


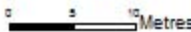
**Subject Property Notes:**

Amend the OCP for portions of the subject property from Single / Two Unit Residential (S2RES) to Multiple Unit Residential Low Density (MRL).

**MAP "A" OCP AMENDMENT  
OCP16-0023**

 S2RES to MRL

This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.

 Metres



Rev. Friday, August 11, 2017

N

539

KEITH RD

4579

MCCLURE RD

**Subject Property Notes:**

Rezone a portion of the property from RU1 - Large Lot Housing to RM2 - Low Density Row Housing

499

**Subject Property Notes:**

Rezone a portion of the property from RU1 - Large Lot Housing to P3 - Parks & Open Space

4609

549


559

561


563

4617-4619

**MAP "B" PROPOSED ZONING  
Z16-0068**

-  RU1 to P3
-  RU1 to RM2

This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.

 Metres



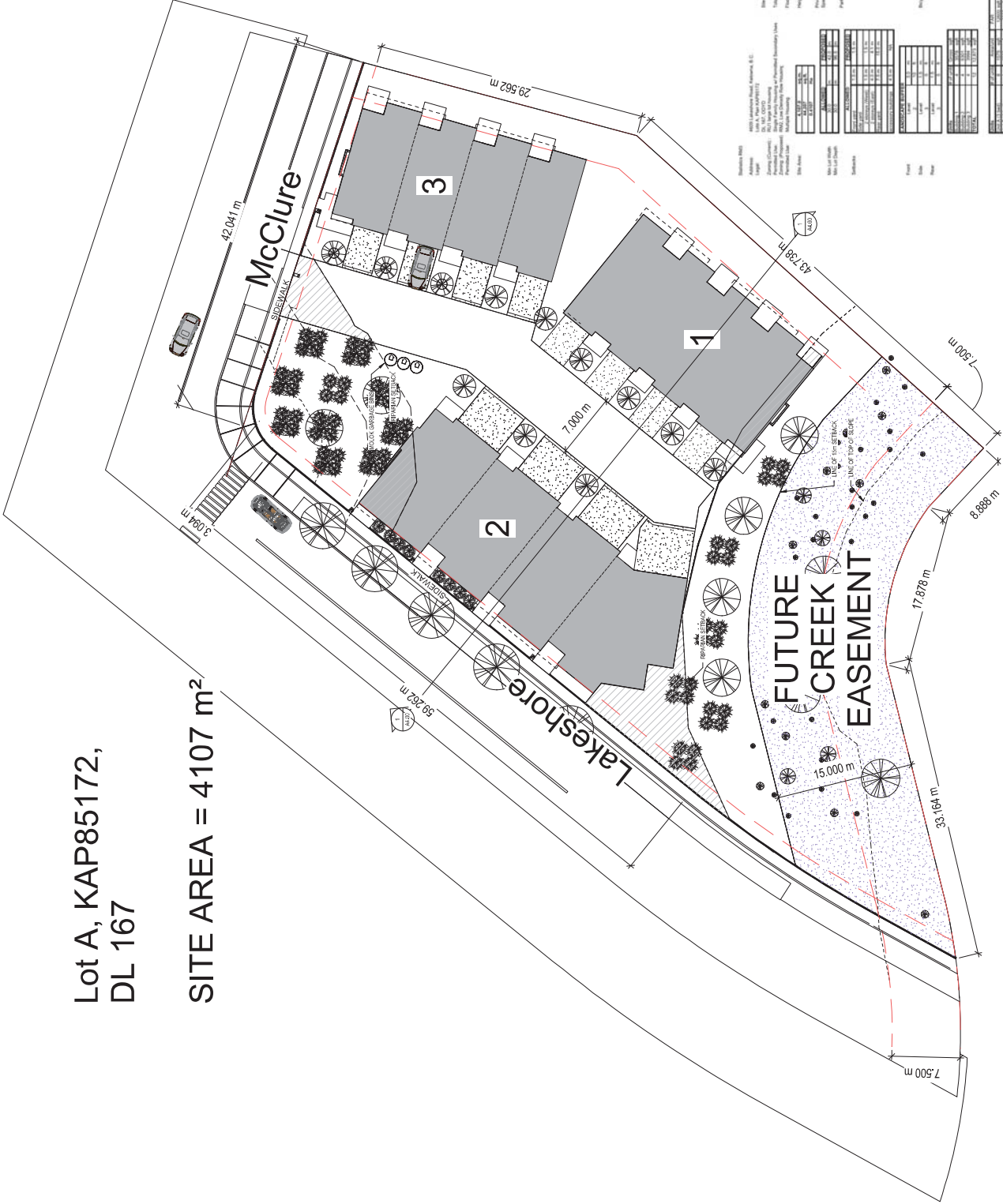
City of  
**Kelowna**

Rev. Friday, August 11, 2017



Lot A, KAP85172,  
DL 167

SITE AREA = 4107 m<sup>2</sup>



NOTES:  
1. This document is the property of Novation and is not to be distributed outside of the project.  
2. All dimensions are in meters unless otherwise stated.  
3. All dimensions are to the centerline of the road unless otherwise stated.  
4. All dimensions are to the centerline of the road unless otherwise stated.  
5. All dimensions are to the centerline of the road unless otherwise stated.  
6. All dimensions are to the centerline of the road unless otherwise stated.  
7. All dimensions are to the centerline of the road unless otherwise stated.  
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05 20170808 REVISED FOR IFC  
06 20170910 REVISED FOR IFC  
07 20180204 REVISED FOR RECORDING DP  
08 20180204 REVISED FOR RECORDING DP



**NOVATION**  
101-1045 24 AVONDA DR. SUITE 100  
KELOUNA, B.C. V1Y 9T1

PROJECT NO.: 1804  
NOVATION DESIGN GROUP  
1804  
NOVATION DESIGN GROUP  
1804

**SITE PLAN**

PROJECT NO.	PS	DATE	1. 200
PROJECT NAME	BD	DATE	
PROJECT ADDRESS	NOVATION	DATE	

**A1.01**  
NOVATION DESIGN GROUP

NO.	DESCRIPTION	AREA (M <sup>2</sup> )	PERCENTAGE (%)
1	Building Footprint	1,200.00	29.22
2	Parking	1,500.00	36.53
3	Driveway	100.00	2.43
4	Other	1,307.00	32.22
<b>TOTAL</b>	<b>4,107.00</b>	<b>100.00</b>	<b>100.00</b>

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3	Driveway	100.00	2.43
4	Other	1,307.00	32.22
<b>TOTAL</b>	<b>4,107.00</b>	<b>100.00</b>	<b>100.00</b>

NOTES:  
 1. All dimensions are in feet and inches.  
 2. All materials shall be as specified in the schedule.  
 3. All materials shall be installed in accordance with the manufacturer's instructions.  
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NOVATION  
 101 N. HOPE ST. WORTH, OK, 73154  
 TEL: 405.318.1111 FAX: 405.318.1112  
 WWW.NOVIATION.COM

