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**CITY OF KELOWNA**  
**MEMORANDUM**

**ATTACHMENT A**

This forms part of application

# **OCP17-0007 & Z17-0021**

Planner  
Initials

AC



**Date:** April 10, 2017  
**File No.:** Z17-0021  
**To:** Urban Planning Management (AC)  
**From:** Development Engineering Manager (SM)  
**Subject:** 130 McCurdy Road

A1 to C4

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The Development Engineering Department has the following comments and requirements associated with this rezoning application for the property at 130 McCurdy Road to accommodate development of a 52-unit supportive housing project. The road and utility upgrading requirements outlined in this report will be requirements of this development.

The Development Engineering Technologist for this project is Jason Ough

**1. Domestic Water and Fire Protection**

- a) This development is within the service area of the Black Mountain Irrigation District (BMID). The developer is required to make satisfactory arrangements with the BMID for these items. All charges for service connection and upgrading costs, as well as any costs to decommission existing services are to be paid directly to BMID.
- b) The developer must obtain the necessary permits and have all existing utility services disconnected prior to removing or demolishing the existing structures.

**2. Sanitary Sewer**

- a) The subject property is currently within the sanitary Sewer Specified Area # 20 and is serviced by the municipal sanitary sewer collection system. Our records indicate that in 2005 a Spec Area fee was cash commuted for this property at a value equal to 2.34 Equivalent Dwelling Units (EDU). The developer will be responsible to cash commute the specified area charges for this development. The charge is currently set at \$ 2,458.33 per EDU, valid until March 31, 2017.  
The total charge is:  $(52 \times 0.5) - 2.34 = 23.66 \text{ EDU} \times \$2,458.33 = \$58,164.10$
- b) Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service. The applicant's consulting mechanical engineer will determine the requirements of the proposed development and establish the service needs. Only one service per lot will be permitted for this development. If required, the applicant will arrange for the removal and disconnection of the existing service and the installation of one new larger service at the applicants cost. Contact Jason Ough (250 469 4519) for service work estimate.

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 <b>City of Kelowna</b> <small>COMMUNITY PLANNING</small>	

### 3. Storm Drainage

- a) The developer must engage a consulting civil engineer to provide a storm water management plan for these sites which meets the requirements of the City Subdivision Development and Servicing Bylaw 7900. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.

### 4. Road Improvements

- a) Required frontage improvements along McCurdy include:
  - i. Realign the existing curb to accommodate a 1.5m bike lane.
  - ii. Construct a 3m asphalt walkway 0.3m from the property line and grass boulevard of varying width as per attached concept plan, including street trees and LED streetlights.
- b) Required frontage improvements along Rutland Road N include:
  - i. Construct 1.5m of sidewalk 0.3m from the property line, grass boulevard of varying width as per attached concept plan, including street trees and LED streetlights.
  - ii. Roadway to include a 3.0m right turn lane, and 1.8m bicycle lane including transition.
- c) Let-downs and crosswalks to be realigned.
- d) Replacement and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. Estimate provided as cash in lieu levy for frontage improvements.
- e) Provide a Traffic Signs/Pavement Marking design drawing.
- f) A landscape & irrigation design drawing for approval is required.
- g) The applicants civil engineering consultant will provide an estimated cost of required road improvement works for bonding purpose.

### 5. Subdivision and Dedication

- a) Approximately 2.7m of road dedication is required along the entire frontage of McCurdy Road to match the property line at 1001 Aldon Rd.
- b) Approximately 5m of road dedication is required along the entire frontage of Rutland Road N to match the property line at 1024 Rutland Rd N.
- c) 6m corner rounding is required at the intersection of McCurdy and Rutland Roads.
- d) Dedicate 5m width along the full frontage of Findlay Road to match the property line north of 1297 Findlay Road.
- e) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or

closure must be incorporated in the construction drawings submitted to the City's Development Manager.

**6. Development Permit and Site Related Issues**

- a) Direct the roof drains into on-site rock pits or splash pads.
- b) An MSU standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles movements should also be illustrated on the site plan.

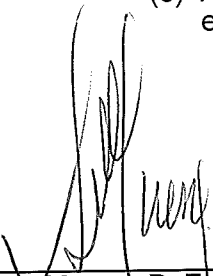
**7. Electric Power and Telecommunication Services**

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

**8. Geotechnical Report**

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install pisometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.

  
Steve Muenz, P. Eng.  
Development Engineering Manager

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# <u>OCP17-0007 &amp; Z17-0021</u>		
Planner Initials	AC	 City of <b>Kelowna</b> COMMUNITY PLANNING



PERSPECTIVE VIEW - LOOKING SOUTH-WEST

SCALE



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2017

FREEDOM'S DOOR /  
KIGHTS OF COLUMBUS #6233  
FATHER DELESTRE  
(2009) SOCIETY

HOUSING PROJECT  
130 McCURDY ROAD  
KELOWNA, BC

FOR REVIEW	KH 17/05/2017
ISSUED FOR CIP	KH 17/05/2017
Revision	By Date

Sheet Title

**PERSPECTIVE VIEW**

Scale

Date	FEBRUARY 2017
Drawn	JAM
Checked	JH
Project	
Drawing No.	

