

DEVELOPMENT VARIANCE PERMIT



APPROVED ISSUANCE DEVELOPMENT VARIANCE PERMIT (DVP17-0104)

Issued To: Acorn Resorts GP Ltd., Inc. No. BCo888222
Site Address: 3450 McKinley Beach Dr
Legal Description: Lot B, Section 29, Township 23, ODYD, Plan EPP67208
Zoning Classification: CD18 – McKinley Beach Comprehensive Resort Development
Development Permit Area: COMPREHENSIVE DEVELOPMENT PERMIT AREA

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Development Variance Permit No. DVP17-0104 for Lot B, Section 29, Township 23, ODYD, Plan EPP67208, located at 3450 McKinley Beach Dr, Kelowna, BC be granted subject to the following sections of Zoning Bylaw No. 8000:

Schedule 'B' Comprehensive Development Zones – CD18 – 1.3(g) [Development Regulations]
To vary the required maximum Type 'A' unit size of 150 m² not floor area to 217 m².

2. PERFORMANCE SECURITY

None.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. APPLICANT'S AGREEMENT

I hereby declare that all of the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit and/or Development Variance Permit, the Municipality may withhold the granting of any Occupancy Permit for the occupancy and / or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Divisional Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning Department immediately to avoid any unnecessary delay in processing the application.

5. APPROVALS

Issued and approved by Council on the _____ day of _____, 2017.

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

Date

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall be returned to the PERMIT HOLDER.**

GRANITE AT MCKINLEY

KELOWNA, BC



SCHEDULE A & B

This forms part of application
DP16-0192

Planner
Initials

AC

City of
Kelowna
COMMUNITY PLANNING



- THIS DRAWING MUST NOT BE SCALED.
- VERIFY ALL DIMENSIONS AND DATUMS
PRIOR TO COMMENCEMENT OF WORK.
- REPORT ALL ERRORS AND OMISSIONS
TO THE ARCHITECT.
- VARIATIONS AND MODIFICATIONS ARE NOT
ALLOWED WITHOUT WRITTEN PERMISSION
FROM THE ARCHITECT.
- THIS DRAWING IS THE EXCLUSIVE
PROPERTY OF THE ARCHITECT.
- ANY REPRODUCTION MUST BEAR THEIR
NAME AS ARCHITECT.

NO.	DATE	BY	REVISION
1	2016-09-07	RB	ISSUED FOR DEVELOPMENT PERMIT

DESIGN CONSULTANT

SCALE

gta

GTA ARCHITECTURE LTD.
243-1889 Springfield Road
Kelowna, British Columbia
V1Y 5V6
Fax: 250.979.4366
Telephone: 250.979.1668

