
CITY OF KELOWNA

MEMORANDUM

Date: July 17, 2017
File No.: DP17-0125

To: Community Planning (TB)

From: Development Engineering Manager (JK)

Subject: 3626 Mission Springs Rd Lot B PL 91847 **Green Square** Multi-Family **RM5**

Development Engineering Department have the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is John Filipenko ASCT

1. General

- (a) Development Engineering servicing and frontage improvement requirements were addressed under File Z11-0030 The requirements of the Servicing Agreement related to the RM5 Zone including additional bonding must be satisfied prior to issuance of the Development Permit.
- (b) The postal authorities must be contacted to determine whether or not a "community mailbox" will be utilized, and if so, its location should be determined and the proposed location shown on the construction plans. Please contact the Canadian Post Corporation, Delivery Services, P.O. Box 2110, Vancouver, B.C. V6B 4Z3 (604) 662-1381 in this regard.

2. Domestic Water and Fire Protection

- (a) The property is located within the City of Kelowna service area.
- (b) Provide an adequately sized domestic water and fire protection system. The water system must be capable of supplying domestic and fire flow demands of the project in accordance with the Subdivision, Development & Servicing Bylaw.
- (c) The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant requirements and service needs.
- (d) Landscaped boulevards, complete with underground irrigation systems, must be integrated with the on-site irrigation system.

ATTACHMENT **A**

This forms part of application
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3. Sanitary Sewer

- (a) The construction of a sanitary sewer main within the new Mission Springs Road right-of-way from the Casorso Road main, to the development site was installed to service the RM3 Zoned development. The installed 200mm diameter sanitary service will be adequate for both RM3 and RM5 Zones. Only one service will be permitted for this subject parcel.

4. Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for these sites which meets the requirements of the City Subdivision, Development and Servicing Bylaw 7900. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.
- (b) The construction of a storm drainage main within the new Mission Springs Road right-of-way from the Casorso Road main to the development site, was completed for the RM3 zoned development.. The installed 200mm diameter overflow service will be adequate for both RM3 and RM5 Zones.
- (c) Only one service will be permitted for this development.

4. Road Improvements

- a) Mission Springs Road must be constructed from the existing terminus, to Casorso Rd. This development must construct to a full urban standard including curb and gutter, sidewalk, storm drainage pipe catch basins, manholes / drywells, pavement, landscaped boulevard complete with underground irrigation system, street lights as required and re-location or adjustment of existing utility appurtenances if required to accommodate the upgrading construction
- b) Landscaped boulevards, complete with street trees and underground irrigation, is required on Lakeshore Road.
- c) Re-locate existing poles and utilities, where necessary.

6. Electric Power and Telecommunication Services

- a) All proposed distribution and service connections are to be installed underground. Existing distribution and service connections, on that portion of a road immediately adjacent to the site, are to be relocated and installed underground
- b) Street lights must be installed on all road frontages.
- c) Make servicing applications to the respective Power and Telecommunication utility companies. The utility companies are required to obtain the City's approval before commencing construction.

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7. Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the city engineering department for review and marked "issued for construction" by the city engineer before construction may begin.

8. Design and Construction

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

10. Geotechnical Report

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.

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11. Servicing Agreements for Works and Services

- (a) A Servicing Agreement is in place that addresses the RM5 development on the subject parcel under file Z11-0030. All required works and services on City Lands that are triggered with this application and will require securities in accordance with the Subdivision, Development & Servicing Bylaw No. 7900.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

12. Other Engineering Comments

- (a) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands.
- (b) If any road dedication affects lands encumbered by a Utility right-of-way (such as Fortis Gas, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.

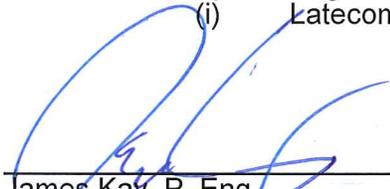
12. Development Permit and Site Related Issues

Access and Manoeuvrability

- (i) An MSU standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways.

