Management (LK)  
**From:** Development Engineering Manager (JK)  
**Subject:** 671 Ellis Street Lot A, Plan EPP52340

The Development Engineering comments and requirements regarding this DVP application are as follows:

This development variance permits application to vary the maximum accessory building coverage from 14% to 15.18% and also to vary the maximum site coverage from 40% to 43.54% proposed to facilitate the development of an accessory building on the subject property, does not compromise any municipal services.

A handwritten signature in black ink, appearing to be 'James Kay', written over a horizontal line.

James Kay, P. Eng.  
Development Engineering Manager

JA

ATTACHMENT

A

This forms part of application  
# DVP17-0148

Planner Initials

LK

City of Kelowna

COMMUNITY PLANNING

TANRYE Homes and Designs

2868 Salish Road  
West Kelowna, BC (250)864-8784  
tanryehomesanddesigns@shaw.ca

TANRYE Homes and Designs

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PROJECT TITLE

SHEET TITLE

SITE PLAN

PROJECT No.

LOT A

STREET ADDRESS

671 ELLIS STREET

SCALE

3/32"=1'0"

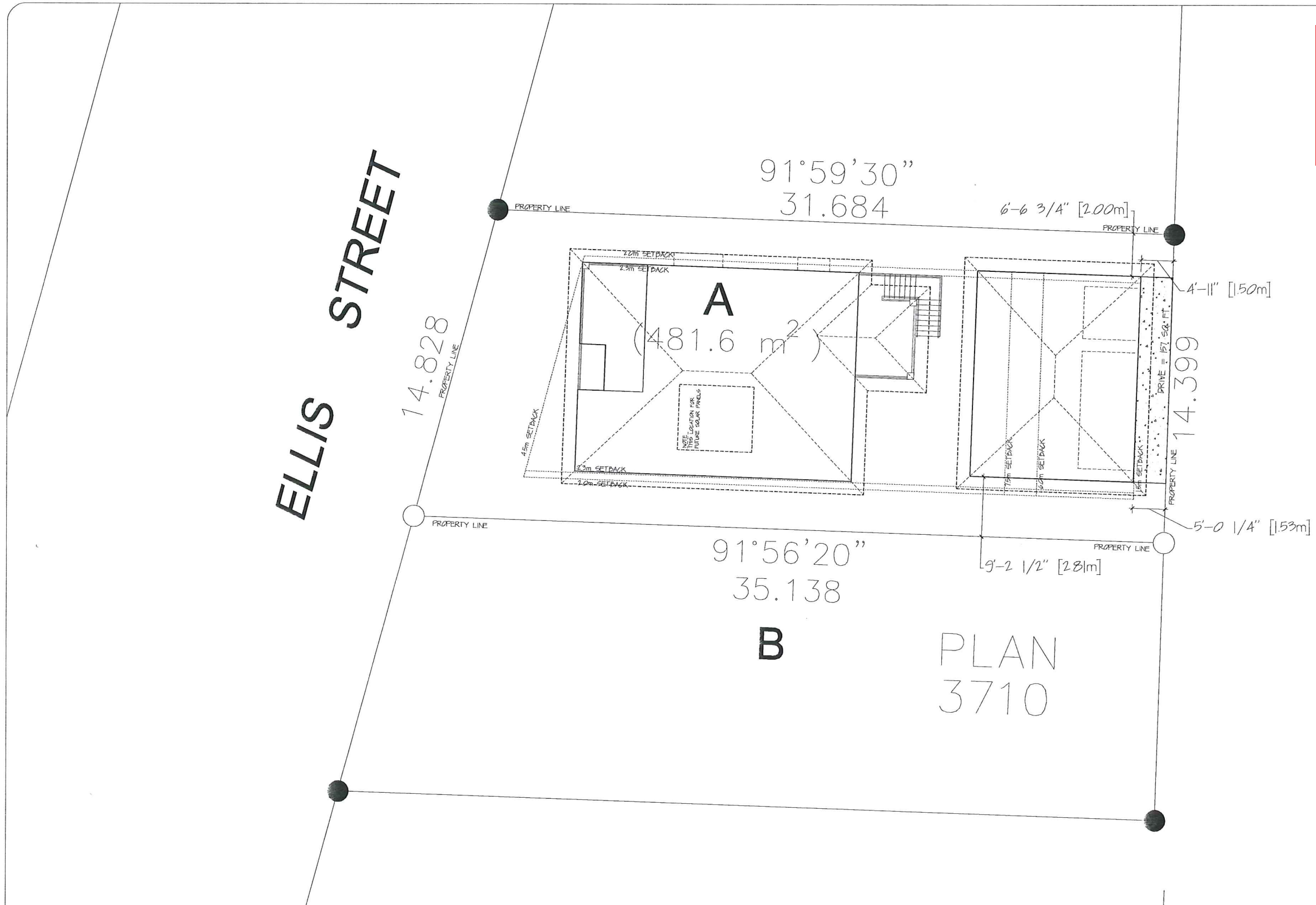
SHEET NO.