PROJECT

GRANITE AT
MCKINLEY

KELOWNA, BC

SHEET TITLE

COVER SHEET

DRAWN RB	SHEET NO.
DESIGN	A0.0
SCALE AS NOTED	
DATE 2016-09-07	FILE A15-03

SCHEDULE

B

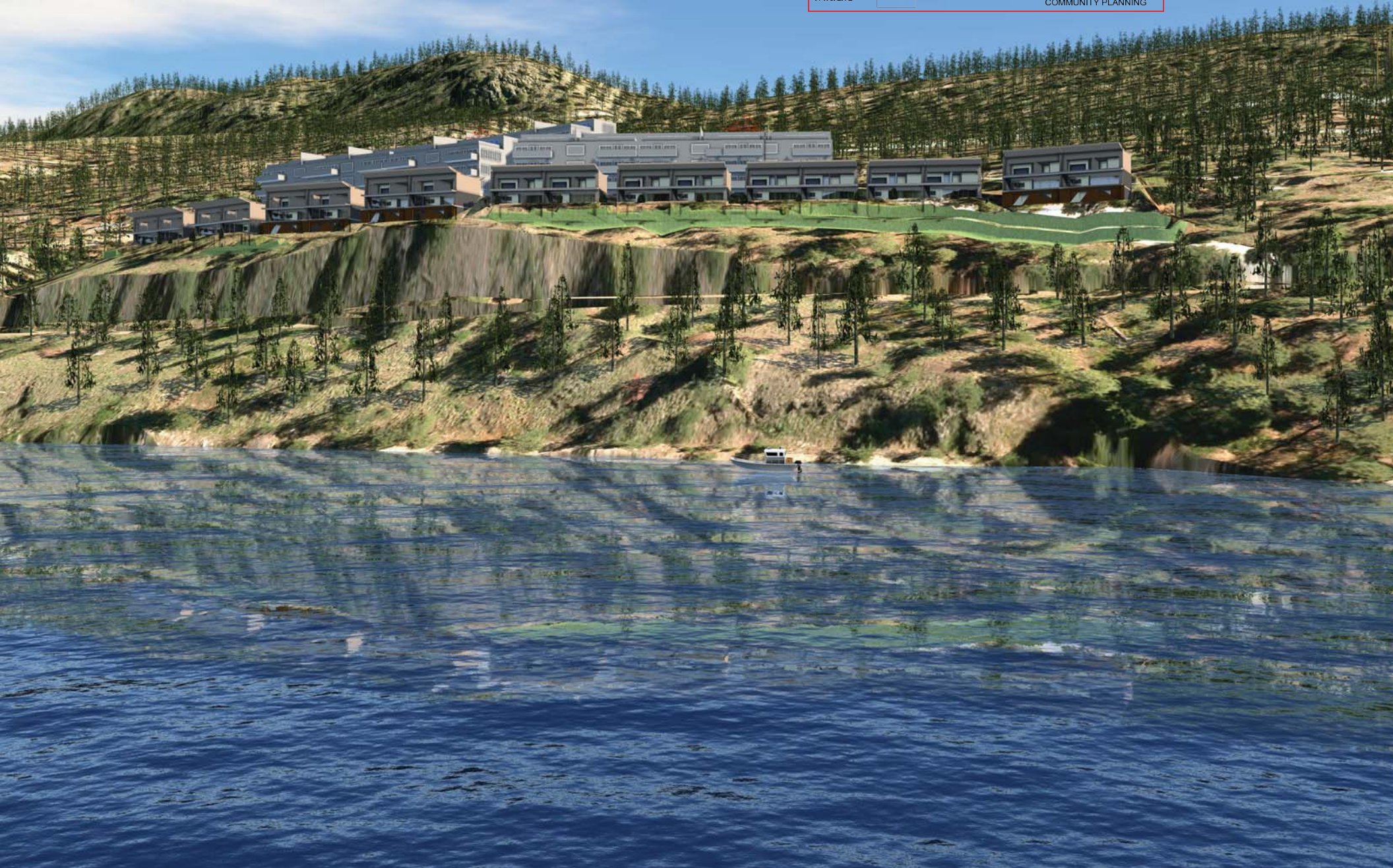
This forms part of application

DP16-0192

Planner
Initials

AC

City of
Kelowna
COMMUNITY PLANNING



SCHEDULE A & B

This forms part of application
DP16-0192

Planner
Initials

AC

City of
Kelowna
COMMUNITY PLANNING



- THIS DRAWING MUST NOT BE SCALED.
- VERIFY ALL DIMENSIONS AND DATES
PRIOR TO COMMENCEMENT OF WORK.
- REPORT ALL ERRORS AND OMISSIONS
TO THE ARCHITECT.

- VARIATIONS AND MODIFICATIONS ARE NOT
ALLOWED WITHOUT WRITTEN PERMISSION
FROM THE ARCHITECT.

- THIS DRAWING IS THE EXCLUSIVE
PROPERTY OF THE ARCHITECT.

- ANY REPRODUCTION MUST BEAR THEIR
NAME AS ARCHITECT.

NO.	DATE	BY	REVISION
1	20160603	RB	ISSUED FOR DEVELOPMENT PERMIT

DESIGN CONSULTANT

SCALE

gta

GTA ARCHITECTURE LTD.
243-1889 Springfield Road
Kelowna, British Columbia
V1Y 5V6
Fax: 250.979.4366
Telephone: 250.979.1668

PROJECT

GRANITE AT
MCKINLEY

KELOWNA, BC

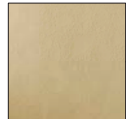
SHEET TITLE

COLOUR
PERSPECTIVES

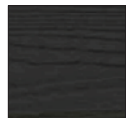
DRAWN RB	SHEET NO.
DESIGN	A3.4
SCALE AS NOTED	
DATE 2016-09-07	FILE A15-03