13. Charges and Fees

- a) Development Cost Charges (DCC's) are payable
- b) Fees per the "Development Application Fees Bylaw" include:
 - i) Street/Traffic Sign Fees: at cost if required (to be determined after design).
 - ii) Survey Monument, Replacement Fee: \$1,200.00 (GST exempt) – only if disturbed.
 - iii) Engineering and Inspection Fee: 3.5% of construction value (plus GST).
 - (i) Latecomer Processing Fee: \$1,000.00 (plus GST) per agreement



 James Kay, P. Eng.
 Development Engineering Manager

JF

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# DP17-0125 DVP17-0126		
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DEVELOPMENT PERMIT/ DEVELOPMENT VARIANCE PERMIT



APPROVED ISSUANCE OF DEVELOPMENT PERMIT / DEVELOPMENT VARIANCE PERMIT NO. DP17-0125/DVP17-0126

Issued To: Green Square Development Ltd. Inc. No. BC0928148
Site Address: 3626 Mission Springs Drive
Legal Description: Lot 1 DL 134 ODYD Plan EPP23035
Zoning Classification: RM5 – Medium Density Multiple Housing
Development Permit Area: Comprehensive Development – Multi-Family

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Development Permit No. DP17-0125 and Development Variance Permit No. DVP17-0126 for Lot 1 DL 134 ODYD Plan EPP23035, located at 3626 Mission Springs Drive, Kelowna, BC to allow the construction of multiple housing be approved subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";

- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT variances to the following section[s] of Zoning Bylaw No. 8000 be granted:

Section 13.11.6(D): RM5 – Medium Density Multiple Housing Development Regulations

To vary the maximum height from 18.0 m or 4 ½ storeys required to 21.7 m or 6 storeys proposed;

Section 13.11.6(c): RM5 – Medium Density Multiple Housing Development Regulations

To vary the front yard setback for portions of a building over 2 ½ storeys from 6.0 m required to 1.5 m proposed;

Section 13.11.6(e): RM5 – Medium Density Multiple Housing Development Regulations

To vary the side yard setback for portions of a building over 2 ½ storeys from 7.0 m required to 4.5 m proposed;

Section 8: Parking and Loading, Table 8.1: Parking Schedule

To vary the required number of parking stalls from 209 stalls required to 198 stalls proposed;

AND THAT Council's consideration of this Development Permit be considered subsequent to the outstanding conditions of approval as set out in Schedule "A" attached to the Report from the Community Planning Department dated October 3, 2017;

AND THAT the applicant be required to complete the above noted conditions of Council's approval of the Development Permit and Development Variance Permit Application in order for the permits to be issued;

AND FURTHER THAT this Development Permit and Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend

2. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$237,676.56 OR
- b) An Irrevocable Letter of Credit in the amount of \$237,676.56

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

5. APPROVALS

Issued and approved by Council on the _____ day of _____, 2017.

 Ryan Smith, Community Planning Department Manager
 Community Planning & Real Estate

 Date

**The PERMIT HOLDER is the CURRENT LAND OWNER.
 Security shall ONLY be returned to the signatory of the
 Landscape Agreement or his or her designates**



4200 - 150th Street
 Kelowna, BC V1Y 9V7
 P: 778.735.4800
 www.kelowna.ca

□ AMALLOPS
 ■ BELOWNA

Scale

CONTRACTOR'S NOTES:
 Please refer to the contract documents for all applicable provisions.
 The design and construction of this project shall conform to the applicable provisions of the City of Kelowna's Building Bylaw and the applicable provisions of the British Columbia Building Code.

DATE: 2017.04.28

PROJECT: GREEN SQUARE
 RESIDENTIAL DEVELOPMENT
 1011 BANKERS AVE
 KELOWNA, B.C.