A-0





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2017  
FREEDOM'S DOOR /  
KNIGHTS OF COLUMBUS #6233  
FATHER DELESTRE  
(2009) SOCIETY

HOUSING PROJECT  
130 McCURDY ROAD  
KELOWNA, BC

UPDATED DP	HAM	25/08/17
ISSUED FOR DP	HAM	11/02/17
No. Revision	By	Date

SITE PLAN

Scale: 3/32"=1'-0"

Date	DECEMBER 20, 2016
Drawn	HAM
Checked	RH
Project	10971-17
Drawing No.	

A-1

GENERAL NOTES:

ADDRESS: 130 McCURDY ROAD  
LEGAL: KID 344073 PLAN #39917 LOT #2  
LOT AREA: 0.767 AC. (3,105.16 SQM)  
(0.872 AC. PRIOR TO ROAD WIDENING)  
ZONING: CURRENTLY: A1  
PROPOSED: C4  
BUILDING AREA: 9627 SQFT (894.3 SQM)  
FLOOR AREA TOTAL: 34,620 SQFT (3216.2 SQM) 4 STOREYS  
FLOOR AREA RATIO (FAR): 1.036  
LOT COVERAGE - BUILDING: 28.8%  
LOT COVERAGE - BUILDING + PARKING: 61.06%  
PRIVATE OPEN SPACE: 7241 SQFT (672 SQM)  
SETBACKS: FRONT (RUTLAND RD.) 20'-0" (6.0m)  
SIDE (NORTH) 23'-0" (7.0m)  
STREET SIDE (McCURDY RD) 20'-0" (6.0m)  
REAR (WEST SIDE) 20'-0" (6.0m)  
BUILDING HEIGHT: 46'-0" (14.0m) - 4 STOREYS  
RESIDENTIAL SUITES: 52 TOTAL  
2 BEDROOM (CARETAKER) (1084 SQFT): 1  
STUDIO (308 SQFT): 49  
TOTAL: 50  
NON-RESIDENTIAL AREA: 3600 SQFT (334.4 SQM)  
PARKING:  
RESIDENTIAL (SUPPORTIVE HOUSING):  
1 CARETAKER SUITE x 1 STALL 1  
49 SUITES x 1 STALL / 3 SUITES 17  
NON-RESIDENTIAL:  
80 SEATS @ 1 STALL / 5 SEATS 16  
TOTAL REQUIRED: 34  
TOTAL PROVIDED: 34 STALLS  
FULL SIZE STALLS (6m x 2.5m): 32 STALLS  
H.C. STALLS (6.0m x 3.7m): 2 STALL  
BICYCLE STALLS (0.6m x 1.8m - Aisle 1.2m):  
LONG TERM - BIKE ROOM STALLS: 14 STALLS  
SHORT TERM - BIKE RACK: 36 BIKES  
LOADING STALLS (4.0m x 3.0m): 1 STALL

BUILDING CODE REVIEW

B.C. BUILDING CODE: 2012  
BUILDING DESIGNED UNDER: PART 3  
MAJOR OCCUPANCY: C / D / A2 / E  
CONSTRUCTION CLASS:  
C 3.2.2.50  
D 3.2.2.57  
E 3.2.2.63  
A2 3.2.2.24  
NUMBER OF STREETS FACING: 2  
BUILDING HEIGHT: 4 STOREY  
COMBUSTIBLE CONSTRUCTION: YES  
NON COMBUSTIBLE CONSTRUCTION:  
FIRE RESISTANCE RATING:  
FLOOR D / C 1 HR  
FLOOR RES / RES 1 HR  
ROOF 45 MN  
SUPPORT STRUCTURE 1 HR  
SERVICE ROOM 1 HR  
SPRINKLERED: YES  
STAND PIPE: YES  
FIRE ALARM: YES  
WASHROOMS:  
A2 - 100 SEATS - 2F / 3M  
CRU: 1 R.I.P. PER UNIT  
RESIDENTIAL: 1 WASHROOM PER DWELLING UNIT

NOTE: GEODETIC DATUM - MAIN FLOOR 1341.86 FT (409 M)  
(VERIFY WITH SURVEY)



McCURDY ROAD

RUTLAND ROAD



SCALE: 3/32"=1'-0"