1 / 4

DATE

FEB 2017

REVISED - APR. 25, 2017



GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE AND ALL LOCAL LAWS AND BYLAWS.

2. BEFORE CONSTRUCTION COMMENCES IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK ALL DETAILS AND DIMENSIONS TO CONFIRM ACCURACY AND TO ASSURE THERE ARE NO DISCREPANCIES.

3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR FOR THE CORRECT SITING OF THE BUILDING TO CONFORM WITH NECESSARY SETBACKS.

4. ALTHOUGH EVERY EFFORT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE DRAWINGS WE CANNOT ELIMINATE THE POSSIBILITY OF HUMAN ERROR. THEREFORE TANRYE HOMES & DESIGN WILL NOT BE LIABLE FOR ANY ERRORS OR OMISSIONS.
5. THE DRAWINGS ARE ARCHITECTURAL REPRESENTATIONS ONLY. ANY ENGINEERING REQUIRED FOR FOUNDATION, FLOOR SYSTEM AND ROOF SYSTEM IS THE RESPONSIBILITY OF THE BUILDER / OWNER. THIS PLAN IS SUBJECT TO THE APPROVAL OF THE LOCAL MUNICIPAL AUTHORITY.

NOTE: WINDOW OPENINGS TO BE CO-ORDINATED AND CONFIRMED WITH WINDOW MANUFACTURER AND CLIENT (OWNER).

**SITE CALCULATIONS :**

FLOOR AREAS:	
MAIN FLOOR AREA	1192 SQ. FT.
BASEMENT DEV. AREA	195 SQ. FT.
TOTAL LIVING AREA	2387 SQ. FT.
GARAGE AREA : 787 SQ. FT.	
LOT SIZE :	48136 SQ. M.
SITE COVERAGE :	4554 %

**LIST OF DRAWINGS**

ARCHITECTURAL DRAWINGS	
1	SITE PLAN
2	ELEVATIONS
3	MAIN FLOOR PLAN
4	FOUNDATION PLAN
5	CROSS-SECTION, SPECIFICATIONS AND DETAILS