PINE LOOK SOFFIT



HARDI PANEL - AUTUMN TAN



HARDI PANEL - IRON GREY



HARDI PLANK - COUNTRY LANE RED



ARTISTIC CONCRETE FINISH



CAMBRIA - LEDGESTONE



BLACK FRAMED WINDOW
WITH BLUE TINT GLAZING

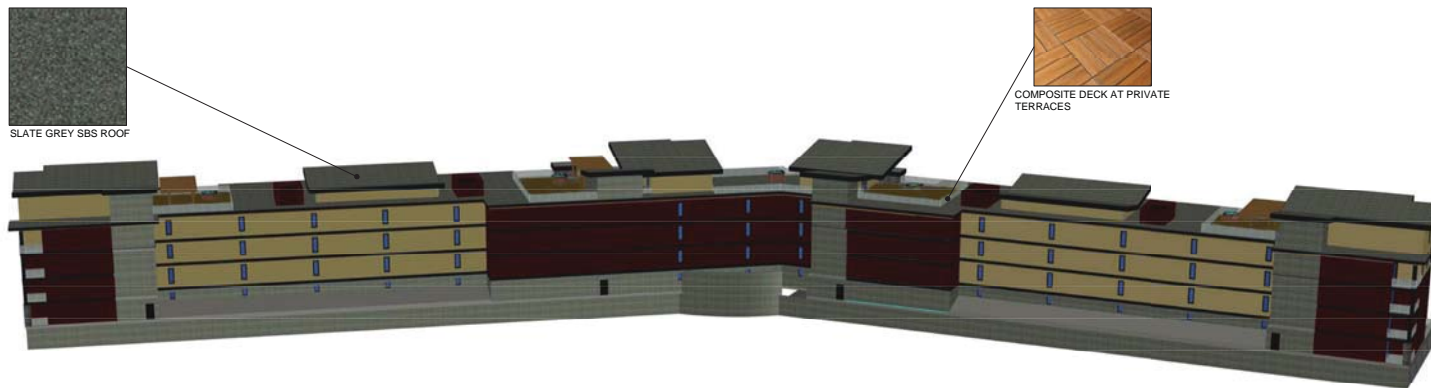


CAMBRIA - LEDGESTONE

UNTINTED GLASS RAILING
WITH SILVER ANODIZED POSTS



ARTISTIC CONCRETE FINISH



SCHEDULE A & B

This forms part of application
DP16-0192

Planner
Initials

AC



- THIS DRAWING MUST NOT BE SCALED.
- VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK. REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.
- VARIATIONS AND MODIFICATIONS ARE NOT ALLOWED WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT.
- THIS DRAWING IS THE EXCLUSIVE PROPERTY OF THE ARCHITECT.
- ANY REPRODUCTION MUST BEAR THEIR NAME AS ARCHITECT.

NO.	DATE	BY	REVISION
1	20160623	RB	ISSUED FOR DEVELOPMENT PERMIT

DESIGN CONSULTANT

SCALE

gta

GTA ARCHITECTURE LTD.
243-1889 Springfield Road
Kelowna, British Columbia
V1Y 5V6
Fax: 250.979.4366
Telephone: 250.979.1668