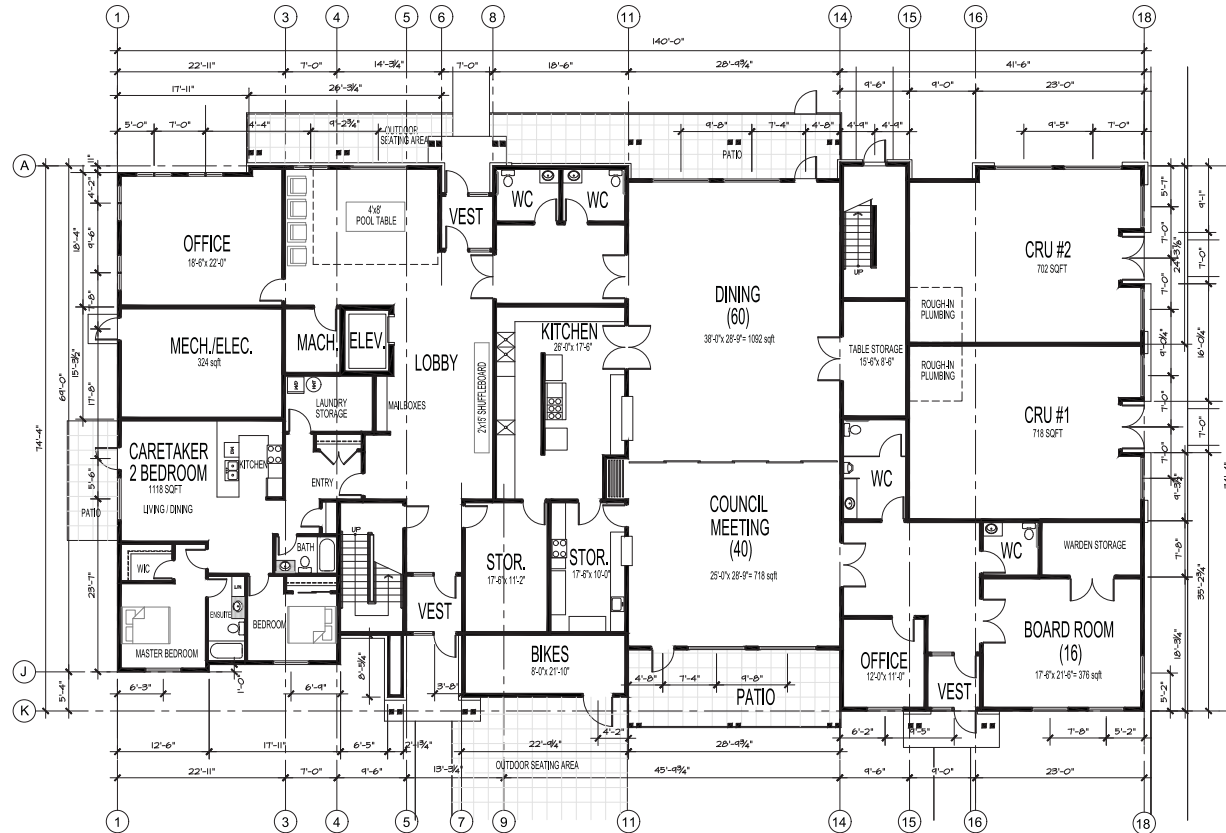
SPONSOR GROUP  
FREEDOM'S DOOR  
KNIGHTS OF COLUMBUS #6233  
FATHER DELESTRE (2009) SOCIETY

PROJECT TEAM  
CULOS DEVELOPMENT  
INNOVATIVE HOUSING CONSULTANTS INC.  
RICHARD HUNTER ARCHITECT INC.



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**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

RESIDENTIAL - 6027 SQFT  
KNIGHTS OF COLUMBUS - 2180 SQFT  
CRU - 2 UNITS - 1420 SQFT  
TOTAL FLOOR AREA = 9627 SQFT

2017

FREEDOM'S DOOR /  
KNIGHTS OF COLUMBUS #6233  
FATHER DELESTRE  
(2009) SOCIETY

HOUSING PROJECT  
130 McCURDY ROAD  
KELOWNA, BC

UPDATED DP	HAM 25/05/17
ISSUED FOR DP	HAM 11/02/17
No. Revision	By Date

Sheet Title:  
**MAIN FLOOR PLAN**

Scale: 1/8"=1'-0"