ATTACHMENT **B**

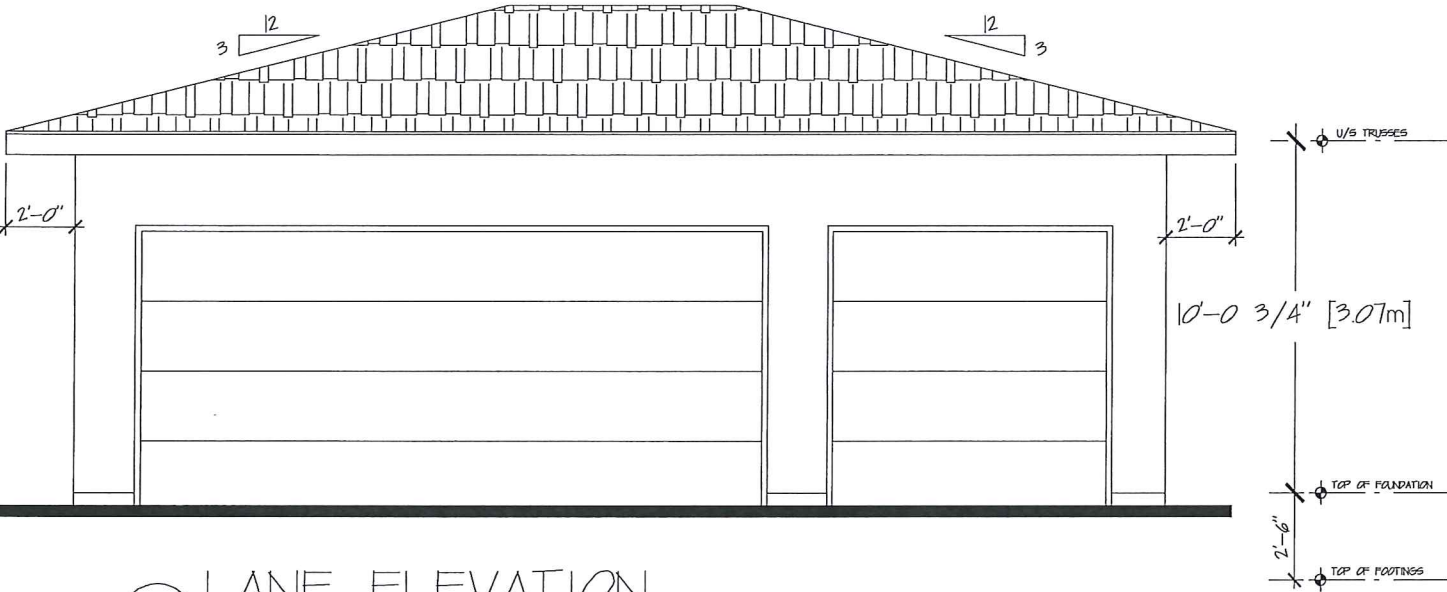
This forms part of application  
# DVP17-0148

