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## CITY OF KELOWNA

# MEMORANDUM

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**Date:** May 10, 2017  
**File No.:** Z17-0033

**To:** Urban Planning Management (LK)

**From:** Development Engineering Manager (SM)

**Subject:** 840 Mayfair Road RU1 to RU1c

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Development Engineering has the following comments and requirements associated with this application to rezone from RU1 to RU1c to facilitate the development of a carriage house. The servicing requirements outlined in this report will be a requirement of this development.

1. Domestic Water and Fire Protection

The property is located within the Black Mountain Irrigation District (BMID) service area. The water system must be capable of supplying domestic and fire flow demands of the project in accordance with the Subdivision, Development & Servicing Bylaw. The developer is responsible, if necessary, to arrange with BMID staff for any service improvements.

2. Sanitary Sewer

- a) Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service which is adequate for this application.
- b) This property is located within Sewer Specified Area #20. 1 Single Family Equivalent (SFE) is paid for annually with property taxes and is required to be paid in full as part of this rezoning application in addition to 0.5 SFE for the proposed carriage house. The total sewer Specified Area fee in 2017 will be calculated based on 1.5 SFE at \$2045.50 per SFE = \$3068.25

3. Development Permit and Site Related Issues

- a) Direct the roof drains onto splash pads.
- b) Maximum driveway width permitted is 6m.

4. Electric Power and Telecommunication Services

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.

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Steve Muenz, P. Eng.  
Development Engineering Manager  
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www.bmid.ca

BMID File No. 2017.14

May 12, 2017

Perfecta and Benjamin Pae-et  
840 Mayfair Road  
Kelowna, BC  
V1X 5G6

RE: Water Service Requirements Lot 5, Plan 24833  
Z17-0033 Proposed Carriage House – 840 Mayfair Road

This letter sets out our requirements related to the proposed carriage house at 840 Mayfair Road. BMID has no objections to the rezoning applications as proposed.

#### Service Requirements and Charges:

For construction of a second dwelling on a property, each residence must have a separate water service and meter. A new service is required to be installed to service the carriage house. This work is to be done by BMID. Costs for the new service install will be invoiced after the work has been completed and will be based on actual costs for labour, materials and equipment. Please note that the owner is responsible to install the water service line from the property line to the building.

The connection fee is **\$300.00** for a new carriage house unit as outlined in BMID Bylaw No. 667.

Corix Utilities is outsourced by BMID for the installation of domestic water meters within the BMID service area. The cost for supply and installation of the new domestic water meters in both homes, including remote read technology, is \$435.00 each for a total of **\$870.00**.

In accordance with BMID Bylaw No. 706, a Capital Expenditure Charge of **\$3,350.00** applies for the addition of a carriage house on this property where a residence already exists. This money is to fund water source development and larger supply transmission mains as identified in the BMID Capital Plan. Capital charges are payable prior to construction of the second residence.

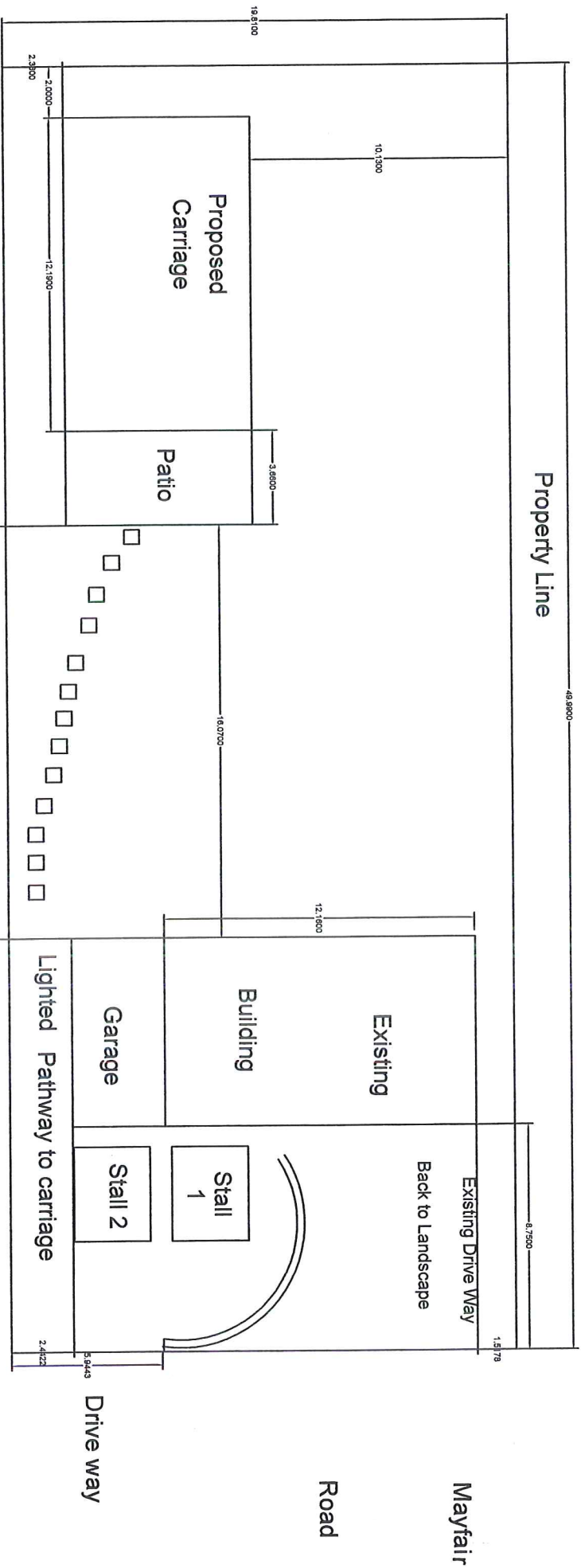
The authorized signatory (owner or authorized agent) must come in to our office to complete a *BMID Application for Building* form and a *BMID Work Order*, authorizing the new connection and water meter installations and to pay the charges as outlined. Once we have the signed forms on file and payment has been made, a *Water Certificate* can be issued for submission to the City of Kelowna.