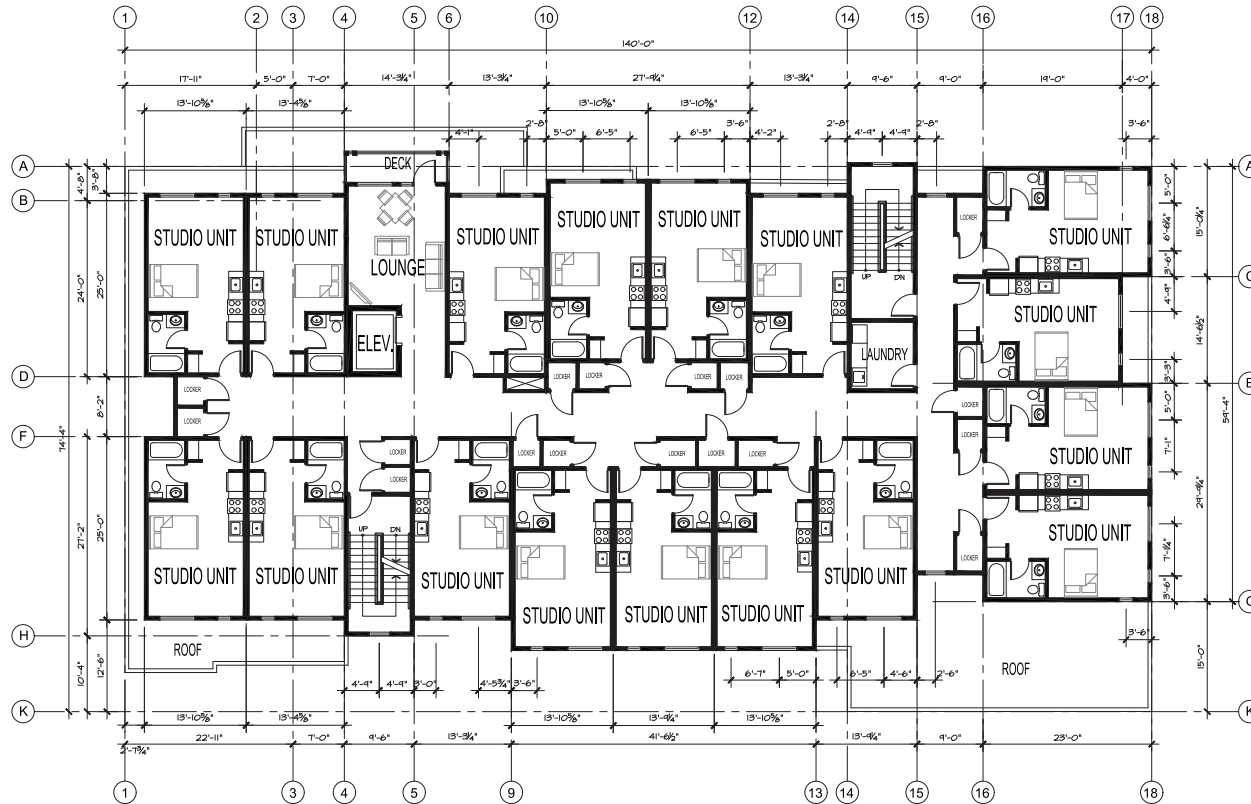
Date	MAY 10, 2016
Drawn	HAM
Checked	RH
Project	10971-17
Drawing No.	

A-2



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**2ND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

17 UNITS  
STUDIO UNITS = 308 SQFT / 312 SQFT  
AREA = 8331 SQFT PER FLOOR

2017

FREEDOM'S DOOR /  
KIGHTS OF COLUMBUS #6233  
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KELOWNA, BC

UPDATED DP	HAM 25/05/17
ISSUED FOR DP	HAM 11/02/17
No. Revision	By Date

Sheet Title:

**2ND FLOOR PLAN**



Scale: 1/8"=1'-0"

Date	MAY 10, 2016
Drawn	HAM
Checked	RH
Project	10971-17
Drawing No.	

A-3



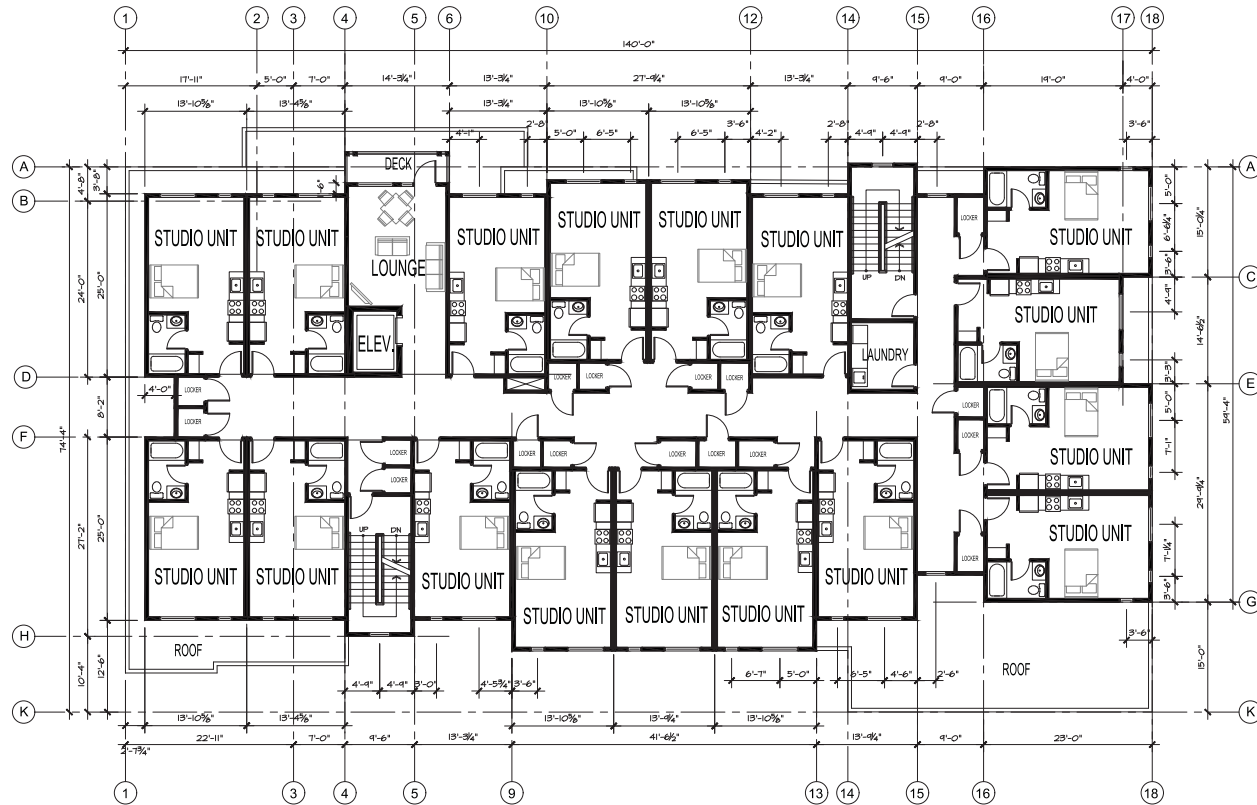
HOUSING PROJECT  
130 McCURDY ROAD  
KELOWNA, BC