PROJECT

GRANITE AT
MCKINLEY

KELOWNA, BC

SHEET TITLE

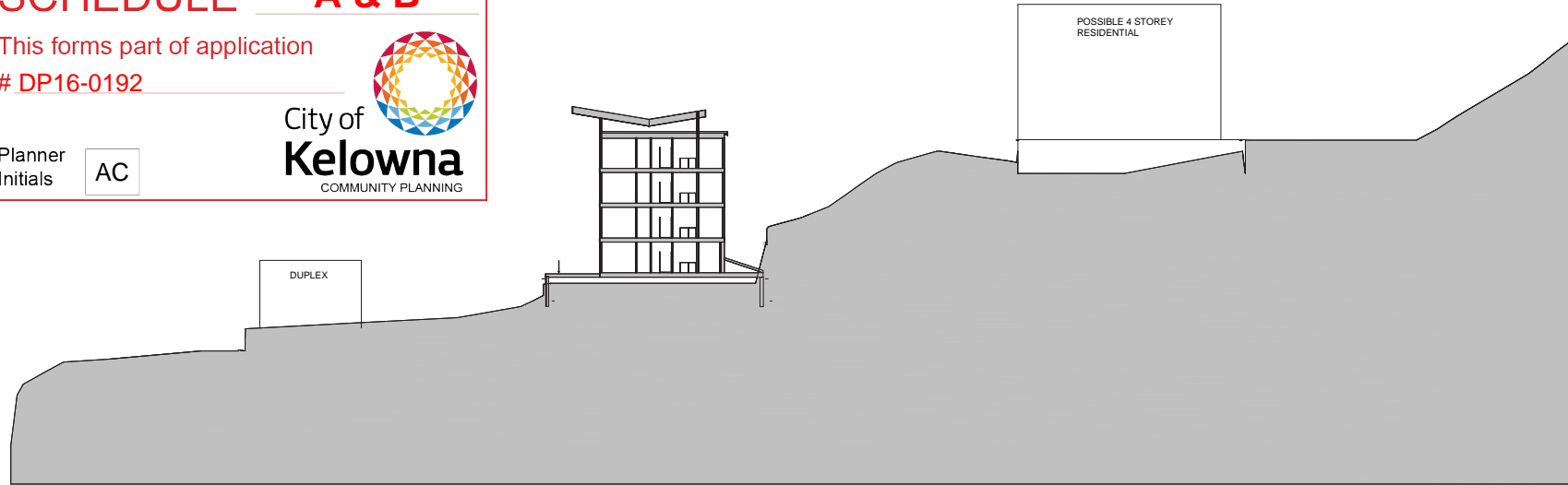
COLOUR
PERSPECTIVES

DRAWN RB	SHEET NO. A3.5
DESIGN	
SCALE AS NOTED	
DATE 2016-09-07	FILE A15-03

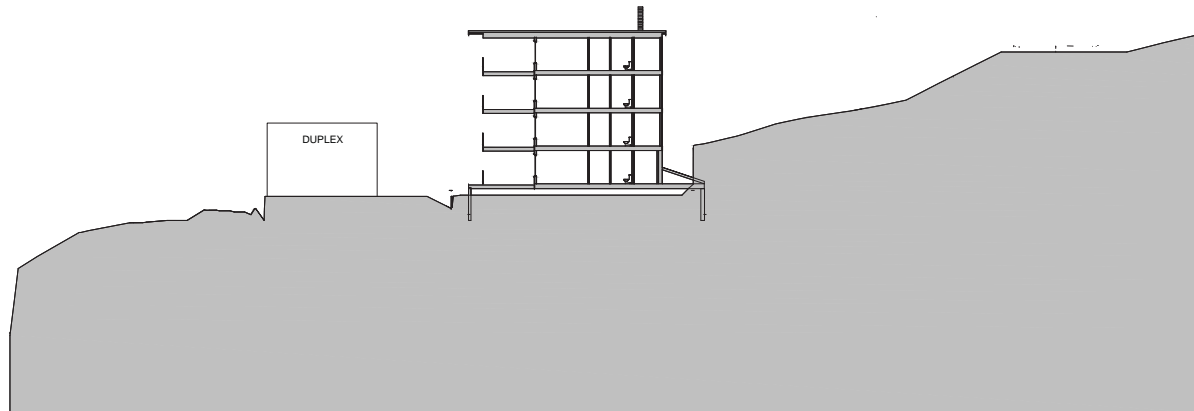
SCHEDULE A & B

This forms part of application
DP16-0192

Planner
Initials AC



1 SITE SECTION
A4.0 1/16"=1'-0"



2 SITE SECTION
A4.0 1/16"=1'-0"

-THIS DRAWING MUST NOT BE SCALED.
-VERIFY ALL DIMENSIONS AND DATUMS
PRIOR TO COMMENCEMENT OF WORK.
-REPORT ALL ERRORS AND OMISSIONS
TO THE ARCHITECT.

-VARIATIONS AND MODIFICATIONS ARE NOT
ALLOWED WITHOUT WRITTEN PERMISSION
FROM THE ARCHITECT.

-THIS DRAWING IS THE EXCLUSIVE
PROPERTY OF THE ARCHITECT.

-ANY REPRODUCTION MUST BEAR THEIR
NAME AS ARCHITECT.

NO.	DATE	BY	REVISION
-----	------	----	----------

DESIGN CONSULTANT

DESIGN

gta

GTA ARCHITECTURE LTD.
243-1889 Springfield Road
Kelowna, British Columbia
V1Y 5V6
Fax: 250.979.4366
Telephone: 250.979.1668