Planner  
Initials **LK**

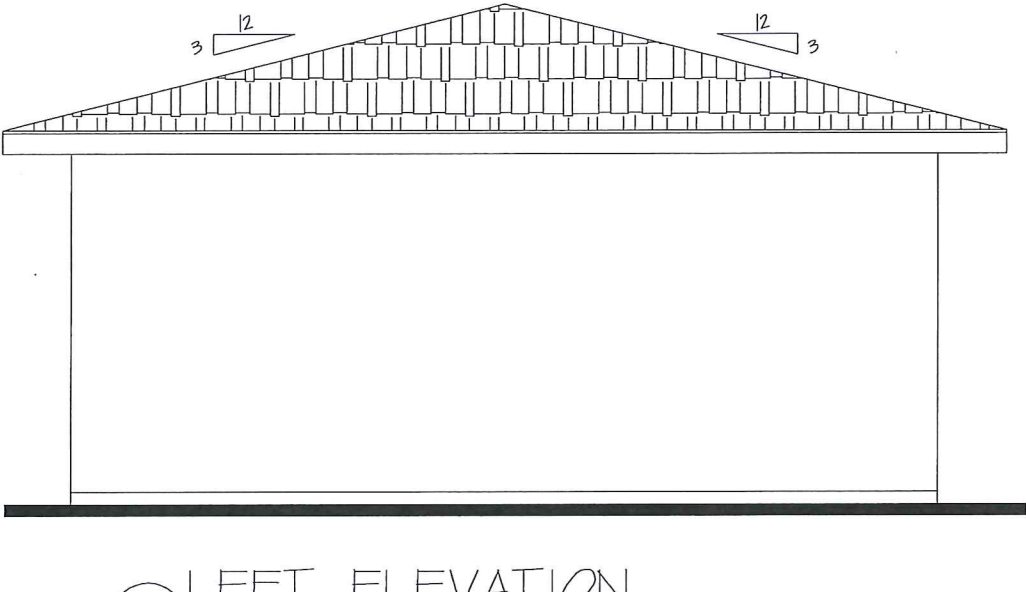


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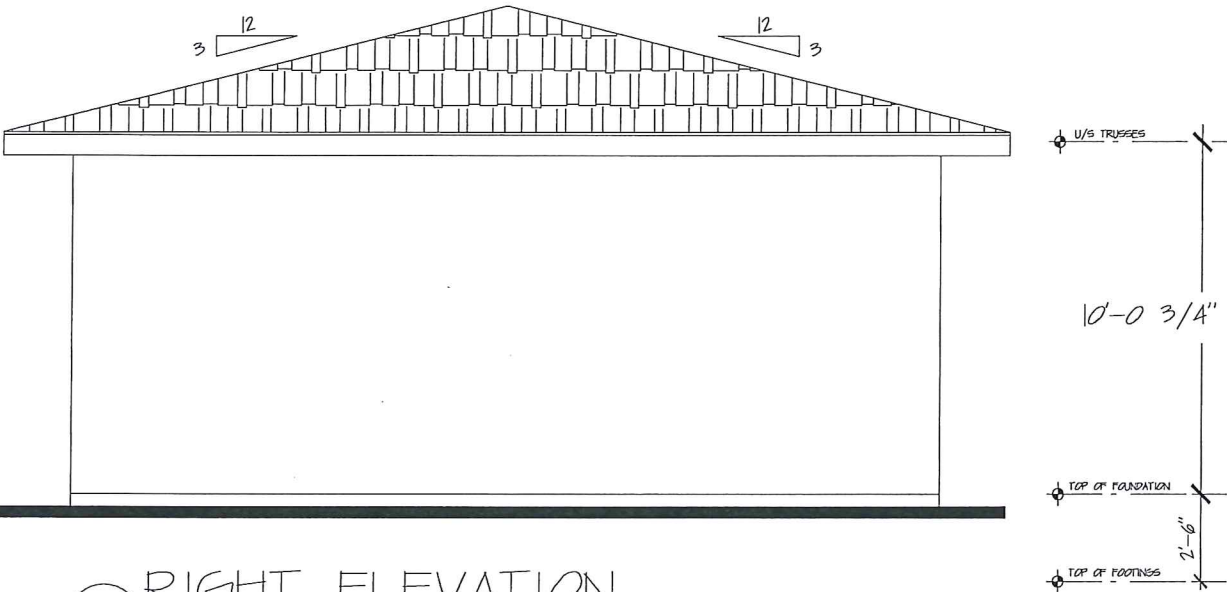
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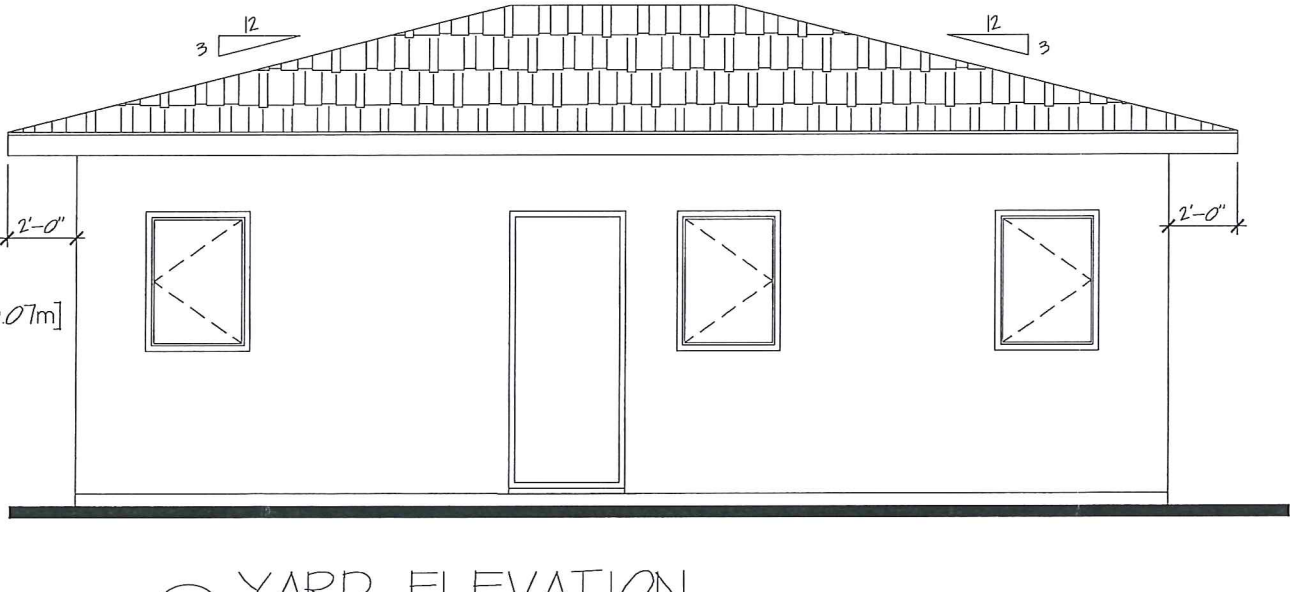
○ LANE ELEVATION