	UPDATED DP	HAM	25/05/11
	ISSUED FOR DP	HAM	17/02/11
No.	Revision	By	Date

Scale: 1/8"=1'-0"

Date	MAY 10, 2016
Drawn	HAM
Checked	RH
Project	10971-17
Drawing No.	

A-4



3RD FLOOR PLAN  
SCALE: 1/8" = 1'-0"

17 UNITS  
STUDIO UNITS = 308 SQFT / 312 SQFT  
AREA = 8331 SQFT PER FLOOR

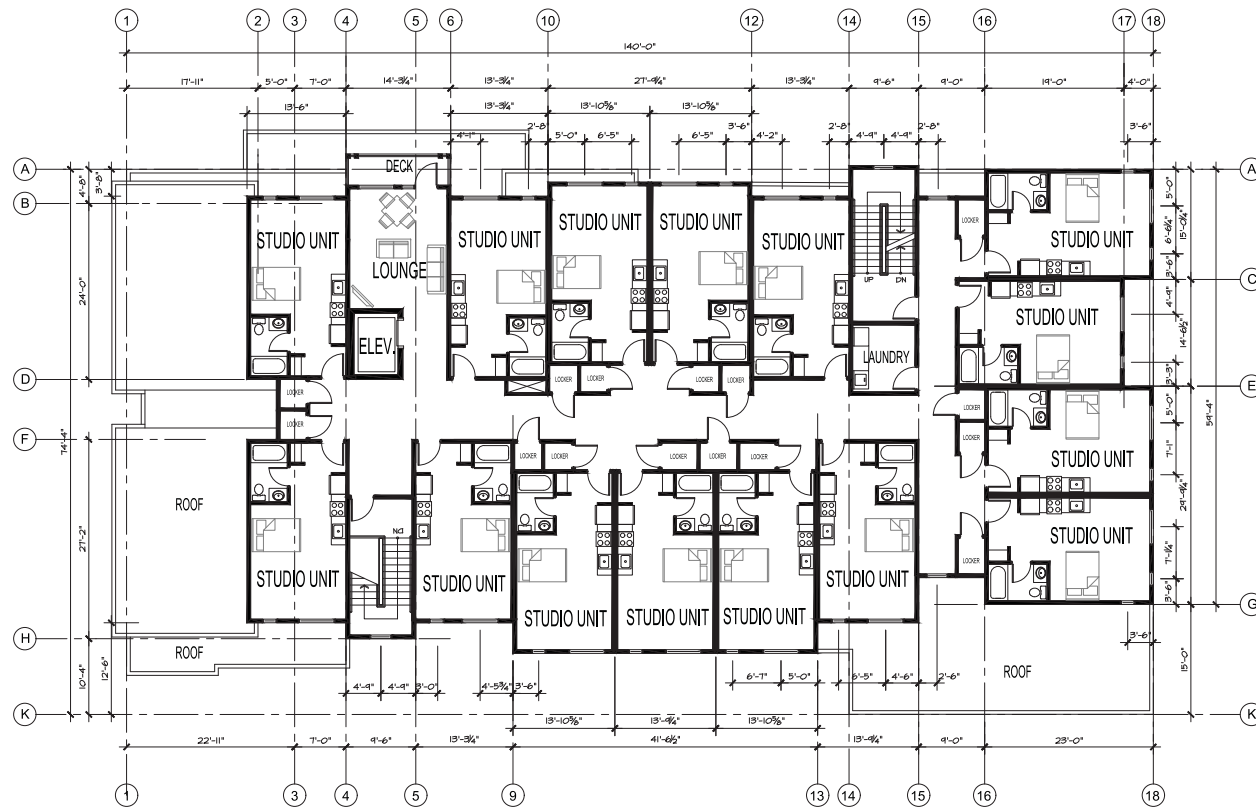




HOUSING PROJECT  
130 McCURDY ROAD  
KELOWNA, BC

2	UPDATED DP	HAM	25/05/17
1	ISSUED FOR DP	HAM	17/02/17
No.	Revision	By	Date

A-5



4TH FLOOR PLAN  
SCALE: 1/8" = 1'-0"