DATE: 2017.04.28

SCALE: 1/8" = 1'-0"

PROJECT NUMBER: #

DRAWING NUMBER: A3.5

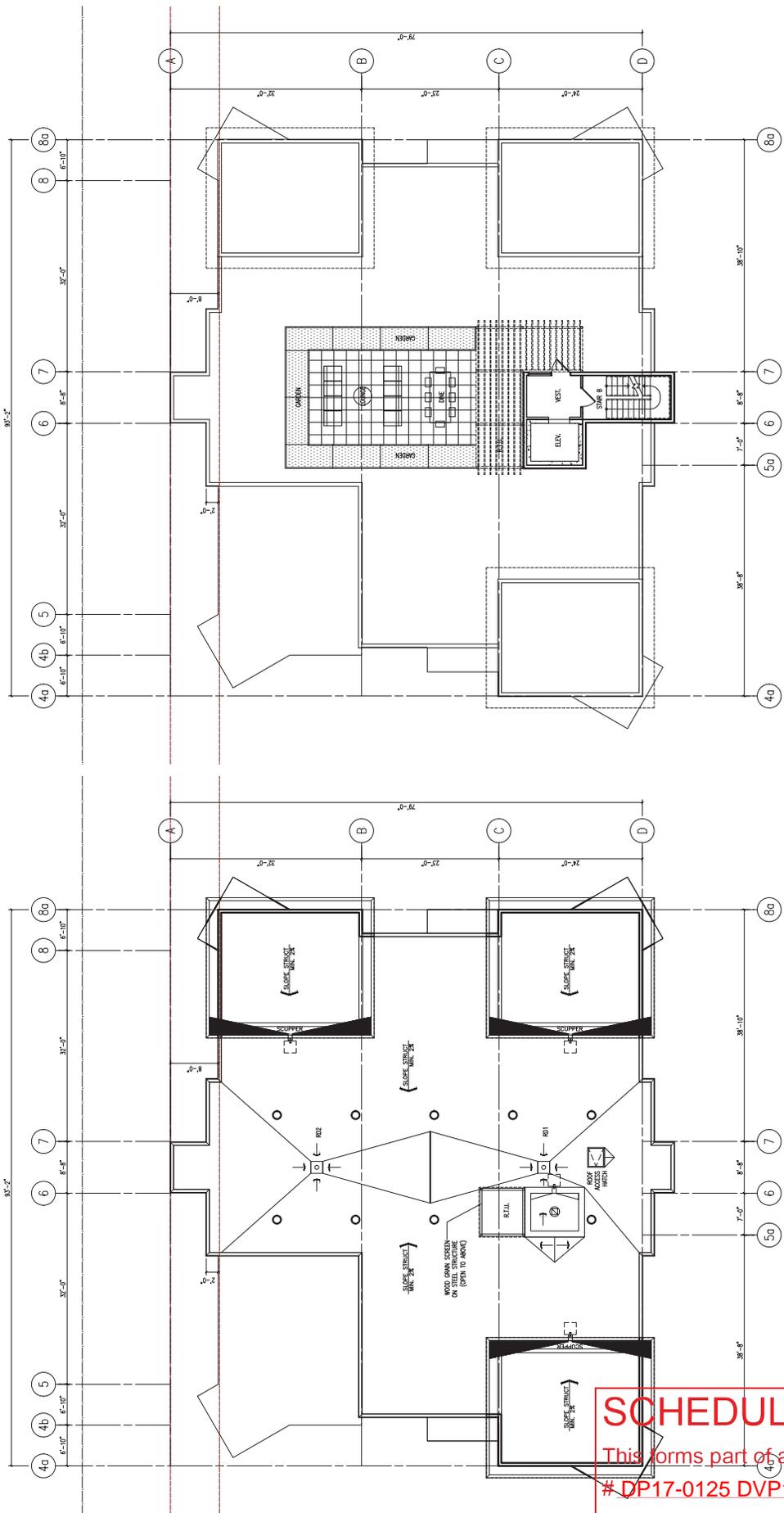
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SCALE: 1/8" = 1'-0"

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1 ROOF TOP AMENITY
 1/8"=1'-0"