○ LEFT ELEVATION



○ RIGHT ELEVATION



○ YARD ELEVATION

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**GARAGE  
ELEV.**

**LOT A**

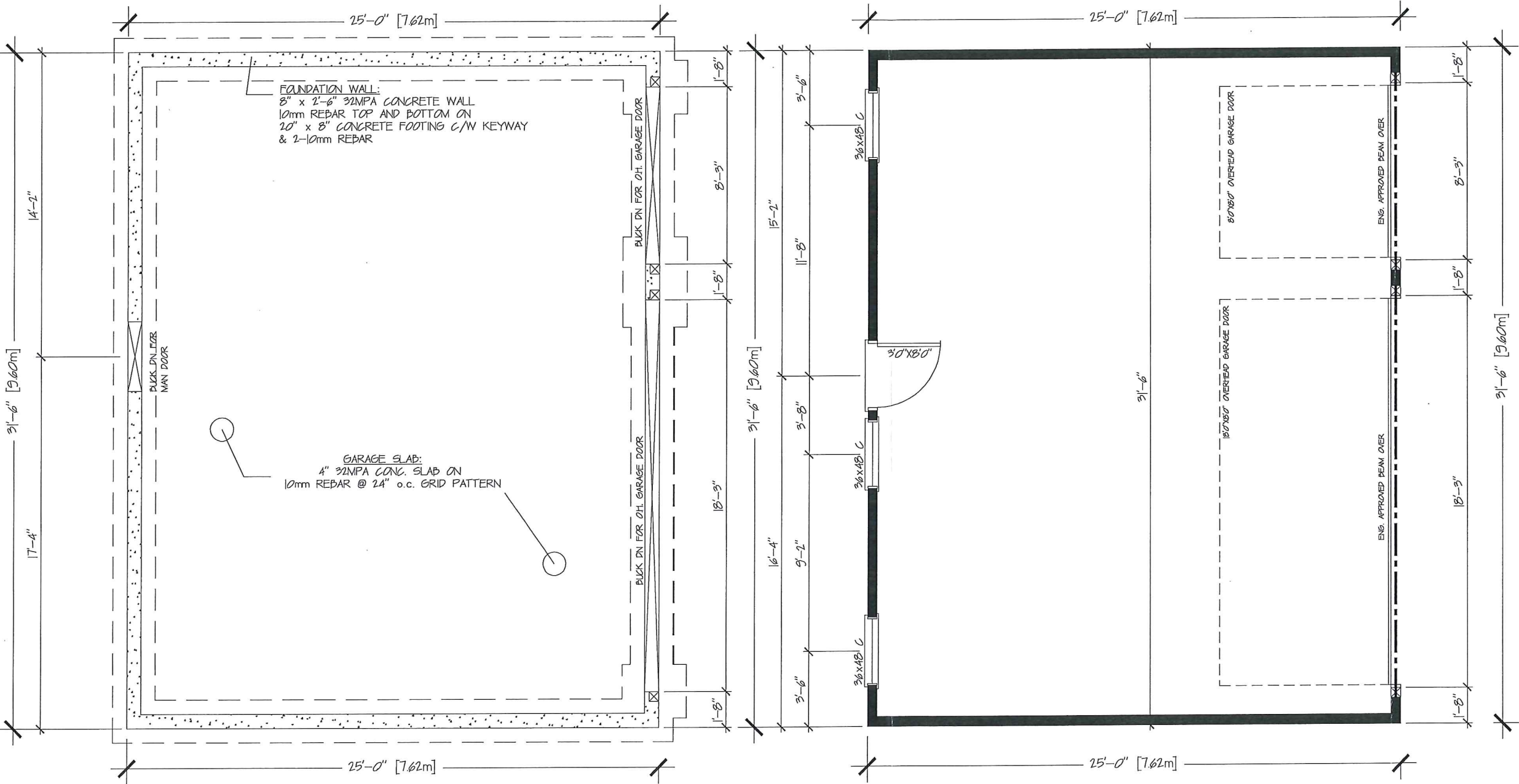
**671  
ELLIS  
STREET**

**3/16"=1'0"**

**2 / 4**

**FEB 2017**





○ FOUNDATION PLAN

○ GARAGE PLAN  
187. SQ. FT.