15 UNITS  
STUDIO UNITS = 308 SQFT / 312 SQFT  
AREA = 7409 SQFT PER FLOOR



## BUILDING ENVELOPE CONSTRUCTION ASSEMBLIES

### EXTERIOR (BUILDING ENVELOPE) CONSTRUCTION ASSEMBLIES

#### ROOF ASSEMBLY - CEILING BELOW ATTIC

- 2-PLY 5/8" ROOFING MEMBRANE
- 5/8" T&G PLYWOOD ROOF SHEATHING
- WOOD JOISTS SEE STRUCTURAL
- R-50 INSULATION
- 6 MIL POLY V.B.
- 5/8" TYPE 'X' GYPSUM WALLBOARD (30 MIN FRR)

#### EXTERIOR WALL ASSEMBLY

- SIDING / STUCCO OR FACE BRICK (AS PER ELEVATIONS)
- 2 LAYERS - 30 MIN BUILDING PAPER
- 1/2" PLYWOOD SHEATHING
- 2x6 WOOD STUDS AS PER STRUCTURAL
- RSI 3.5 (R-20) FIBERGLASS BATT INSUL.
- 1" RIGID INSULATION (R-5) CONTINUOUS
- 5/8" TYPE 'X' GYPSUM WALLBOARD

#### SLAB-ON-GRADE FLOOR ASSEMBLY

- FINISHED FLOORING
- 4" REINFORCED CONCRETE SLAB (SEE STRUCTURAL)
- 10 MIL POLY VAPOUR BARRIER
- GRANULAR BASE (SEE STRUCTURAL DRAWINGS)
- UNDISTURBED NATURAL SOIL

### INTERIOR CONSTRUCTION ASSEMBLIES

#### INTERIOR WALL ASSEMBLIES

##### TYPICAL PARTY WALL BETWEEN SUITES

- 1HR FRR - BCBG #1414G STC24
- 5/8" TYPE 'X' GYPSUM WALLBOARD
- 2x4 WOOD STUDS - SEE STRUCTURAL
- 3-1/2" ACOUSTIC BATT INSULATION
- 1" AIR SPACE
- 3-1/2" ACOUSTIC BATT INSULATION
- 2x4 WOOD STUDS - SEE STRUCTURAL
- 5/8" TYPE 'X' GYPSUM WALLBOARD
- SEE STRUCT. DWGS FOR SHEARWALL LOCATION

##### TYPICAL CORRIDOR WALL

- 1HR FRR - BCBG #1414G STC2
- 5/8" TYPE 'X' GYPSUM WALLBOARD
- 2x6 WOOD TOP & BTM PLATES
- STAGGERED 2x4 WOOD STUDS
- 3-1/2" ACOUSTIC BATT INSULATION
- 2 LAYERS 5/8" TYPE 'X' GYPSUM WALLBOARD
- SEE STRUCT. DWGS FOR SHEARWALL LOCATION

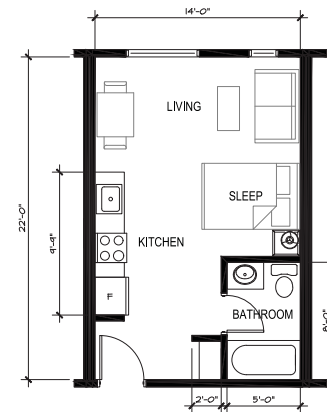
##### TYPICAL INTERIOR WALL

- 5/8" TYPE 'X' GYPSUM WALLBOARD
- 2x4 WOOD STUDS - SEE STRUCTURAL
- 5/8" TYPE 'X' GYPSUM WALLBOARD
- AQUA BOARD AROUND TUB

