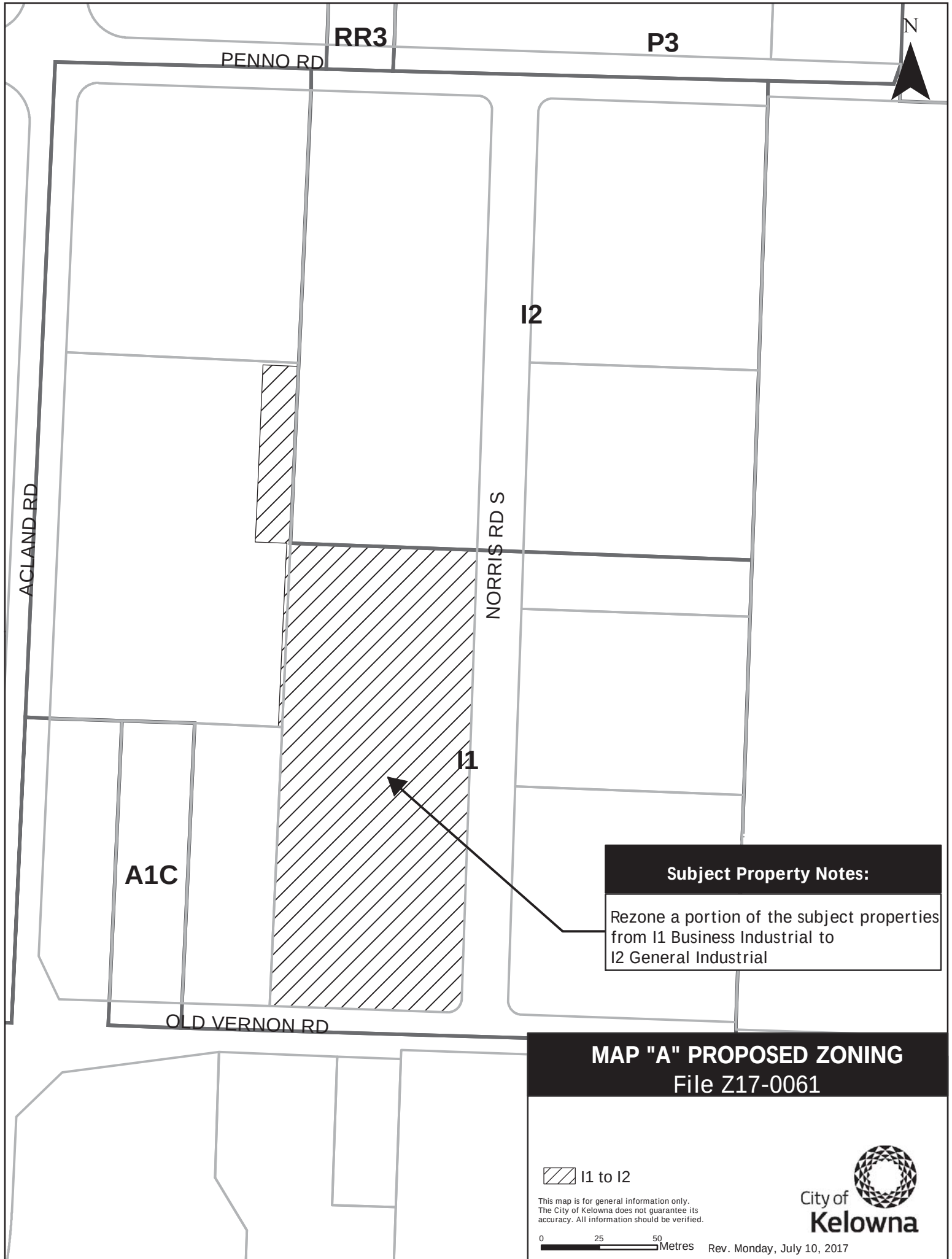




DEVELOPMENT PERMIT DEVELOPMENT VARIANCE PERMIT



APPROVED ISSUANCE OF DEVELOPMENT PERMIT / DEVELOPMENT VARIANCE PERMIT NO. DP17-0111 AND DVP17-0112

Issued To: 0837937 BC Ltd Inc. No. BCo837937
Site Address: 2350 Norris Road
Legal Description: Lot 3, Section 2, Township 23, ODYD, Plan EPP67824
Zoning Classification: I2 – General Industrial
Development Permit Area: Comprehensive Development Permit Area - Industrial