PROJECT NO.: 1503  
 SHEET NO.: 1503-01  
 DATE: 08/14/15

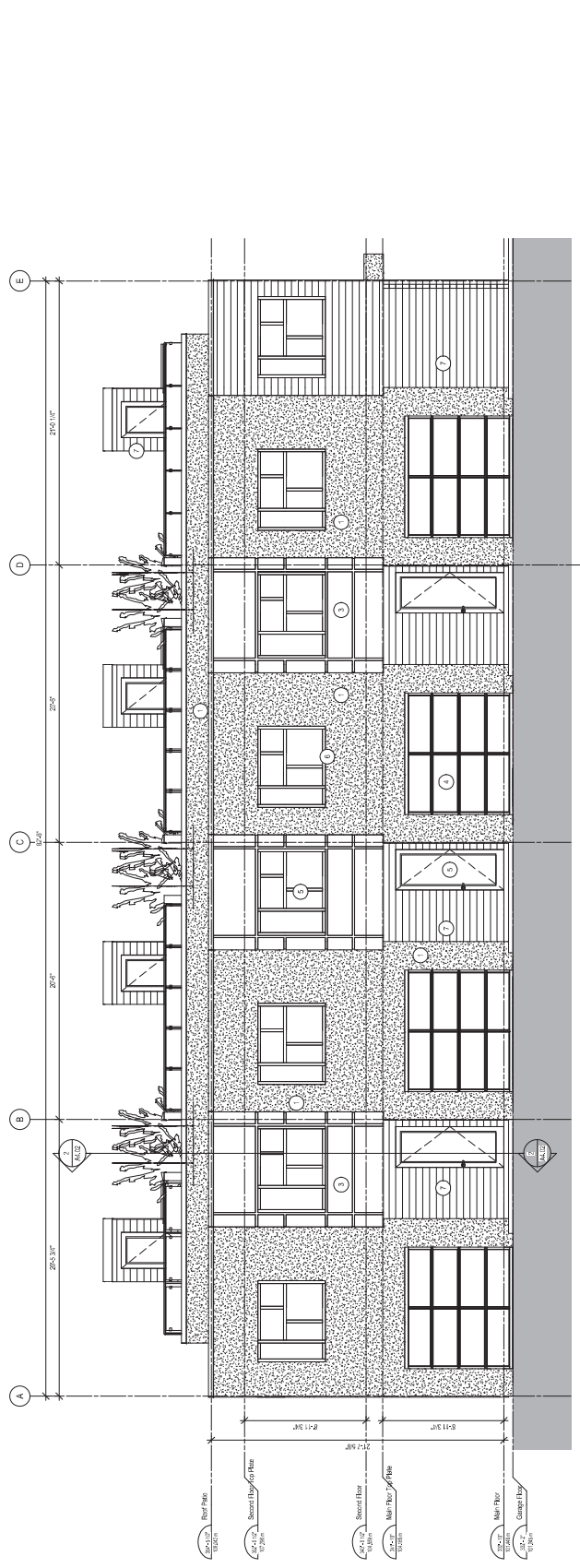
PROJECT NAME:  
 Creekside Terrace Building #3  
 1503 N. HOPE ST. WORTH, OK, 73154

DESIGNED BY:  
 RELIABLE DESIGN GROUP  
 1503 N. HOPE ST. WORTH, OK, 73154

DESIGNED BY	PS	SCALE	1/4" = 1'-0"
CHECKED BY	BD		
DATE	PS		

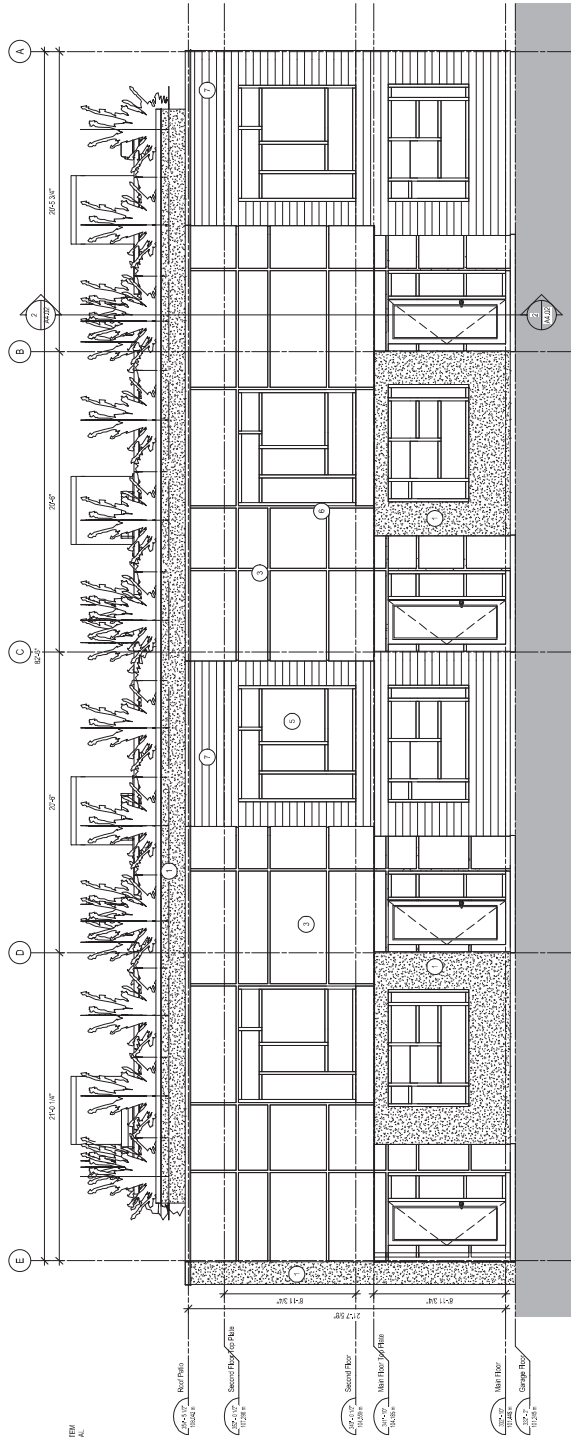
**A3.01**  
 EXTERIOR ELEVATIONS

ISSUED FOR DEVELOPMENT PERMIT



**3** EXTERIOR ELEVATION  
 SCALE: 1/4" = 1'-0"

- 1 - STUCCO - COLOR 1
- 2 - ADH PANE
- 3 - ADH PANEL
- 4 - CLEAR GLASS
- 5 - CLEAR GLASS
- 6 - CLEAR GLASS
- 7 - CLEAR GLASS
- 8 - CLEAR GLASS
- 9 - CLEAR GLASS
- 10 - CLEAR GLASS



**1** EXTERIOR ELEVATION  
 SCALE: 1/4" = 1'-0"

NOTES:  
 1. This document is for the use of the design professional only. It is not to be used for construction purposes.  
 2. All dimensions are in feet and inches, unless otherwise noted.  
 3. All materials and finishes are to be as specified in the schedule.  
 4. All work is to be done in accordance with the applicable codes and standards.  
 5. All work is to be done in accordance with the applicable codes and standards.  
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 02 20170104 REVISED FOR O.P.  
 03 20170104 REVISED FOR O.P.  
 04 20170104 REVISED FOR O.P.  
 05 20170104 REVISED FOR O.P.