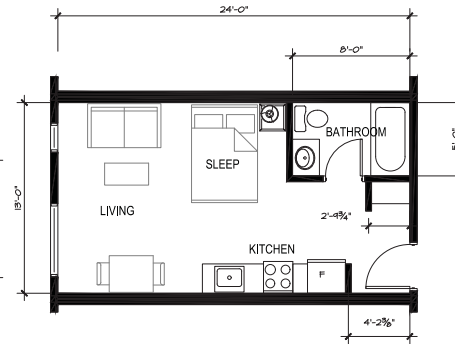
#### INTERIOR FLOOR ASSEMBLIES

##### TYPICAL 1HR FRR FLOOR ASSEMBLY

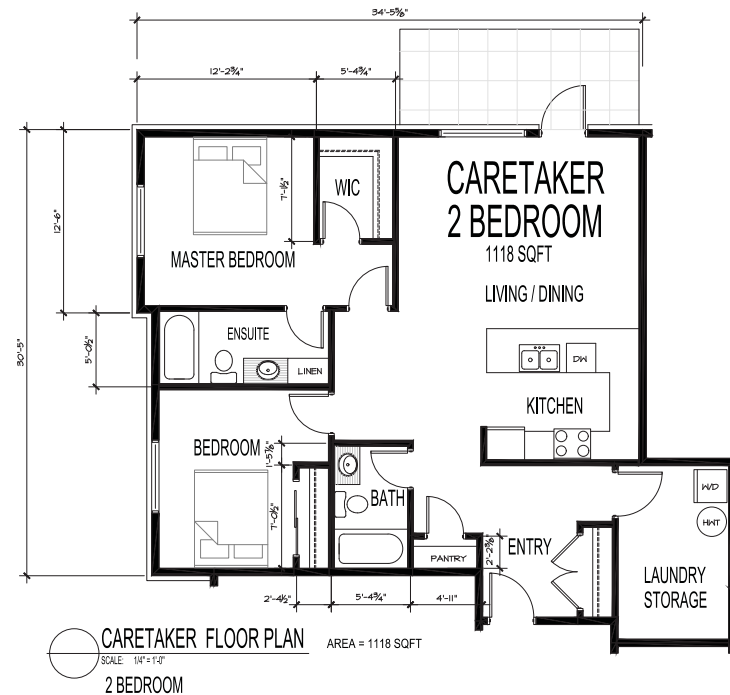
- 1HR FRR - BCBG #1414G STC21
- FINISHED FLOORING
- UNDERLAY
- 1-1/2" CONCRETE TOPPING
- 5/8" T&G PLYWOOD SUB FLOOR
- MANUFACTURED WOOD 1 JOISTS
- 6" MINERAL WOOL BATTS
- 3" RESILIENT METAL CHANNELS @ 16" O.C.
- 2 LAYERS - 5/8" TYPE 'X' GYPSUM WALLBOARD



UNIT A FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
AREA = 308 SQFT



UNIT B FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
AREA = 312 SQFT



CARETAKER FLOOR PLAN  
SCALE: 1/4" = 1'-0"  
2 BEDROOM  
AREA = 1118 SQFT



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2017

FREEDOM'S DOOR /  
KNIGHTS OF COLUMBUS #6233  
FATHER DELESTRE  
(2009) SOCIETY

HOUSING PROJECT  
130 McCURDY ROAD  
KELOWNA, BC







UPDATED DP	HAM	25/08/17
ISSUED FOR DP	HAM	11/02/17
No. Revision	By	Date

Sheet Title:

UNIT PLANS  
AND  
CONSTRUCTION ASSEMBLIES  
Scale: AS NOTED

Date	JUNE 3, 2016
Drawn	HAM
Checked	RH
Project	10971-17
Drawing No.	

A-7

	JAMES HARDI SIDING: COBBLESTONE	ROOF SHINGLES: COBBLESTONE	ALUMINUM EAZY TRIMS: "COLOR MATCHED TO ARCTIC WHITE"
	JAMES HARDI SIDING: KHAKI BROWN	SMARTSTART FASCIA & TRIMS: IRON GRAY	ALUMINUM RAILINGS: BLACK
	JAMES HARDI PANEL: ARCTIC WHITE	METAL FLASHINGS AND SHEET METAL: IRON GRAY	GLULAM BEAMS AND POSTS: NATURAL CLEAR STAIN
	MASONRY BRICK: "Mutual Martens - Inca Red"	DOOR AND WINDOW FRAMES: BLACK	EXPOSED CONCRETE PARKING: NATURAL GREY
	STUCCO FINISH: "Countrylane Red"	DOOR AND WINDOW FRAMES: BLACK	
	STUCCO FINISH: "AGED PEWTER"	METAL DOOR PANELS: "AGED PEWTER"	

Color Legend  
1/4" = 1'-0"