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Development Permit No. DP17-0111 and Development Variance Permit No. DVP17-0112 for Lot 3, Section 2, Township 23, ODYD, Plan EPP67824, located at 2350 Norris Road S, Kelowna, BC be approved subject to the following:

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"
2. The exterior design and finish of the building to be constructed on the land, be in accordance with Schedule "B";
3. Landscaping to be provided on the land be in accordance with Schedule "C";

4. The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

Section 15.2.5(e): I2 – General Industrial Development Regulations

To vary the required minimum flanking side yard from 6.0 m permitted to 0.0 m proposed.

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$28,775.00 OR
- b) An Irrevocable Letter of Credit in the amount of \$28,775.00.

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

5. APPROVALS

Issued and approved by Council on the _____ day of _____, 2017.

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

Date

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or his or her designates**



**CALLAHAN
PROPERTY GROUP**
218 - 1026 Richey Street, Kelowna, B.C. V1Y 2M3
Tel: 250.860.8888
Fax: 250.860.8889
Email: info@callahangroup.ca
Website: www.callahangroup.ca

SEALS

CONSULTANTS

IMPERIAL
ALL DIMENSIONS IN METERS UNLESS OTHERWISE SPECIFIED
ALL DIMENSIONS IN FEET UNLESS OTHERWISE SPECIFIED
ALL DIMENSIONS IN METERS UNLESS OTHERWISE SPECIFIED
ALL DIMENSIONS IN FEET UNLESS OTHERWISE SPECIFIED

ISSUED FOR

NO. 1

DATE 2017.03.26

DESCRIPTION ISSUED FOR DP

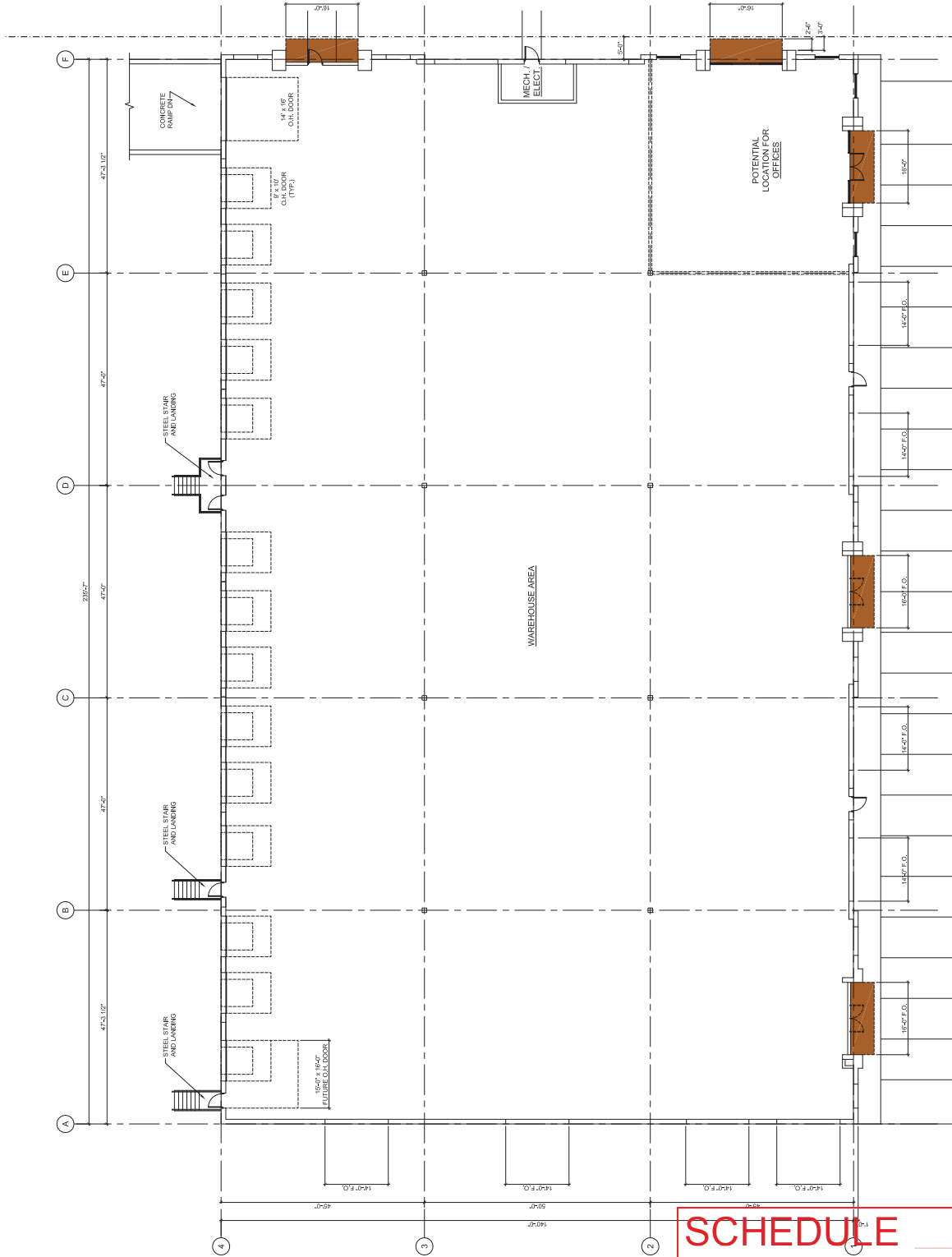
PROJECT TITLE
PROPOSED WAREHOUSE
SHELL BUILDING 'F'
(SHELL BUILDING 'G'
TO BE MIRRORED FROM 'F')