PROJECT

GRANITE AT
MCKINLEY

KELOWNA, BC

SHEET TITLE

SITE SECTION

DRAWN BY	SHEET NO.
DESIGN	A4.0
SCALE AS NOTED	
DATE 2016-09-07	FILE: A15-03

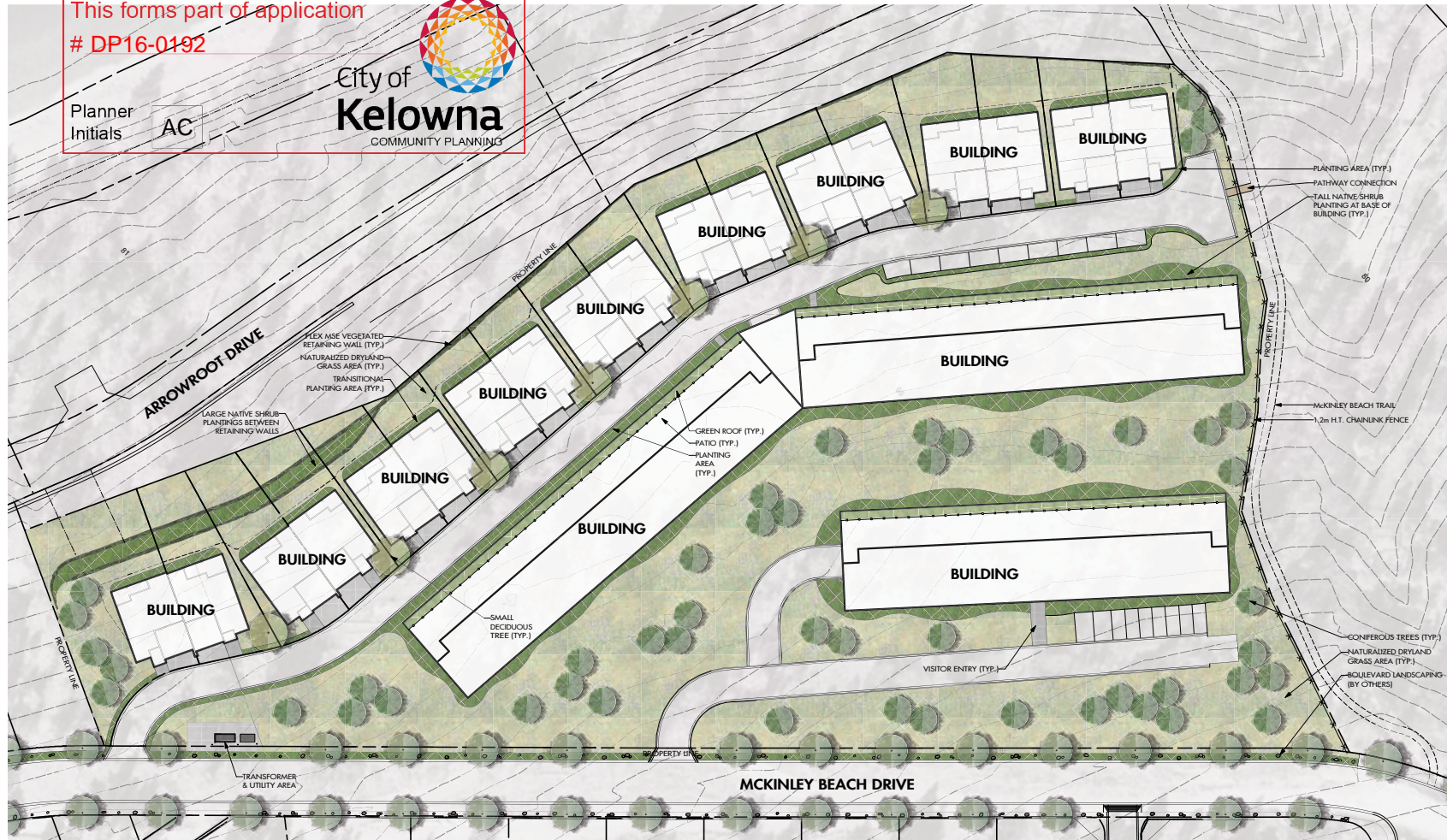
SCHEDULE

C

This forms part of application
DP16-0192

Planner
Initials AC

City of
Kelowna
COMMUNITY PLANNING



OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

206 - 1889 Spall Road
Kelowna, BC V1Y 4R2
T (250) 868-9270
www.outlanddesign.ca



PROJECT TITLE

**GRANITE AT MCKINLEY
BEACH**

Kelowna, BC

DRAWING TITLE

**CONCEPTUAL
LANDSCAPE PLAN**

ISSUED FOR REVISION

NO.	REVISION	DATE
1	16.05.06	Review
2		
3		
4		
5		

PROJECT NO.	15018
DESIGN BY	FB
DRAWN BY	KC
CHECKED BY	FB
DATE	MAY 6, 2018
SCALE	1:400

SEAL



DRAWING NUMBER

L1/1

ISSUED FOR REVIEW ONLY
Copyright Reserved: This drawing is the property of Outland Design
Landscape Architecture Limited and shall not be reproduced,
modified, or lent without permission.