2 ROOF PLAN
 1/8"=1'-0"



SCHEDULE A
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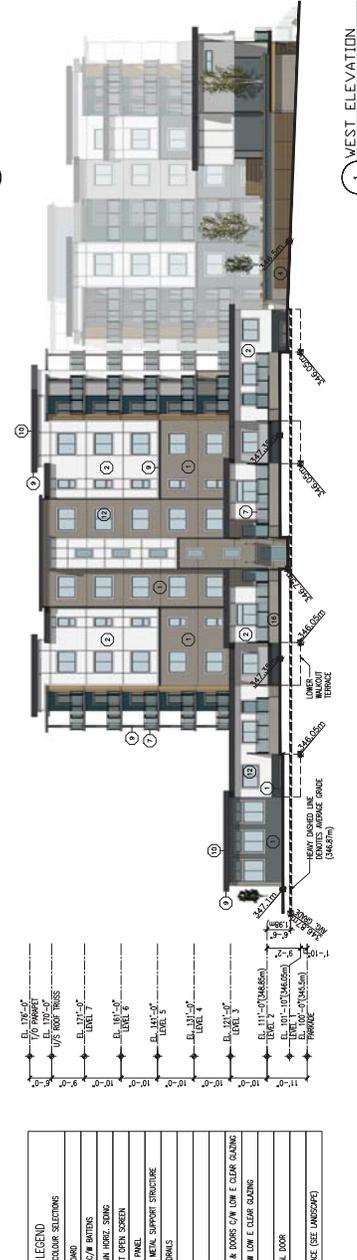
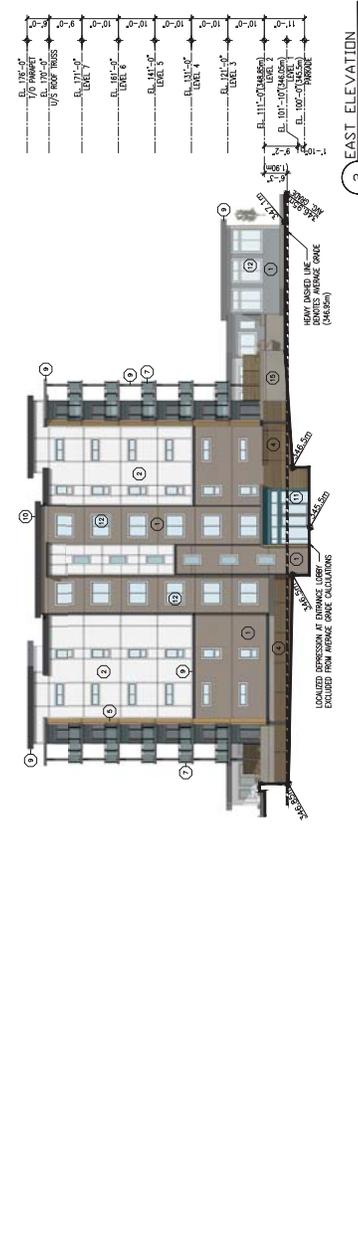
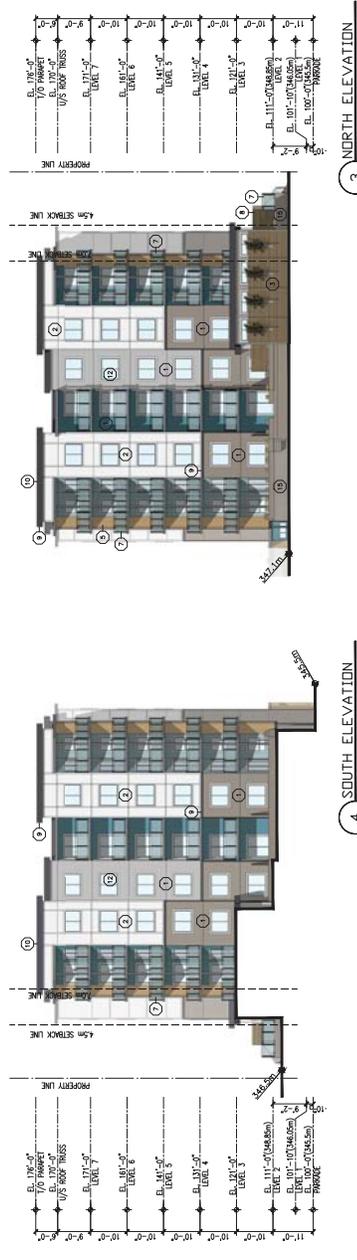
HORIZONTAL FIBRE CEMENT BOARDS
 LIGHT GREY