Please review this information and call us if you have questions. Additional information on the development process can be found at our website at [www.bmid.ca](http://www.bmid.ca).

Yours truly,  
**Black Mountain Irrigation District**

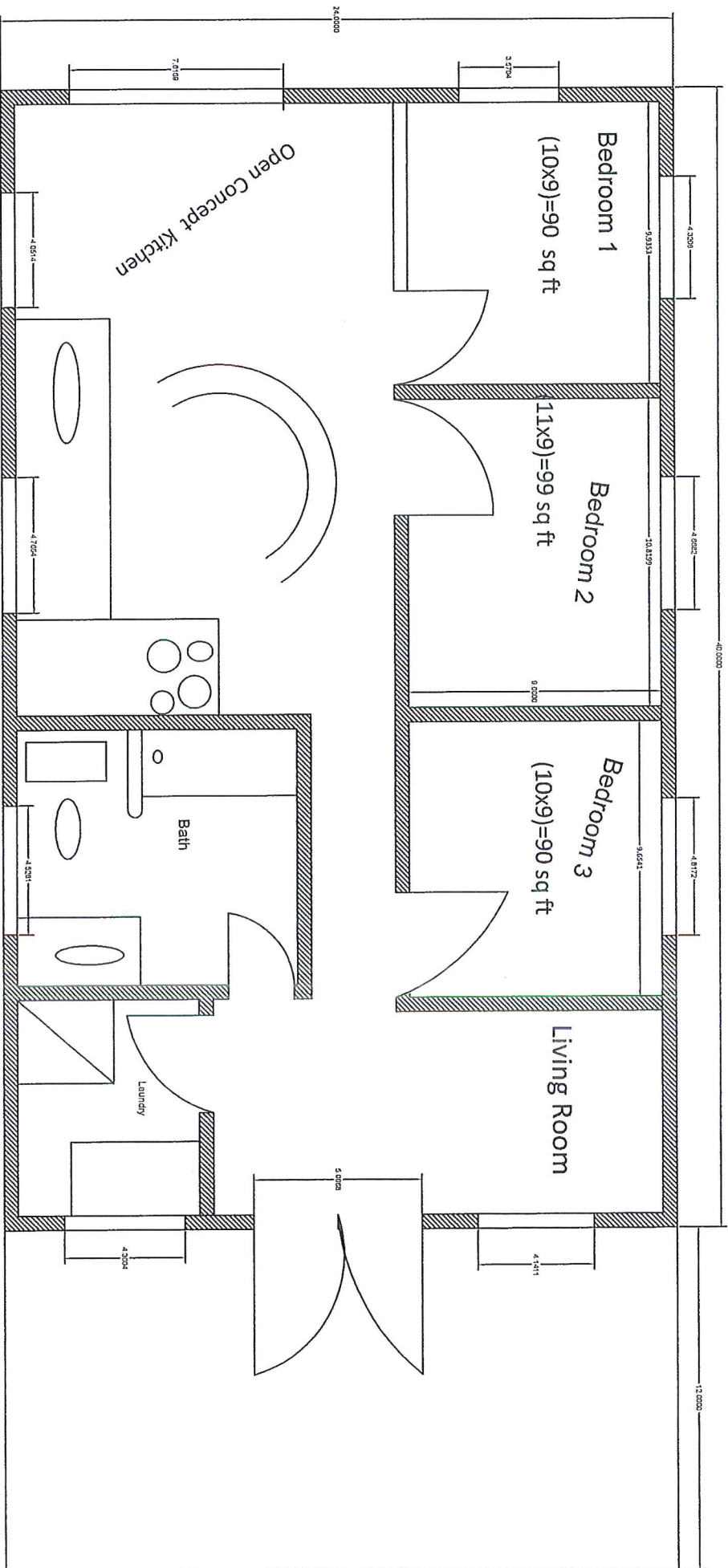
Dawn Williams  
Administrator

cc. Lydia Korolchuk, City of Kelowna Planner

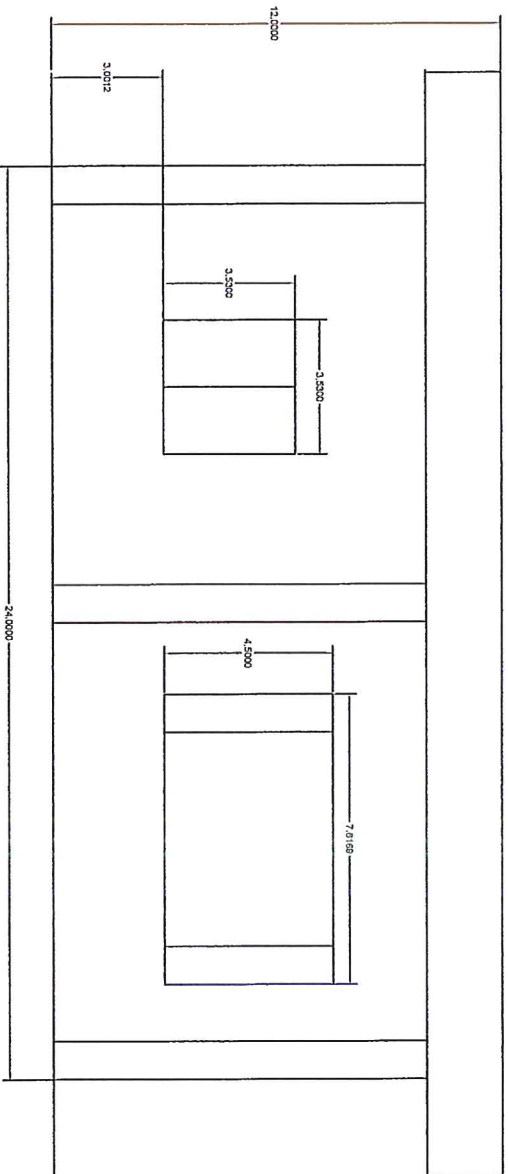


<b>Scale:</b>	<b>Address:</b>		<b>Date:</b>
	840 Mayfair Road	Site Plan	March 30, 2017