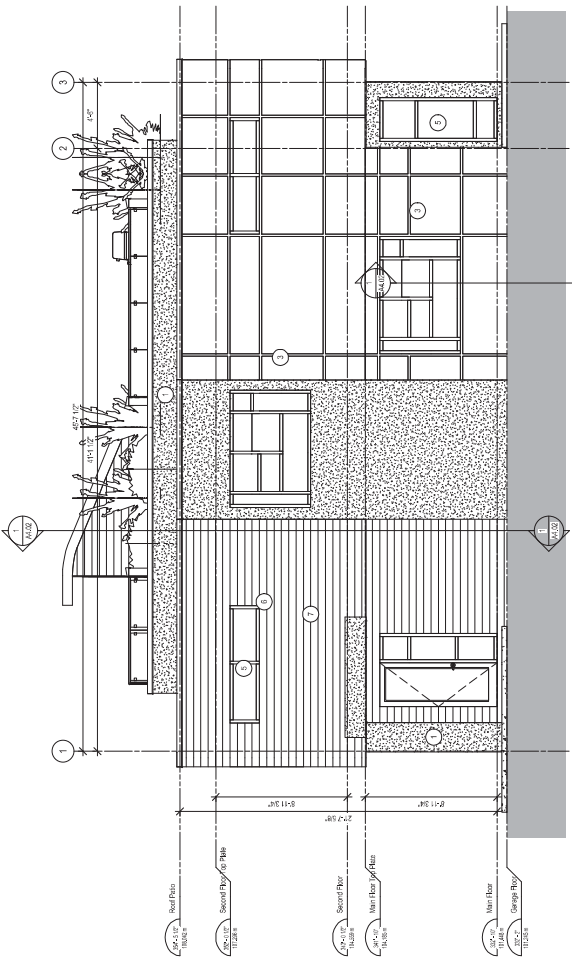


PROJECT NO.:  
 Creekside Terrace Building #3  
 PROJECT NO.: 1503  
 RELIANCE, BRUNN, COLLIERIA

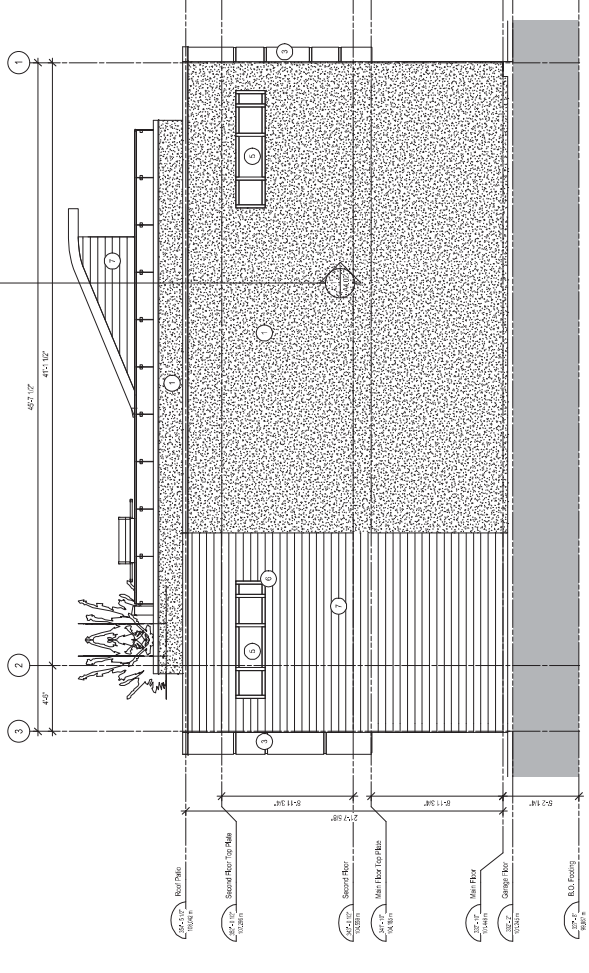
EXTERIOR ELEVATIONS  
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 Drawing Title:  
 Drawing Date:  
 Drawing Scale:  
 Drawing Author:  
 Drawing Checker:  
 Drawing Date:

PS  
 BD  
 PS  
 A3.02  
 2/15/2017 10:30 AM

ISSUED FOR DEVELOPMENT PERMIT



2 EXTERIOR ELEVATION  
 SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION  
 SCALE: 1/8" = 1'-0"

- 1 - STUCCO - COLOR 1
- 2 - BRICK
- 3 - STONE
- 4 - CLAY TILE
- 5 - CLAY TILE
- 6 - CLAY TILE
- 7 - CLAY TILE

NOTES:

1. See drawing title block for Project Name, Location, and Project Number.
2. All dimensions shall be in feet and inches, unless otherwise noted.
3. All elevations shall be shown on the exterior of the building, unless otherwise noted.
4. All elevations shall be shown on the exterior of the building, unless otherwise noted.
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6. All elevations shall be shown on the exterior of the building, unless otherwise noted.
7. All elevations shall be shown on the exterior of the building, unless otherwise noted.

Revised: 10/24/2018

Drawn by: [Name]

Checked by: [Name]

Project: [Name]

Sheet

NOVATION

101-102 34th Street, Suite 500  
KELOWNA, B.C. V1Y 1T1

Project No.: 1503  
Revised: 10/24/2018

NOVATION

101-102 34th Street, Suite 500  
KELOWNA, B.C. V1Y 1T1

Project No.: 1503  
Revised: 10/24/2018

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101-102 34th Street, Suite 500  
KELOWNA, B.C. V1Y 1T1

Project No.: 1503  
Revised: 10/24/2018

NOVATION

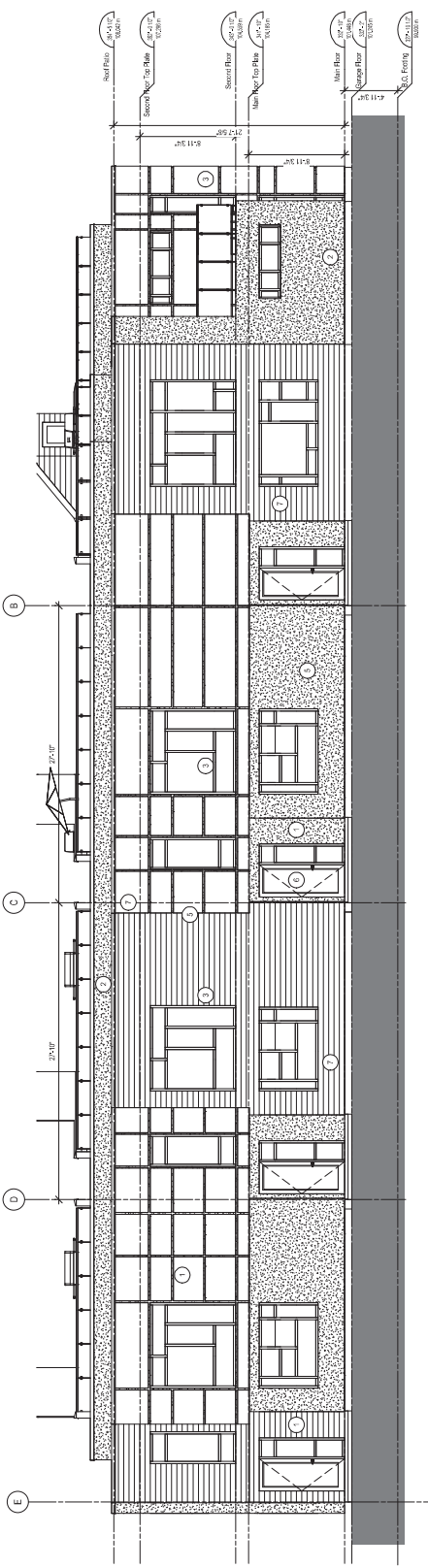
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KELOWNA, B.C. V1Y 1T1