FIBRE CEMENT PANEL
 WHITE

N.L.T. PANEL
 LIGHT BLUE

WOOD GRAIN CLADDING
 NATURAL WOOD FINISH WOOD GRAIN APPEARANCE

TRIM BOARD
 DARK GREY



ELEVATION KEY NOTES LEGEND

REFERENCE MATERIAL BOARD FOR COLOR SELECTIONS

1. HORIZONTAL FIBRE CEMENT BOARD
2. FIBRE CEMENT PANEL, SING. C/M BUTTINS
3. NON-COMBUSTIBLE WOOD GRAIN HORIZ. SING.
4. NON-COMBUSTIBLE WOOD GRAIN OPEN SCREEN
5. NAT. LAMINATED TIMBER (N.L.T.) PANEL
6. SILL-LAM BEAM C/M PAINTED METAL SUPPORT STRUCTURE
7. SAFETY GLASS / ALUM. CHAMFERALS
8. WOOD FINISH SCREEN
9. FIBRE CEMENT TRIM / FACIA
10. PREFINISHED METAL FLASHING
11. ALUM. STRENGTHENED WINDOWS & DOORS C/M LOW E CLEAR GLAZING
12. WIND. WINDORS & DOORS C/M LOW E CLEAR GLAZING
13. PAINTED METAL DOORS
14. PAINTED C/M SECTIONAL METAL DOOR
15. EXPOSED CONCRETE WALLS
16. BERMED PLANTING @ BLEG FACE (SEE LANDSCAPE)