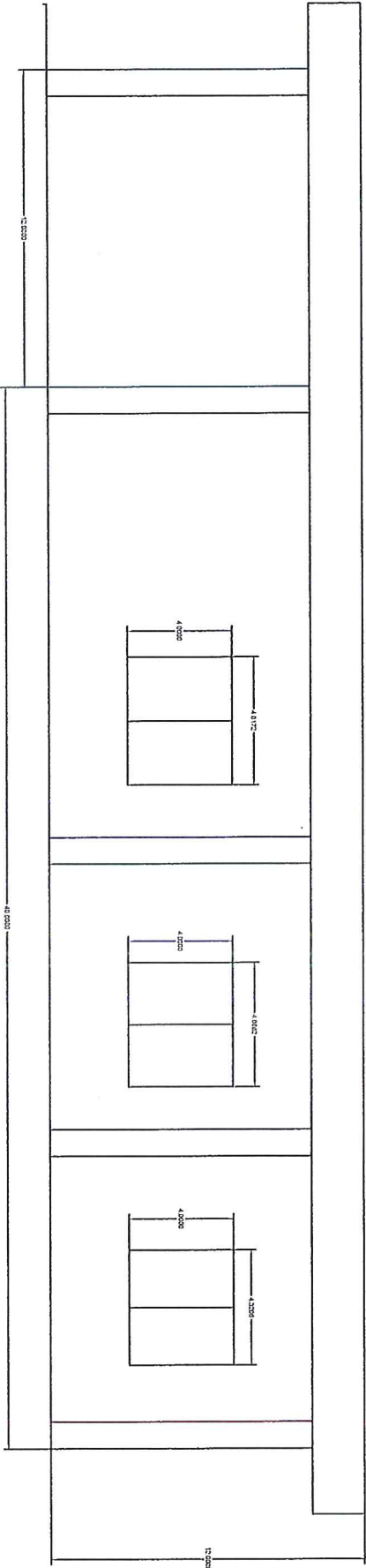




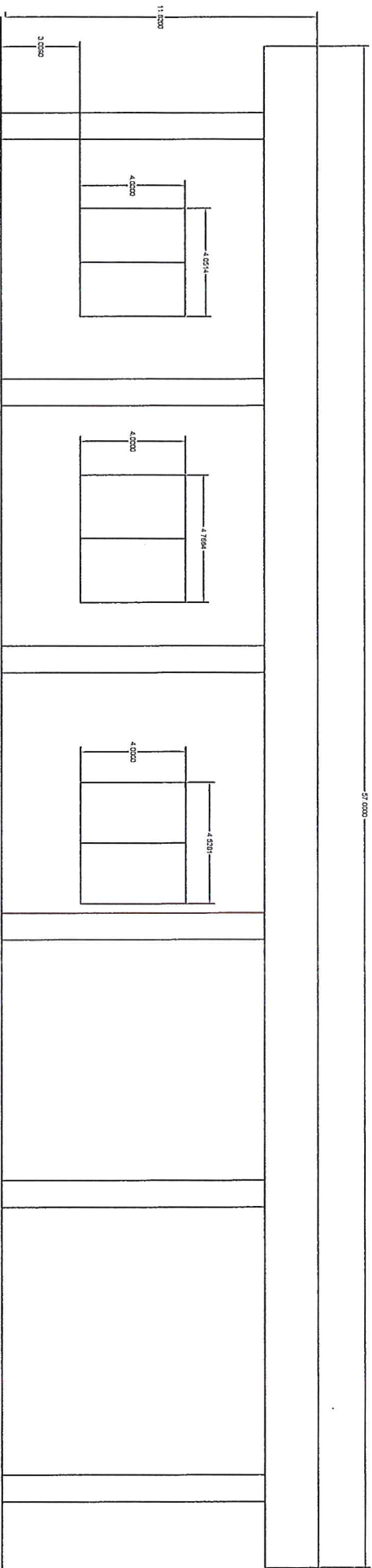
SCALE:	ADDRESS:	LAYOUT: SINGLE STORY	DATE:
1:200	840 MAYFAIR ROAD	FLOOR PLAN	MARCH 16, 2017



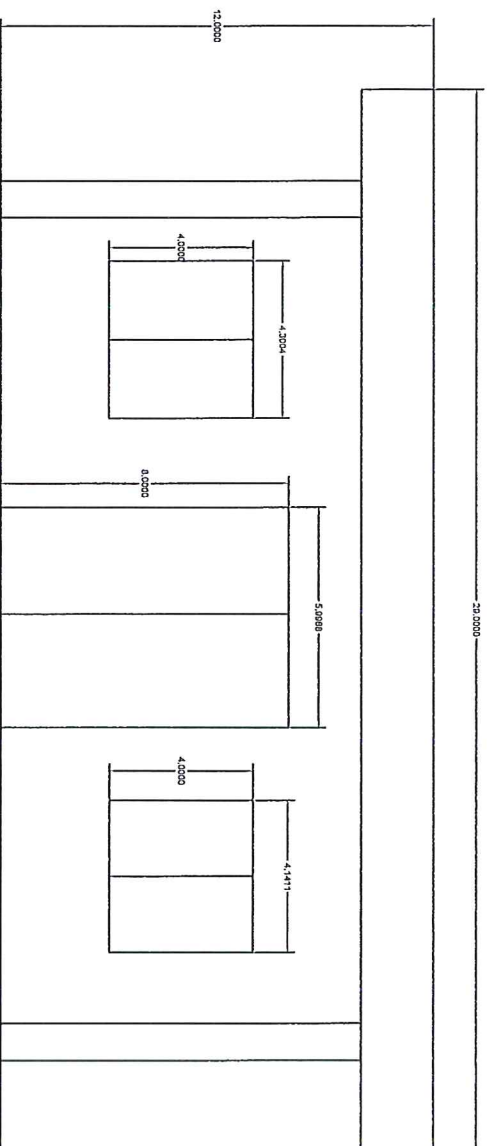
Scale:	Address:	Elevation:	Date:
	840 Mayfair Road	Rear Elevation	March 16, 2017



Scale:	Address:	Elevation:	Date:
	840 Mayfair Road	Right Elevation	March 16, 2017



Scale:	Address:	Elevation:	Date:
	840 Mayfair Road	Left Elevation	March 16, 2017



Scale:	Address:	Elevation:	Date:
	840 Mayfair Road	Front	March 16, 2017