Project No.: 1503  
Revised: 10/24/2018

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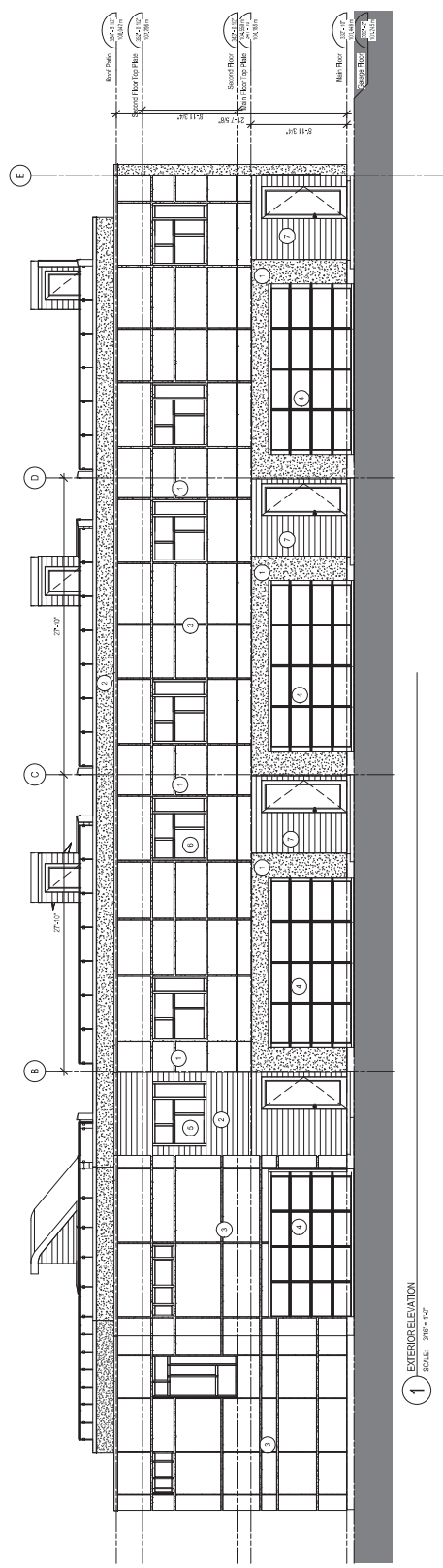
101-102 34th Street, Suite 500  
KELOWNA, B.C. V1Y 1T1

Project No.: 1503  
Revised: 10/24/2018



1. STYLED WOOD PANELING  
2. STYLED WOOD COLOR  
3. STYLED WOOD COLOR  
4. STYLED WOOD COLOR  
5. CLEAR GLASS  
6. CLEAR GLASS  
7. CLEAR FINISH METALS

3 EXTERIOR ELEVATION  
SCALE: 3/8" = 1'-0"



1 EXTERIOR ELEVATION  
SCALE: 3/8" = 1'-0"



NOVATION  
101-102 34th Street, Suite 500  
KELOWNA, B.C. V1Y 1T1

Project No.: 1503  
Revised: 10/24/2018

NOVATION

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NOTES:  
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NOVATION  
 101 N. HOVE, SUITE 200, CHICAGO, IL 60610  
 TEL: 773.399.1111 FAX: 773.399.1112  
 WWW.NOVIATION.COM

PROJECT NO.: 1503  
 DRAWING FILE:  
 CRENSHAW TERRACE BUILDING #2

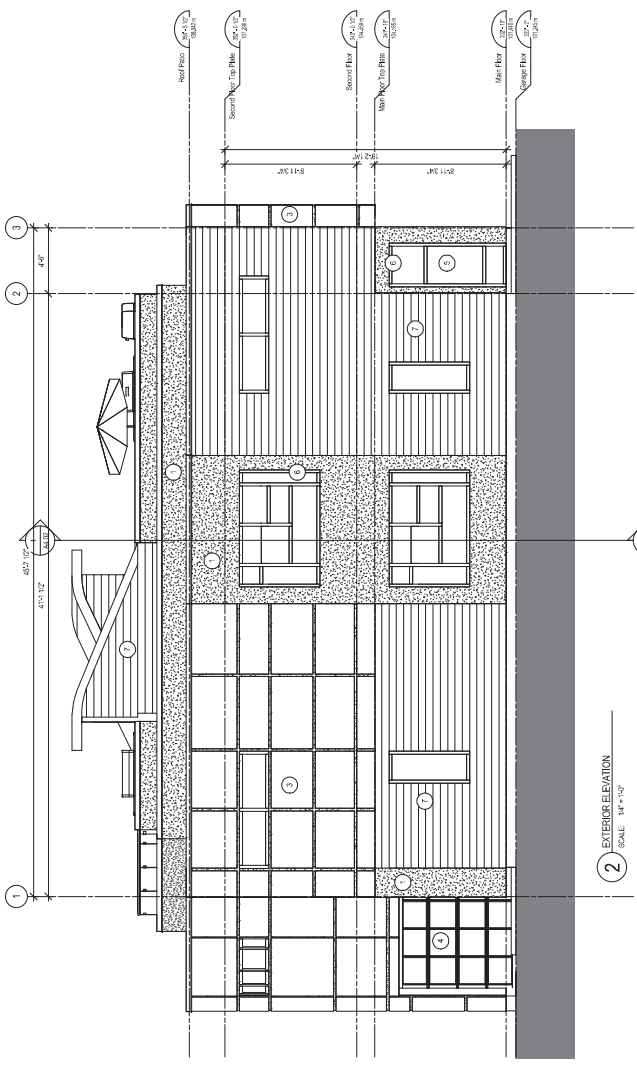
DATE: 08/27/2015  
 DRAWING NO.: 1503  
 SHEET NO.: 1503-01

SCALE: 1/4" = 1'-0"