SCHEDULE B

This forms part of application
 # DP17-0125 DVP17-0126

City of Kelowna
 COMMUNITY PLANNING

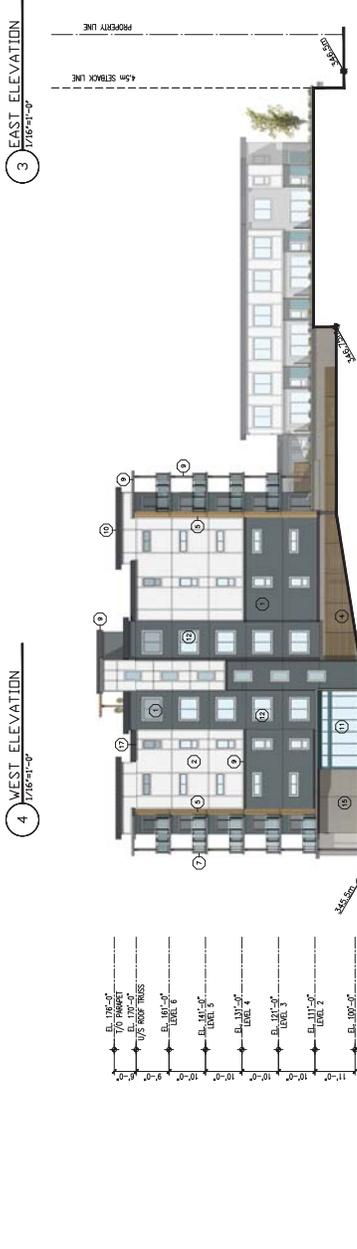
Planner Initials **TB**

HORIZONTAL FIBRE CEMENT BOARDS
 LIGHT GREY

FIBRE CEMENT PANEL
 N.L.T. PANEL

WOOD GRAIN CLADDING

TRIM BOARD
 DARK GREY



ELEVATION KEY NOTES LEGEND

○	HORIZONTAL FIBRE CEMENT BOARD
○	FIBRE CEMENT PANEL (SOUND C/W BRITISH)
○	NON-COMBUSTIBLE WOOD GRAIN PANEL (SOUND)
○	NON-COMBUSTIBLE WOOD GRAY PANEL (SOUND)
○	MIL LAMINATED TIMBER (M.L.T.) PANEL
○	GLU-LAM BEAM C/W PAINTED METAL SUPPORT STRUCTURE
○	SAFETY GLASS / ALUM. CASING
○	WOOD FINISH SCREEN
○	WOOD FINISH TRIM / FASCIA
○	PREFINISHED METAL FLASHING
○	ALUM. STORMDOOR WINDOWS & DOORS C/W LOW E CLEAR GLAZING
○	WVIL WINDOWS & DOORS C/W LOW E CLEAR GLAZING
○	PAINTED METAL DOORS
○	PAINTED O/M SECTIONAL METAL DOOR
○	EXPOSED CONCRETE WALLS
○	SEMI-PLANTING @ BLUE FACE (SEE LANDSCAPE)
○	WOOD TERRAZZO STRUCTURE

SCHEDULE B

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BUILDING AND FLOOR AREAS:

UNIT TYPES	UNIT COUNT	UNIT AREA (sqm)	UNIT TERRACE AREA (sqm)	UNIT TERRACE COUNT	TOTAL UNIT AREA (sqm)	TOTAL UNIT TERRACE AREA (sqm)	TOTAL UNIT COUNT
A	1	85	0	0	85	0	1
B	1	85	0	0	85	0	1
C	1	85	0	0	85	0	1
D	1	85	0	0	85	0	1
E	1	85	0	0	85	0	1
F	1	85	0	0	85	0	1
G	1	85	0	0	85	0	1
H	1	85	0	0	85	0	1
I	1	85	0	0	85	0	1
J	1	85	0	0	85	0	1
K	1	85	0	0	85	0	1
L	1	85	0	0	85	0	1
M	1	85	0	0	85	0	1
N	1	85	0	0	85	0	1
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P	1	85	0	0	85	0	1
Q	1	85	0	0	85	0	1
R	1	85	0	0	85	0	1
S	1	85	0	0	85	0	1
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U	1	85	0	0	85	0	1
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BQ	1	85	0	0	85	0	1
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DU	1	85	0	0	85	0	1
DV	1	85	0	0	85	0	1
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DY	1	85	0	0	85	0	1
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EI	1	85	0	0	85	0	1
EJ	1	85	0	0	85	0	1
EK	1	85	0	0	85	0	1
EL	1	85	0	0	85	0	1
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EN	1	85	0	0	85	0	1
EO	1	85	0	0	85	0	1
EP	1	85	0	0	85	0	1
EQ	1	85	0	0	85	0	1
ER	1	85	0	0	85	0	1
ES	1	85	0	0	85	0	1
ET	1	85	0	0	85	0	1
EU	1	85	0	0	85	0	1
EV	1	85	0	0	85	0	1
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EX	1	85	0	0	85	0	1
EY	1	85	0	0	85	0	1
EZ	1	85	0	0	85	0	1
FA	1	85	0	0	85	0	1
FB	1	85	0	0	85	0	1
FC	1	85	0	0	85	0	1
FD	1	85	0	0	85	0	1
FE	1	85	0	0	85	0	1
FF	1	85	0	0	85	0	1
FG	1	85	0	0	85	0	1
FH	1	85	0	0	85	0	1
FI	1	85	0	0	85	0	1
FJ	1	85	0	0	85	0	1
FK	1	85	0	0	85	0	1
FL	1	85	0	0	85	0	1
FM	1	85	0	0	85	0	1
FN	1	85	0	0	85	0	1
FO	1	85	0	0	85	0	1
FP	1	85	0	0	85	0	1
FQ	1	85	0	0	85	0	1
FR	1	85	0	0	85	0	1
FS	1	85	0	0	85	0	1
FT	1	85	0	0	85	0	1
FU	1	85	0	0	85	0	1
FV	1	85	0	0	85	0	1
FW	1	85	0	0	85	0	1
FX	1	85	0	0	85	0	1
FY	1	85	0	0	85	0	1
FZ	1	85	0	0	85	0	1
GA	1	85	0	0	85	0	1
GB	1	85	0	0	85	0	1
GC	1	85	0	0	85	0	1
GD	1	85	0	0	85	0	1
GE	1	85	0	0	85	0	1
GF	1	85	0	0	85	0	1
GG	1	85	0	0	85	0	1
GH	1	85	0	0	85	0	1
GI	1	85	0	0	85	0	1
GJ	1	85	0	0	85	0	1
GK	1	85	0	0	85	0	1
GL	1	85	0	0	85	0	1
GM	1	85	0	0	85	0	1
GN	1	85	0	0	85	0	1
GO	1	85	0	0	85	0	1
GP	1	85	0	0	85	0	1
GQ	1	85	0	0	85	0	1
GR	1	85	0	0	85	0	1
GS	1	85	0	0	85	0	1
GT	1	85	0	0	85	0	1
GU	1	85	0	0	85	0	1
GV	1	85	0	0	85	0	1
GW	1	85	0	0	85	0	1
GX	1	85	0	0	85	0	1
GY	1	85	0	0	85	0	1
GZ	1	85	0	0	85	0	1
HA	1	85	0	0	85	0	1
HB	1	85	0	0	85	0	1
HC	1	85	0	0	85	0	1
HD	1	85	0	0	85	0	1
HE	1	85	0	0	85	0	1
HF	1	85	0	0	85	0	1
HG	1	85	0	0	85	0	1
HH	1	85	0	0	85	0	1
HI	1	85	0	0	85	0	1
HJ	1	85	0	0	85	0	1