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## GENERAL NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE BC BUILDING CODE AND ALL LOCAL LAWS AND BYLAWS.
- BEFORE CONSTRUCTION COMMENCES IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK ALL DETAILS AND DIMENSIONS TO CONFIRM ACCURACY AND TO ASSURE THERE ARE NO DISCREPANCIES.

## CONCRETE & FOOTINGS

ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI (20MPa) AT 28 DAYS

CONCRETE FOOTING MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION.

ALL FOOTINGS ARE TO HAVE TWO 10 mm REINFORCING BARS THE REINFORCING BARS ARE TO BE SITUATED SUCH THAT ONE BAR IS 3" (75mm) CLEAR OF THE SIDE AND BOTTOM OF THE FOOTING ON BOTH SIDES OF THE FOOTING.

ALL FOUNDATION WALL 24" (600mm) AND HIGHER SHOULD HAVE ONE HORIZONTAL 10mm REINFORCING BAR 3" (75mm) FROM THE TOP. CORNER REINFORCING TO BE LAPPED MINIMUM 24" (600mm)

## CARPENTRY

FRAMING LUMBER SHALL BE NUMBER TWO OR BETTER, SPRUCE UNLESS OTHERWISE SPECIFIED ON PLAN. ALL BEAM AND LINTEL SIZES SHOWN ON THE DRAWINGS TO BE REVIEWED AND CONFIRMED BY TRUSS MANUFACTURER AND CONTRACTOR. ANY BEAM OR LINTEL SIZES PROVIDED BY TRUSS/FLOOR MANUFACTURER TAKE PRECEDENCE.

## INSULATION / VENTILATION

MINIMUM INSULATION REQUIREMENTS :

ROOF/CEILING - R44  
WALLS - 2x6 - R22

CEILING INSULATION MAY BE LOOSE FILL TYPE. WALL AND FLOOR INSULATION MUST BE BATT TYPE.