NOTE:  
ALL COLORS REFERENCE THE  
JAMES HARDI COLOR PALETTE

#### Material Legend

- 1.1 ASPHALT SHINGLES
- 1.3 HARD-PANEL SIDING
- 1.4 HARD-PANEL WITH HORIZ. & VERT. EAZY TRIMS
- 1.5 STUCCO FINISH
- 1.6 BRICK MASONRY FINISH
- 1.7 5/4" X 8" PTD. SMARTSIDE TRIM
- 1.8 5/4" X 4" PTD. SMARTSIDE FASCIA BOARD
- 1.9 5/4" X 8" PTD. SMARTSIDE FASCIA BOARD
- 1.10 5/4" X 10" PTD. SMARTSIDE FASCIA BOARD
- 1.11 5/4" X 12" PTD. SMARTSIDE FASCIA BOARD
- 1.12 CONCRETE ROOF CAP
- 1.13 PRE-FINISHED METAL FLASHING
- 1.14 WOOD POSTS
- 1.15 WOOD BEAMS
- 1.16 CONCRETE COLUMN
- 1.18 METAL FACED CANOPY ON WOOD FRAMING
- 2.1 8" CONC. FND. WALL
- 2.2 EXTERIOR 2"x4" WOOD WALL (R17.5)
- 2.3 CONC MASONRY BLOCK WALL
- 2.6 8" CONC. S.O.G.
- 2.7 ENGINEERED JOIST FLOOR
- 2.9 PRE-ENGINEERED TRUSS (R50)
- 2.10 PARALLEL CHORD TRUSS (R28)
- 2.11 WOOD FRAME ROOF
- 2.12 PRE-ENG ROOF TRUSS



1 NORTH ELEVATION  
A200  
SCALE: 3/16" = 1'-0"



2 EAST ELEVATION - RUTLAND RD.  
A200  
SCALE: 3/16" = 1'-0"



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KNIGHTS OF COLUMBUS #6233  
FATHER DELESTRE  
(2009) SOCIETY

HOUSING PROJECT  
130 McCURDY ROAD  
KELOWNA, B.C.

#### BUILDING ELEVATIONS

Scale: As Indicated

Date:	2016-12-22
Drawn:	KMB
Checked:	KMB
Project:	N/A

A-8

- JAMES HARDI SIDING: COBBLESTONE
- JAMES HARDI SIDING: KHAKI BROWN
- JAMES HARDI PANEL: ARCTIC WHITE
- MASONRY BRICK: Mutual Mortens - Inca Red
- STUCCO FINISH: Countrylane Red
- STUCCO FINISH: AGED FEWTER
- ROOF SHINGLES: COBBLESTONE
- SMARTSTART FASCIA & TRIMS: IRON GRAY
- METAL FLASHINGS AND SHEET METAL: IRON GRAY
- DOOR AND WINDOW FRAMES: BLACK
- DOOR AND WINDOW FRAMES: BLACK
- METAL DOOR PANELS: AGED FEWTER
- ALUMINUM EZY TRIMS: COLOR MATCHED TO ARCTIC WHITE
- ALUMINUM RAILINGS: BLACK
- GLULAM BEAMS AND POSTS: NATURAL CLEAR STAIN
- EXPOSED CONCRETE PARKING: NATURAL GREY

Color Legend  
1/4" = 1'-0"

NOTE:  
ALL COLORS REFERENCE THE JAMES HARDI COLOR PALETTE

- Material Legend
- 1.1 ASPHALT SHINGLES
  - 1.2 HARDI-PLANK SIDING
  - 1.4 HARDI-PANEL WITH HORIZ. & VERT. EZY TRIMS
  - 1.5 STUCCO FINISH
  - 1.6 BRICK MASONRY FINISH
  - 1.7 5/4" X 6" PTD. SMARTSIDE TRIM
  - 1.8 5/4" X 4" PTD. SMARTSIDE FASCIA BOARD
  - 1.9 5/4" X 8" PTD. SMARTSIDE FASCIA BOARD
  - 1.10 5/4" X 10" PTD. SMARTSIDE FASCIA BOARD
  - 1.11 5/4" X 12" PTD. SMARTSIDE FASCIA BOARD
  - 1.12 CONCRETE ROOF CAP
  - 1.13 PRE-FINISHED METAL FLASHING
  - 1.14 WOOD POSTS
  - 1.15 WOOD BEAMS
  - 1.16 CONCRETE COLUMN
  - 1.18 METAL FACED CANOPY ON WOOD FRAMING
  - 2.1 8" CONC. FND. WALL
  - 2.2 EXTERIOR 2"x4" WOOD WALL (R17.5)
  - 2.3 CONC. MASONRY BLOCK WALL
  - 2.6 8" CONC. S.O.G.
  - 2.7 ENGINEERED I-JOIST FLOOR
  - 2.9 PRE-ENGINEERED TRUSS (R50)
  - 2.10 PARALLEL CHORD TRUSS (R28)
  - 2.11 WOOD FRAME ROOF
  - 2.12 PRE-ENG ROOF TRUSS



1 SOUTH ELEVATION - McCURDY RD.  
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION  
SCALE: 3/16" = 1'-0"

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FREEDOM'S DOOR  
KNIGHTS OF COLUMBUS #6233  
FATHER DELESTRE  
(2009) SOCIETY

HOUSING PROJECT  
130 McCURDY ROAD  
KELOWNA, B.C.

Project Name	
Client	
Architect	
Engineer	
Interior Designer	
Landscaper	
Builder	
Photographer	
Printer	

BUILDING ELEVATIONS

Scale:	As Indicated
Date:	2016-12-22
Drawn:	KMB
Checked:	KMB
Project:	N/A