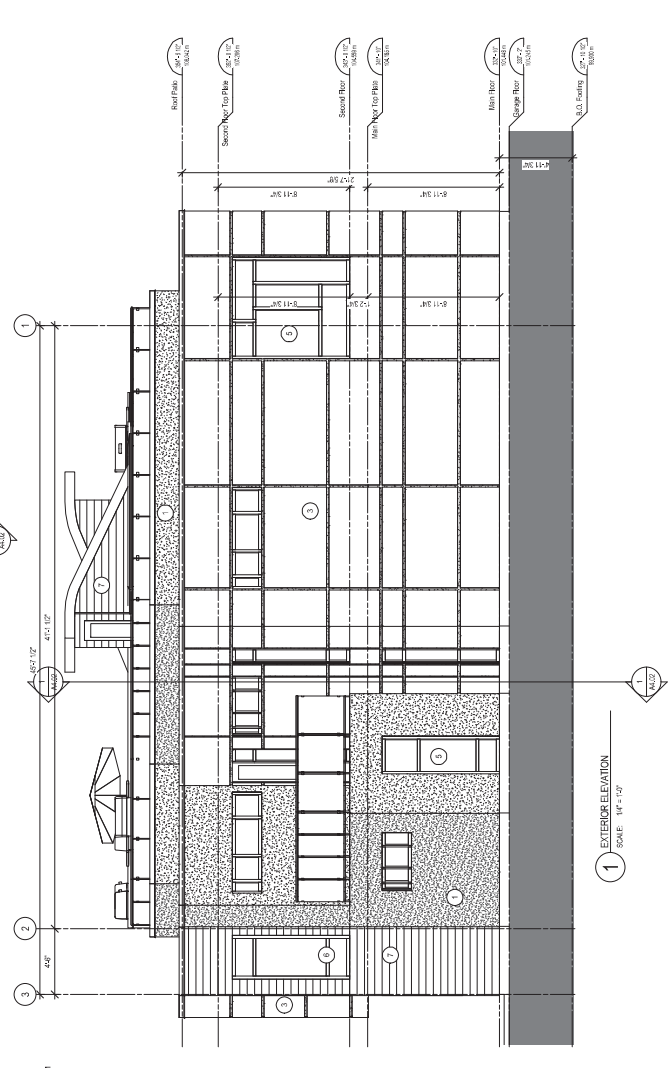
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A3.02

2/15/2015 11:58:39 AM



- 1 - FINISH - COLOR  
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 4 - FINISH - COLOR  
 5 - FINISH - COLOR  
 6 - FINISH - COLOR  
 7 - FINISH - COLOR





NOTES:  
 1. All elevations are shown in perspective.  
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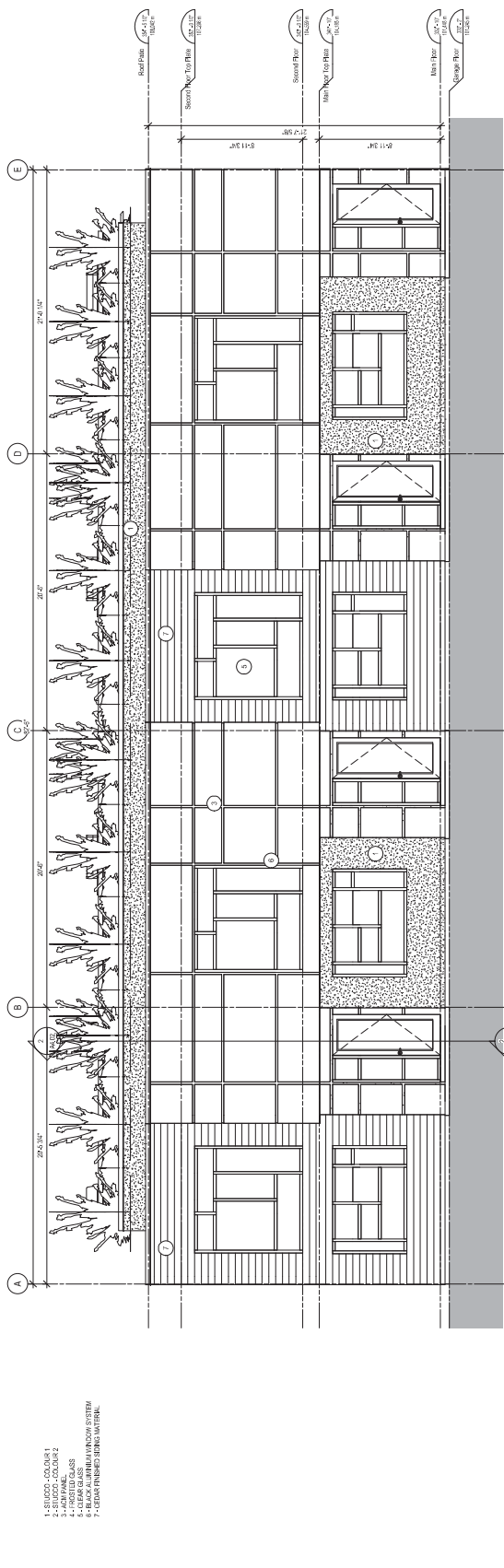
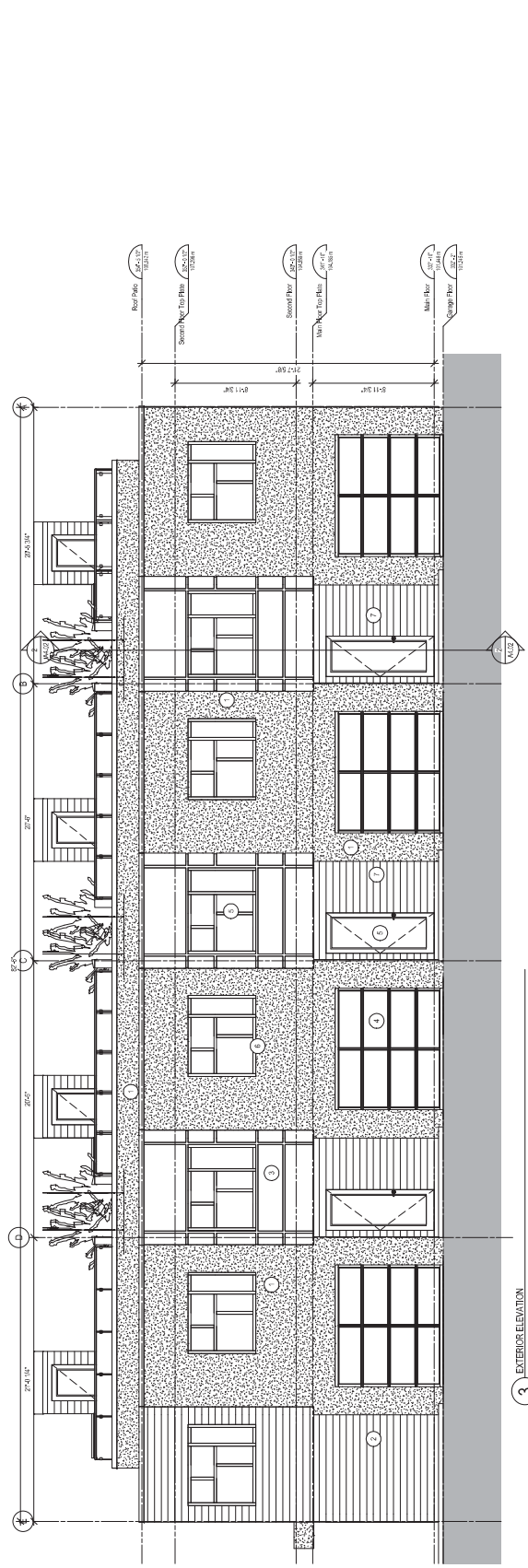
NOVATION  
 101 N. ROSS ST. WICHITA, KS 67202  
 TEL: 316.261.1000  
 FAX: 316.261.1001  
 WWW.NOVIATION.COM