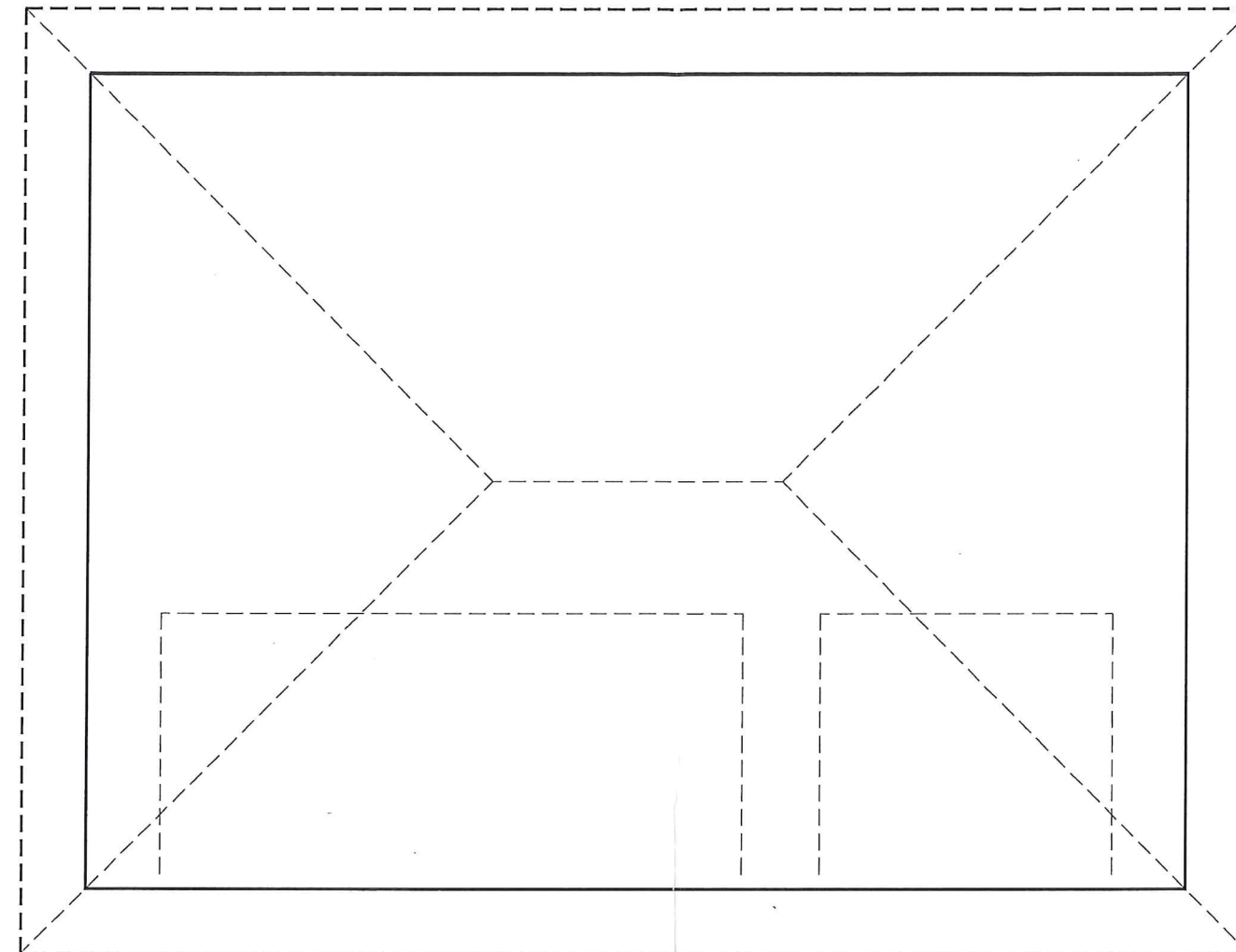
ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF OR GABLE VENTS OR A COMBINATION OF THESE, EQUALLY DISTRIBUTED BETWEEN THE TOP OF THE ROOF SPACE AND SOFFITS.

## MISCELLANEOUS

CAULK OVER AND AROUND ALL EXTERIOR OPENINGS SHALL BE NON-HARDING CAULKING COMPOUND

FLASHING OVER ALL EXTERIOR OPENINGS

ALL SIDING TO BE MINIMUM OF 8" (200mm) ABOVE FINISHED GRADE



ROOF PLAN  
SCALE: N.T.S.

### A ROOF CONSTRUCTION:

ASPHALT SHINGLES ON  
BUILDING PAPER ON  
7/16" OSB SHEATHING c/w H-CLIPS ON  
ENGINEERED TRUSSES AT 24" O.C. c/w  
R44 INSULATION AND 6 MIL. POLY. V.B.  
1/2" CD GYPSUM BOARD  
PAINTED CEILINGS