NORRIS RD SOUTH, KELOWNA, B.C.

DRAWING TITLE
MAIN FLOOR PLAN

DATE 2017.03.26
DRAWN BY
PLOT DATE
CHECKED BY
PROJECT NO.
DRAWING NO.

DP2



1 FLOOR PLAN - BUILDING 'F' (BUILDING 'G' TO BE MIRRORED)
SCALE: 3/32\"/>

SCHEDULE A

This forms part of application
DP17-0111
DVP17-0112

Planner Initials TB

City of Kelowna
COMMUNITY PLANNING

SEALS

CONSULTANTS

IMPERIAL

ISSUED FOR

DATE

DESCRIPTION

NO.

2017.03.26

ISSUED FOR DP

PROPOSED WAREHOUSE
SHELL BUILDING 'F' & 'G'

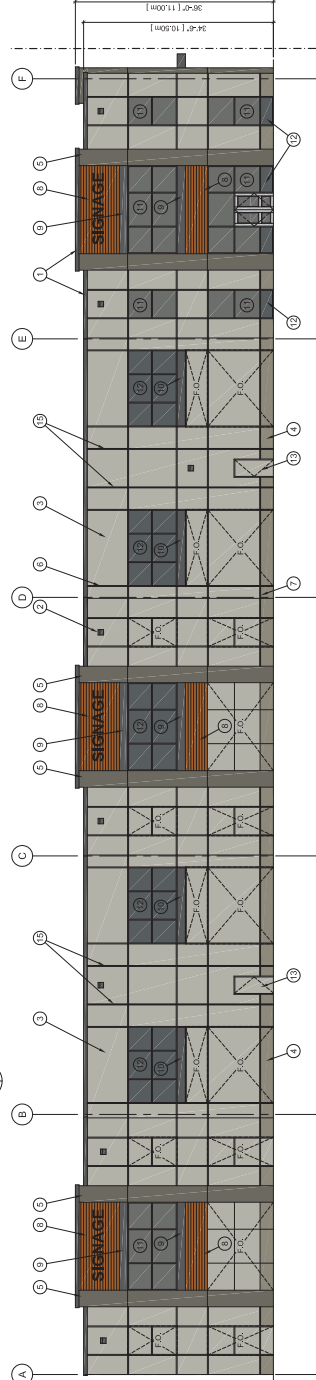
NORRIS RD SOUTH, KELOWNA, B.C.