PROJECT NO.: 1503  
 PROJECT NAME: Creekside Terrace Building #3  
 PROJECT LOCATION: Redwood, Blair, Colquhoun

DATE: 01/24/2015  
 DRAWING NO.: 1503-01  
 SCALE: 1/4" = 1'-0"

ISSUED FOR DEVELOPMENT PERMIT

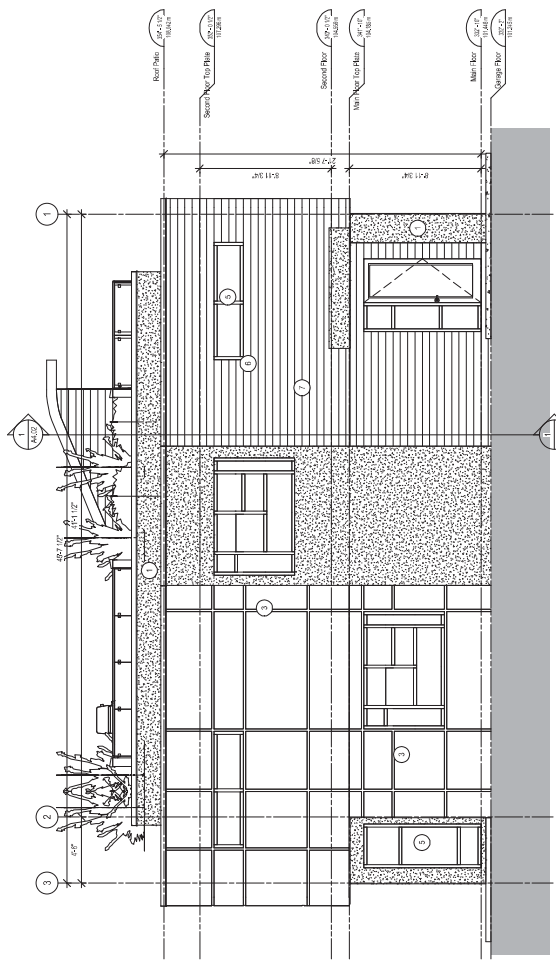
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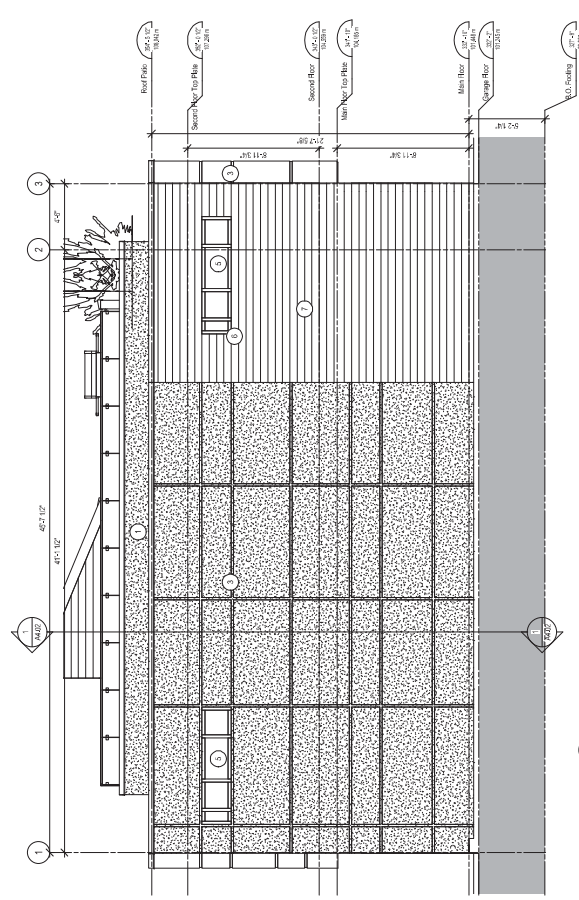
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- 2 - STUCCO - CLADDING
- 3 - ASPHALT
- 4 - CLADDING - CLADDING
- 5 - CLADDING - CLADDING
- 6 - CLADDING - CLADDING
- 7 - CLADDING - CLADDING

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2 EXTERIOR ELEVATION  
 SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION  
 SCALE: 1/8" = 1'-0"

NOVATION PROJECT NO. 1503  
 PROJECT NAME: Creekside Terrace Building #3  
 PROJECT LOCATION: 1011 N. HIGLEY, SUITE 100, WICHITA, KS 67202  
 PROJECT ARCHITECT: NOVATION ARCHITECTS, P.C.  
 PROJECT ENGINEER: NOVATION ARCHITECTS, P.C.



PROJECT NO. 1503  
 PROJECT NAME: Creekside Terrace Building #3  
 PROJECT LOCATION: 1011 N. HIGLEY, SUITE 100, WICHITA, KS 67202  
 PROJECT ARCHITECT: NOVATION ARCHITECTS, P.C.  
 PROJECT ENGINEER: NOVATION ARCHITECTS, P.C.