LANDSCAPE NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED B.C.L.N.A. STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED WITH A MINIMUM 75mm WOOD MULCH. PLACEMENT.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
5. FLEX MSE VEGETATED RETAINING WALLS TO BE POCKET PLANTED WITH NATIVE SHRUBS (APPROXIMATELY 1 SHRUB EVERY 3 SQ. M).

HYDROSEEDING DRYLAND SEED AREAS:		
DRYLAND SEED MIXTURE	BY WEIGHT	BY SPECIES
BLUE BUNCH WHEAT GRASS	41%	23%
ROUGH FESCUE	25%	20%
DAHO FESCUE	15%	19%
PERENNIAL RYEGRASS	10%	7%
SANDBERG BLUEGRASS	5%	13%
JUNE GRASS	4%	18%
WILDFLOWER SEED MIXTURE		
SILKY LUPINE	BY WEIGHT	
BALSAM ROOT	30%	
BROWN EYED SUSAN	35%	
COMMON YARROW	5%	

HYDROSEEDING APPLICATION RATE (DRYLAND SEED AREA)		
NATIVE SEED	DRYLAND SEED MIXTURE	125KG/HECTARE
	WILDFLOWER SEED MIXTURE	1KG/HECTARE
FERTILIZER	18-18-18-2, 50% SULPHUR COATED UREA	300KG/HECTARE
MULCH	CANFOR ECOPHIRE PLUS TAC	2,800KG/HECTARE
TACKIFIER	GUAR	3% OF MIX
THE PRECEDING HYDROSEEDING MIXTURE IS TO BE APPLIED TO THE DRYLAND AND FLEX MESE VEGETATED RETAINING WALLS AS SHOWN ON THE DRAWING.		
CERTIFIED #1 GRADE BY AGRICULTURE CANADA. REFER MANUFACTURER'S S FOR PRODUCT DELIVERY, STORAGE & PROTECTION.		

THE PRECEDING HYDROSEEDING MIXTURE IS TO BE APPLIED TO THE DRYLAND SEED AREA AND FLEX MSE VEGETATED RETAINING WALLS AS SHOWN ON THE DRAWING. SEED MIX TO BE CERTIFIED #1 GRADE BY AGRICULTURE CANADA. REFER MANUFACTURER'S SPECIFICATIONS FOR PRODUCT DELIVERY, STORAGE & PROTECTION.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE / SPACING & REMARKS
TREES			
AMELANCHER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SASKATOON	7	4cm CAL. / MULTI-STEM
PRINUS PENDERGOSA	PONDEROSA PINE	25	2.0m HT.
PSUEDOTSUGA MENZIESII	INTERIOR DOUGLAS FIR	25	2.0m HT.
SHRUBS, PERENNIALS & GRASSES			
ACHILLEA MOONSHINE	MOONSHINE YARROW	278	#01 CONT. / 0.6m O.C. SPACING
AMELANCHER ALNIFOLIA	SASKATOON	80	#01 CONT. / 2.0m O.C. SPACING
CORNUS SERICEA	RED OSIER DOGWOOD	57	#01 CONT. / 2.0m O.C. SPACING
CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE DOGWOOD	260	#01 CONT. / 1.0m O.C. SPACING
ECHINACEA PURPUREA 'MAGNUS'	MAGNUS CONEFLOWER	278	#01 CONT. / 0.6m O.C. SPACING
KOeleria PYRAMIDATA	JUNE GRASS	1,111	PLUGS / 0.3m O.C. SPACING
MAHONIA AQUIFOLIUM	OREGON GRAPE	195	#01 CONT. / 1.2m O.C. SPACING
PHILADELPHUS 'SNOWBELLE'	SNOWBELLE MOCKORANGE	260	#01 CONT. / 1.0m O.C. SPACING
RHUS AROMATICA 'GOLD LOW'	GOLD LOW SUMAC	114	#01 CONT. / 1.5m O.C. SPACING
SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	BLUE LITTLE BLUESTEM	179	#01 CONT. / 0.75m O.C. SPACING
SYMPHORICARPOS ALBUS	SNOWBERRY	275	#01 CONT. / 1.5m O.C. SPACING
ROSA WOODSTOCK	WOODS ROSE	129	#01 CONT. / 1.5m O.C. SPACING