DRAWING TITLE

ELEVATIONS

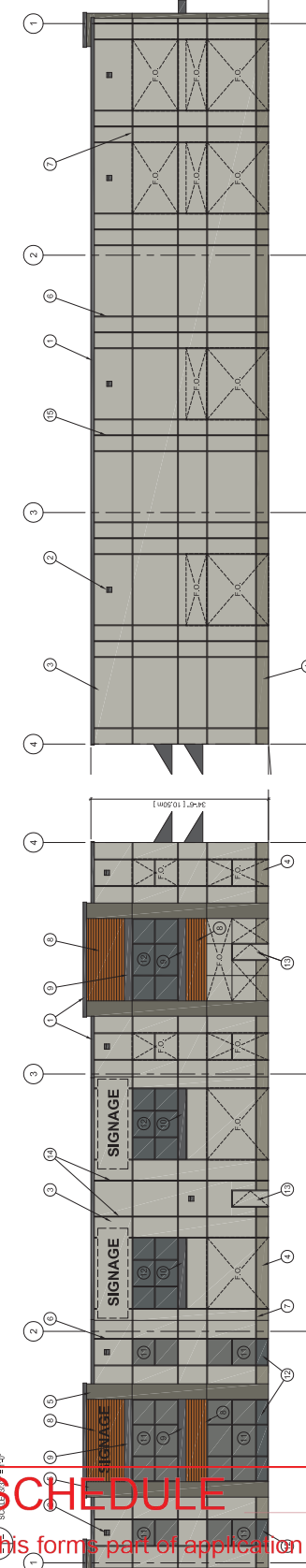
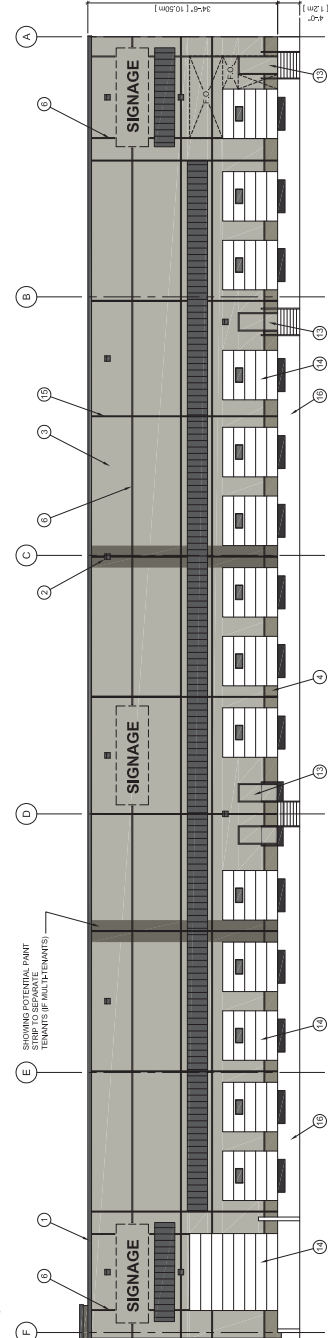
DATE: 2017.03.26
PLOT DATE: 2017.03.26
DRAFT: 2017.03.26
PROJECT NO.: 2017.03.26

DP3



MATERIAL LEGEND

- 1 METAL FLASHING (BLACK)
- 2 DECORATIVE WALL PACK LIGHT FIXTURE (TYPICAL)
- 3 PAINTED ARCHITECTURAL CONCRETE FINISH (LIGHT GREY)
- 4 PAINTED ARCHITECTURAL CONCRETE FINISH (MEDIUM GREY)
- 5 PAINTED ARCHITECTURAL CONCRETE FINISH (DARK GREY)
- 6 VERTICAL REVEALS (TYPICAL)
- 7 HORIZONTAL REVEALS (TYPICAL)
- 8 WOOD STYLE OR STUCCO CLADDING
- 9 PAINTED STEEL CANOPY (BLACK)
- 10 PAINTED TRIM (BLACK)
- 11 ALUMINUM WINDOW FRAME WITH CLEAR GLAZING (CLEAR ANODIZED)
- 12 ALUMINUM WINDOW FRAME WITH SPANGEL GLAZING (CLEAR ANODIZED)
- 13 PRESSED STEEL INSULATED MAN DOOR (LIGHT GREY)
- 14 OVERHEAD SECTIONAL DOOR (WHITE)
- 15 CONCRETE PANEL SEAM (TYPICAL)
- 16 EXPOSED CONCRETE BELOW SLAB



SCHEDULE
This forms part of application
DP17-0111
DVP17-0112

Planner
Initials

TB