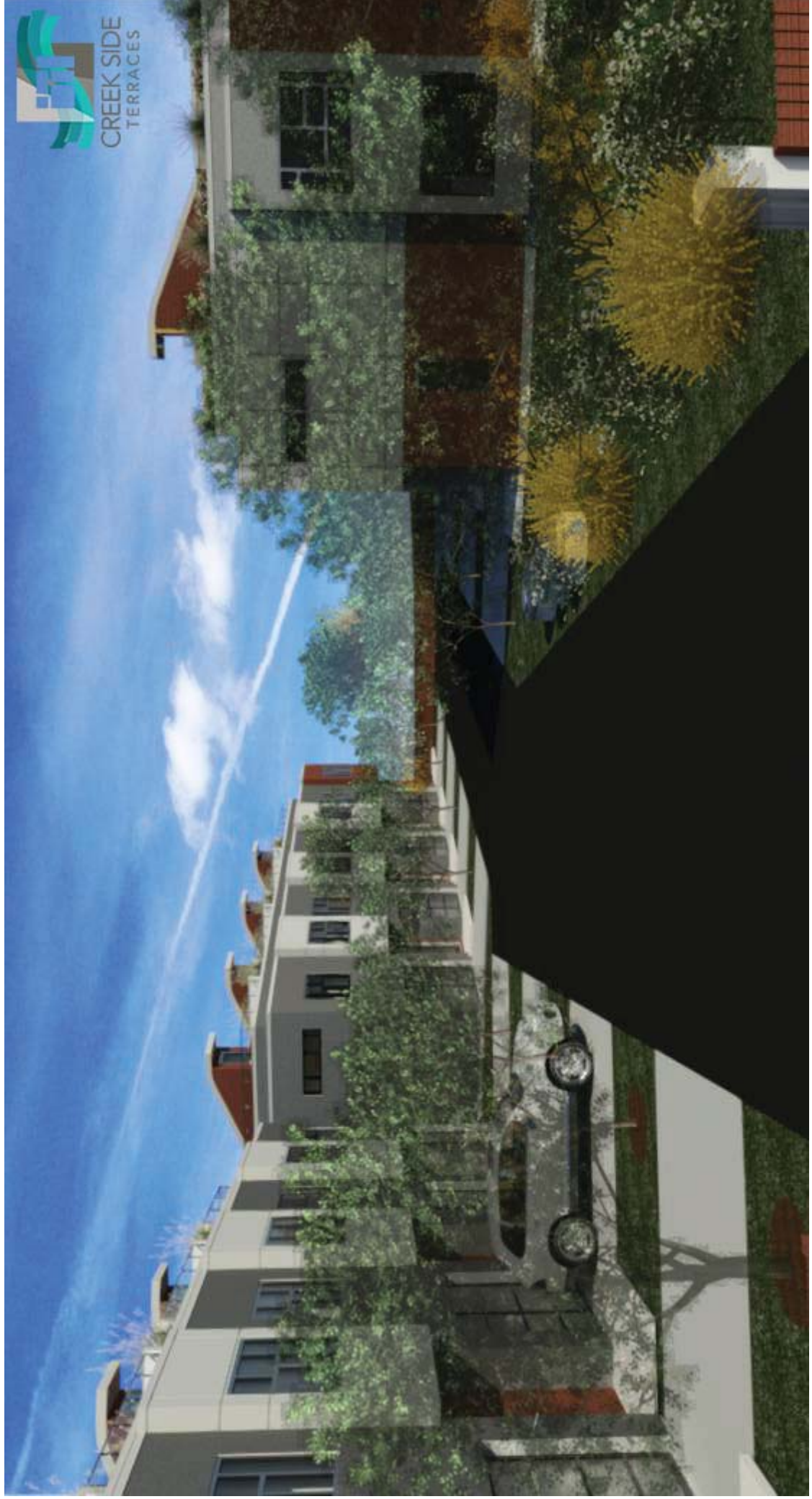
EXTERIOR ELEVATIONS

DATE	DESCRIPTION	BY
10/15/2024	ISSUED FOR DEVELOPMENT PERMIT	PS
10/15/2024	ISSUED FOR DEVELOPMENT PERMIT	BD
10/15/2024	ISSUED FOR DEVELOPMENT PERMIT	PS

A3.02

ISSUED FOR DEVELOPMENT PERMIT







 CREEK SIDE  
TERRACES

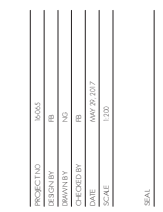


**CREEKSIDE TERRACES**  
CREEKSIDE TERRACES  
CONCEPTUAL LANDSCAPE PLAN

PROJECT TITLE:  
CLIENT:  
DATE:  
DRAWING TITLE:  
SCALE:  
SEAL:  
DRAWN BY:  
CHECKED BY:  
DATE:

NO.	REVISION	DATE
1	Issued for Review	
2		
3		
4		
5		

PROJECT NO.:	60555
DESIGN NO.:	18
DRAWING NO.:	1-15
CHECKED BY:	IB
DATE:	25/10/2017
SCALE:	1:200
SEAL:	



L1/2



**PLANT LIST**

BOTANICAL NAME	COMMON NAME	QTY	SIZE	SPACING & REMARKS
<i>Trees</i>	<ul style="list-style-type: none"> <li>ARJUNIA TRILOBATA</li> <li>BOHNER WOOD</li> <li>ROBINIA PSEUDO-ACACIA 'PURPLE ROBE'</li> <li>ACER RUBRUM 'ARMSTRONG'</li> <li>WALNUT</li> <li>YUCCA FILIFERA</li> <li>WILLOW</li> <li>DOGWOOD</li> <li>PANICUM VAGANUM</li> <li>TOXICARIA</li> </ul>	<ul style="list-style-type: none"> <li>6</li> <li>4</li> <li>4</li> <li>10</li> <li>2</li> <li>2</li> <li>4</li> <li>2</li> <li>2</li> <li>2</li> <li>2</li> </ul>	<ul style="list-style-type: none"> <li>6m CAL</li> <li>6m CAL</li> <li>6m CAL</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> </ul>	<ul style="list-style-type: none"> <li>ARMSTRONG MAPLE</li> <li>WALNUT</li> <li>YUCCA FILIFERA</li> <li>WILLOW</li> <li>DOGWOOD</li> <li>PANICUM VAGANUM</li> <li>TOXICARIA</li> <li>ROBINIA PSEUDO-ACACIA 'PURPLE ROBE'</li> <li>ACER RUBRUM 'ARMSTRONG'</li> <li>WALNUT</li> <li>YUCCA FILIFERA</li> <li>WILLOW</li> <li>DOGWOOD</li> <li>PANICUM VAGANUM</li> <li>TOXICARIA</li> </ul>
<i>Shrubs, Perennials &amp; Grasses</i>	<ul style="list-style-type: none"> <li>SPIDER BLOSSOM</li> <li>FLORAL BLOSSOM</li> <li>BEAR BERRY</li> <li>BURNING BUSH</li> <li>DOGWOOD</li> <li>PANICUM VAGANUM</li> <li>TOXICARIA</li> <li>ROBINIA PSEUDO-ACACIA 'PURPLE ROBE'</li> <li>ACER RUBRUM 'ARMSTRONG'</li> <li>WALNUT</li> <li>YUCCA FILIFERA</li> <li>WILLOW</li> <li>DOGWOOD</li> <li>PANICUM VAGANUM</li> <li>TOXICARIA</li> </ul>	<ul style="list-style-type: none"> <li>2</li> <li>2</li> <li>2</li> <li>2</li> <li>2</li> <li>2</li> <li>2</li> <li>2</li> <li>2</li> <li>2</li> <li>2</li> <li>2</li> <li>2</li> <li>2</li> <li>2</li> <li>2</li> <li>2</li> </ul>	<ul style="list-style-type: none"> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> <li>40 COFT</li> </ul>	<ul style="list-style-type: none"> <li>SPIDER BLOSSOM</li> <li>FLORAL BLOSSOM</li> <li>BEAR BERRY</li> <li>BURNING BUSH</li> <li>DOGWOOD</li> <li>PANICUM VAGANUM</li> <li>TOXICARIA</li> <li>ROBINIA PSEUDO-ACACIA 'PURPLE ROBE'</li> <li>ACER RUBRUM 'ARMSTRONG'</li> <li>WALNUT</li> <li>YUCCA FILIFERA</li> <li>WILLOW</li> <li>DOGWOOD</li> <li>PANICUM VAGANUM</li> <li>TOXICARIA</li> <li>ROBINIA PSEUDO-ACACIA 'PURPLE ROBE'</li> <li>ACER RUBRUM 'ARMSTRONG'</li> <li>WALNUT</li> <li>YUCCA FILIFERA</li> <li>WILLOW</li> <li>DOGWOOD</li> <li>PANICUM VAGANUM</li> <li>TOXICARIA</li> </ul>