PARKING CALCULATIONS

STALL SIZE	WIDTH	LENGTH	HEIGHT
FULL SIZE STALL	8'-3" (2.5m) min.	19'-8" (6.0m) min.	6'-6" (2.0m) min.
MEDIUM SIZE STALL (40% max)	7'-6" (2.3m) min.	15'-9" (4.8m) min.	6'-6" (2.0m) min.
COMPACT SIZE STALL (10% max)	6'-6" (2.0m) min.	11'-2" (3.4m) min.	6'-6" (2.0m) min.
DISABLED STALL	12'-2" (3.7m) min.	19'-8" (6.0m) min.	6'-6" (2.0m) min.
DRIVE AISLES (2-way 90° pkg)	23'-0" (7.0m) min.		
PARKING REQUIREMENTS:			
RESIDENTIAL:			
1.25 stalls/ 1 bedroom units x 44 units			55 stalls
1.5 stalls/ 2 bedroom units x 80 units			120 stalls
2.0 stalls/ 3 bedroom units x 17 units			34 stalls
TOTAL PARKING REQUIRED:			209 stalls (Including 20 Visitor Stalls)
TOTAL PARKING PROVIDED:			198 stalls (Variance Requested)
WITHIN PARKADE:			187 STALLS
PARKING @ GRADE:			11 STALLS
PARKING TYPES PROVIDED:			
FULL SIZE STALL (50% MIN)			101 STALLS INCL. 5 HC STALLS (51%)
MEDIUM STALL (40% MAX)			83 STALLS (42%)
COMPACT STALL (10% MAX)			14 STALLS (7%)

PARKING SUMMARY:

AT GRADE
 9 REGULAR
 2 MEDIUM
 11 TOTAL SPACES

BUILDING A LEVEL 1:

17 REGULAR (INCL. 1 H/C)
 23 MEDIUM
 2 COMPACT
 42 TOTAL SPACES

LEVEL 0:

41 REGULAR (INCL. 2 H/C & 1 TANDEM)
 36 MEDIUM (INCL. 11 TANDEM)
 7 COMPACT
 84 TOTAL SPACES

BUILDING BC:

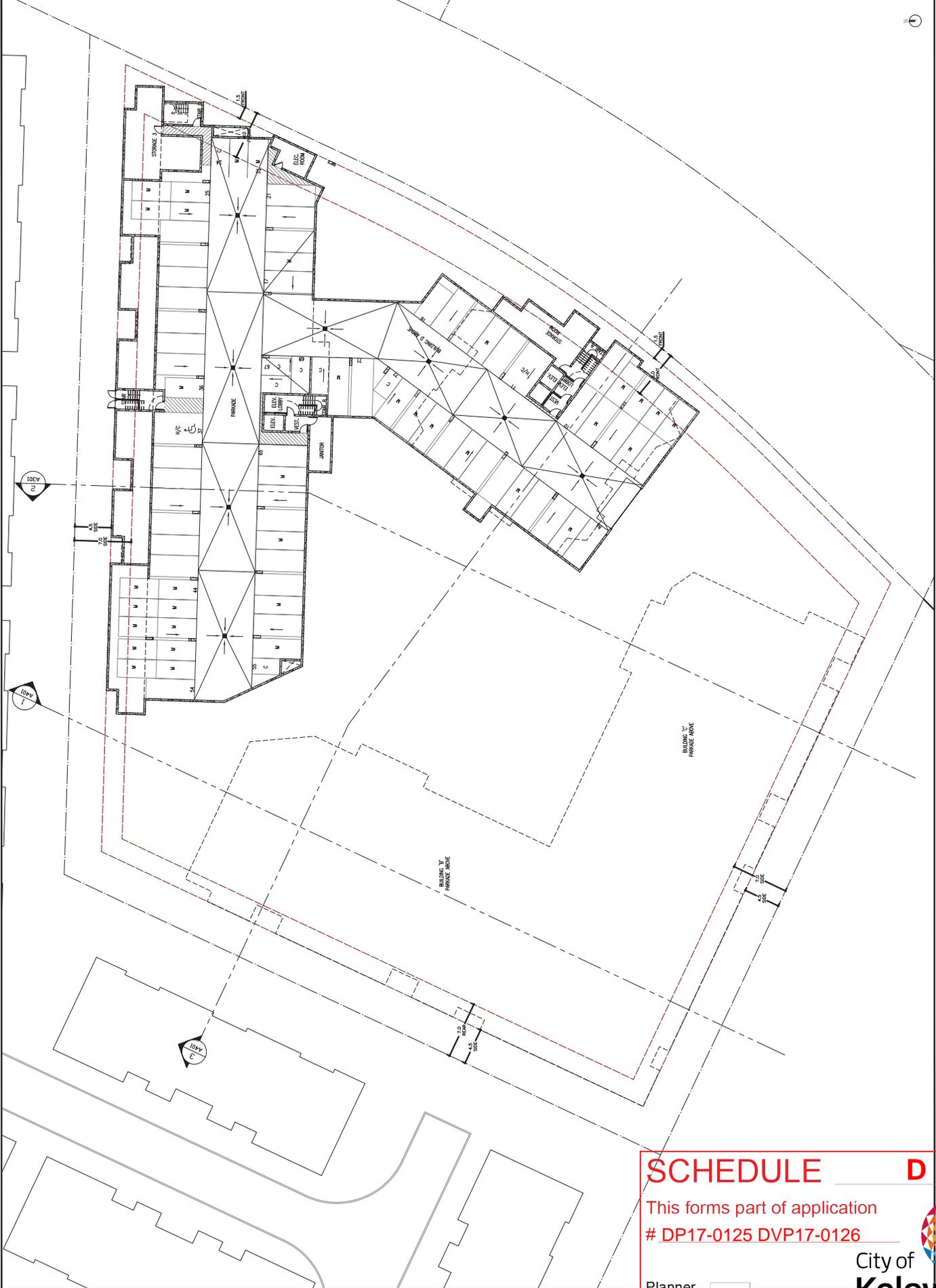
34 REGULAR (INCL. 2 H/C)
 22 MEDIUM
 5 COMPACT
 61 TOTAL SPACES

SCHEDULE D

This forms part of application
 # DP17-0125 DVP17-0126

Planner
 Initials

TB



SCHEDULE D

This forms part of application
 # DP17-0125 DVP17-0126

Planner Initials **TB**

City of Kelowna
 COMMUNITY PLANNING