### B EXTERIOR WALL CONSTRUCTION:

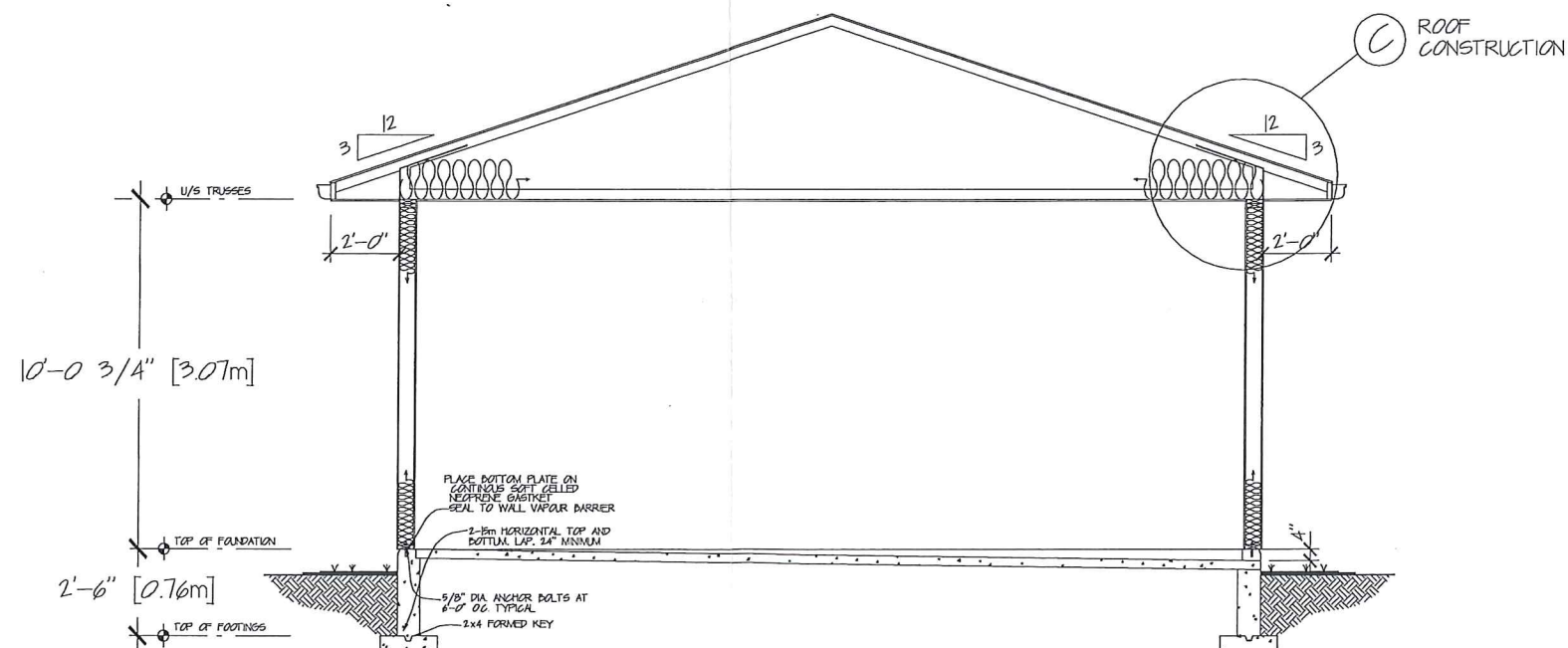
CEMENT SIDING OVER  
PERMAX BUILDING PAPER ON  
3/8" OSB SHEATHING ON  
2x6 STANDARD STUDS AT 24" O.C. c/w  
R20 FRICTION FIT INSULATION  
6 MIL. POLY. VAPOR BARRIER  
1/2" STANDARD GYPSUM BOARD  
PAINTED FINISH

### G FOUNDATION CONSTRUCTION

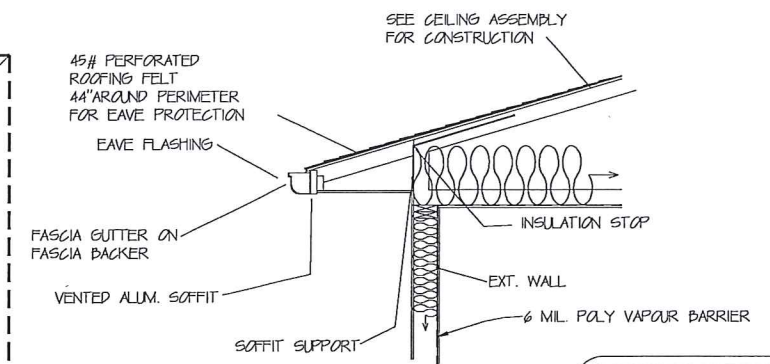
8" x 2'-6" CONCRETE FOUNDATION WALL  
10" x 8" CONCRETE FOOTING REINF.  
FOOTING WITH 2-10mm HORIZONTAL  
(TYPICAL)

### M GARAGE FLOOR SLAB:

3 1/2" CONCRETE SLAB ON  
6 MIL. POLY. VAPOR BARRIER ON  
COMPACTED BASE  
SLOPE SLAB TOWARDS OVERHEAD DOOR  
BY 1/4" IN 12" FOR DRAINAGE.



GARAGE CROSS-SECTION  
SCALE: N.T.S.



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