**OUTLAND DESIGN**  
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 www.outlanddesign.ca



PROJECT TITLE  
**CREEKSIDE TERRACE**

City Name, BC

DRAWING TITLE  
**WATER CONSERVATION  
 / IRRIGATION PLAN**

DATE FOR REVISION	
1	15/01/24 Issue/owner Plans
2	17/01/25 Review
3	
4	
5	

PROJECT NO	05005
DESIGN NO	08
DRAWING NO	105
CHECKED BY	FB
DATE	20/05/24
SCALE	1:200

SEAL



DRAWING NUMBER

**L2/2**

**ISSUED FOR REVIEW ONLY**  
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**CITY OF KELOWNA**  
**MEMORANDUM**

**Date:** November 21, 2016  
**File No.:** Z16-0068  
**To:** Community Planning (TB)  
**From:** Development Engineering Manager (SM)  
**Subject:** 4609 Lakeshore Road RM3

The Development Engineering Department has the following comments and requirements associated with this rezoning application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Sergio Sartori

**1. Domestic Water and Fire Protection**

- (a) The existing lot is serviced with 25mm diameter water service. The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant requirements and service needs. The estimated cost of this construction for bonding purposes is **\$12,000.00**
- (b) The applicant, at his cost, will arrange for the removal of the existing service on Lakeshore Rd and the installation of one new larger metered water service. The new service should tie in to the main on McClure Rd.
- (c) The developer must obtain the necessary permits and have all existing utility services disconnected prior to removing or demolishing the existing structures. The City of Kelowna water meter contractor must salvage existing water meters, prior to building demolition. If water meters are not salvaged, the developer will be invoiced for the meters.

**2. Sanitary Sewer**

- (a) The existing lot is serviced with a 100mm diameter sanitary service. The developer's consulting mechanical engineer will determine the requirements of this proposed development and establish the required size and preferred location of the new service. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal of the existing small diameter service and the installation of a new larger service. The new service should tie in to the main on McClure Rd. The estimated cost of this construction for bonding purposes is **\$10,000.00**

**3. Storm Drainage**

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the Subdivision, Development and Servicing Bylaw No. 7900. The storm water management plan

This forms part of application

# OCP16-0023

Z16-0068

City of


**Kelowna**  
 COMMUNITY PLANNING

must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems. The existing lot is not serviced. Only one service will be permitted for this development. The applicant, at his cost, will arrange the installation of one overflow service if required. The estimated cost of this construction for bonding purposes is **\$5,000.00**

#### **4. Road Improvements**

- (a) Lakeshore Road has been upgraded to an urban standard along the full frontage of this proposed development. The existing driveway letdown must be removed and replaced with curb & gutter, landscaped boulevard complete with street trees, separate sidewalk and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. The estimated cost of this construction for bonding purposes is **\$7,000.00**
- (b) McClure Road must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, sidewalk, landscaped boulevard complete with street trees, storm drainage system including catch basins, manholes and pavement removal and replacement, street lighting and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. The estimated cost of this construction for bonding purposes is **\$33,000.00**

#### **5. Road Dedication and Subdivision Requirements**

- (a) Grant statutory rights-of-way if required for utility services.
- (b) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.

#### **6. Electric Power and Telecommunication Services**

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

#### **8. Design and Construction**

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.

This forms part of application

# OCP16-0023

Z16-0068



City of  
**Kelowna**  
COMMUNITY PLANNING

- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

#### 9. Servicing Agreements for Works and Services

- (a) A Servicing Agreement is required for all offsite works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

#### 10. Other Engineering Comments

- (a) Provide all necessary Statutory Rights-of-Way for any utility corridors as required.
- (b) If any road dedication affects lands encumbered by a Utility right-of-way (such as Terasen, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.

#### 11. Geotechnical Report

- a) Provide a comprehensive geotechnical report prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below: **NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed development.**
- Overall site suitability for development.
  - Presence of ground water and/or springs.
  - Presence of fill areas.
  - Presence of swelling clays.
  - Presence of sulphates.
  - Potential site erosion.
  - Provide specific requirements for footings and foundation construction.
  - Provide specific construction design sections for roads and utilities over and above the City's current construction standards.



**12. Bonding and Levy Summary**

(a) Bonding

Water service upgrades	\$ 12,000
Sanitary sewer service upgrades	\$ 10,000
Storm overflow services	\$ 5,000
Lakeshore Rd frontage improvements	\$ 7,000
McClure Rd frontage improvements	\$ 33,000
<b>Total Bonding</b>	<b>\$67,000.00</b>

NOTE: The bonding amount shown above are comprised of estimated construction costs escalated by 140% to include engineering design and contingency protection and are provided for information purposes only. The owner should engage a consulting civil engineer to provide detailed designs and obtain actual tendered construction costs if he wishes to do so. Bonding for required off-site construction must be provided and may be in the form of cash or an irrevocable letter of credit, in an approved format.

The owner must also enter into a servicing agreement in a form provided by the City.

**13. Development Permit and Site Related Issues**

(a) Access and Manoeuvrability

- (i) Indicate on the site, the locations of loading bays as well as the garbage and recycle bins.
- (ii) Access to the site will be permitted from McClure Road and shall be a minimum 15m from the property line of Lakeshore Rd.

**14. Administration Charge**

An administration charge will be assessed for processing of this application, review and approval of engineering designs and construction inspection. The administration charge is calculated as (3.5% of Total Off-Site Construction Cost plus GST)

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Steve Muenz, P. Eng.  
Development Engineering Manager



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**CITY OF KELOWNA**

**MEMORANDUM**

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**Date:** November 21, 2016  
**File No.:** OCP16-0023  
**To:** Community Planning (TB)  
**From:** Development Engineering Manager (SM)  
**Subject:** 4609 Lakeshore Road

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The Development Engineering Branch comments and requirements regarding this OCP amendment application are as follows:

1. **General**

All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z16-0068.

  
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Steve Muenz, P. Eng.  
Development Engineering Manager

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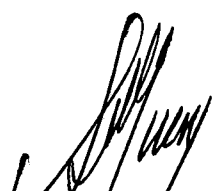
**CITY OF KELOWNA****MEMORANDUM**

**Date:** November 21, 2016  
**File No.:** DP16-0249  
**To:** Community Planning (TB)  
**From:** Development Engineer Manager (SM)  
**Subject:** 4609 Lakeshore Road

The Development Engineering comments and requirements regarding this Development Permit application are as follows:

**1. General.**

- a) All the offsite infrastructure and services upgrades are addressed in the Development Engineering Report under file Z16-0068.

  
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Steve Muenz, P. Eng.  
Development Engineering Manager

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