

**CITY OF KELOWNA**  
**MEMORANDUM**

**ATTACHMENT A**

This forms part of application

# OCP17-0007 & Z17-0021

Planner  
Initials

AC



**Date:** April 10, 2017  
**File No.:** Z17-0021  
**To:** Urban Planning Management (AC)  
**From:** Development Engineering Manager (SM)  
**Subject:** 130 McCurdy Road

A1 to C4

The Development Engineering Department has the following comments and requirements associated with this rezoning application for the property at 130 McCurdy Road to accommodate development of a 52-unit supportive housing project. The road and utility upgrading requirements outlined in this report will be requirements of this development.

The Development Engineering Technologist for this project is Jason Ough

**1. Domestic Water and Fire Protection**

- a) This development is within the service area of the Black Mountain Irrigation District (BMID). The developer is required to make satisfactory arrangements with the BMID for these items. All charges for service connection and upgrading costs, as well as any costs to decommission existing services are to be paid directly to BMID.
- b) The developer must obtain the necessary permits and have all existing utility services disconnected prior to removing or demolishing the existing structures.

**2. Sanitary Sewer**

- a) The subject property is currently within the sanitary Sewer Specified Area # 20 and is serviced by the municipal sanitary sewer collection system. Our records indicate that in 2005 a Spec Area fee was cash commuted for this property at a value equal to 2.34 Equivalent Dwelling Units (EDU). The developer will be responsible to cash commute the specified area charges for this development. The charge is currently set at \$ 2,458.33 per EDU, valid until March 31, 2017.  
The total charge is:  $(52 \times 0.5) - 2.34 = 23.66 \text{ EDU} \times \$2,458.33 = \$58,164.10$
- b) Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service. The applicant's consulting mechanical engineer will determine the requirements of the proposed development and establish the service needs. Only one service per lot will be permitted for this development. If required, the applicant will arrange for the removal and disconnection of the existing service and the installation of one new larger service at the applicants cost. Contact Jason Ough (250 469 4519) for service work estimate.



### 3. Storm Drainage

- a) The developer must engage a consulting civil engineer to provide a storm water management plan for these sites which meets the requirements of the City Subdivision Development and Servicing Bylaw 7900. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.

### 4. Road Improvements

- a) Required frontage improvements along McCurdy include:
- i. Realign the existing curb to accommodate a 1.5m bike lane.
  - ii. Construct a 3m asphalt walkway 0.3m from the property line and grass boulevard of varying width as per attached concept plan, including street trees and LED streetlights.
- b) Required frontage improvements along Rutland Road N include:
- i. Construct 1.5m of sidewalk 0.3m from the property line, grass boulevard of varying width as per attached concept plan, including street trees and LED streetlights.
  - ii. Roadway to include a 3.0m right turn lane, and 1.8m bicycle lane including transition.
- c) Let-downs and crosswalks to be realigned.
- d) Replacement and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. Estimate provided as cash in lieu levy for frontage improvements.
- e) Provide a Traffic Signs/Pavement Marking design drawing.
- f) A landscape & irrigation design drawing for approval is required.
- g) The applicants civil engineering consultant will provide an estimated cost of required road improvement works for bonding purpose.

### 5. Subdivision and Dedication

- a) Approximately 2.7m of road dedication is required along the entire frontage of McCurdy Road to match the property line at 1001 Aldon Rd.
- b) Approximately 5m of road dedication is required along the entire frontage of Rutland Road N to match the property line at 1024 Rutland Rd N.
- c) 6m corner rounding is required at the intersection of McCurdy and Rutland Roads.
- d) Dedicate 5m width along the full frontage of Findlay Road to match the property line north of 1297 Findlay Road.
- e) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or

closure must be incorporated in the construction drawings submitted to the City's Development Manager.

## 6. Development Permit and Site Related Issues

- a) Direct the roof drains into on-site rock pits or splash pads.
- b) An MSU standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles movements should also be illustrated on the site plan.

## 7. Electric Power and Telecommunication Services

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

## 8. Geotechnical Report

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.

  
 Steve Muenz, P. Eng.  
 Development Engineering Manager

|                                    |    |   |
|------------------------------------|----|---|
| <b>ATTACHMENT</b>                  |    | <b>A</b>  |
| This forms part of application     |    |   |
| # <u>OCP17-0007 &amp; Z17-0021</u> |    |   |
| Planner<br>Initials                | AC | <br>City of<br><b>Kelowna</b><br><small>COMMUNITY PLANNING</small> |

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**RICHARD HUNTER**  
ARCHITECT INC.

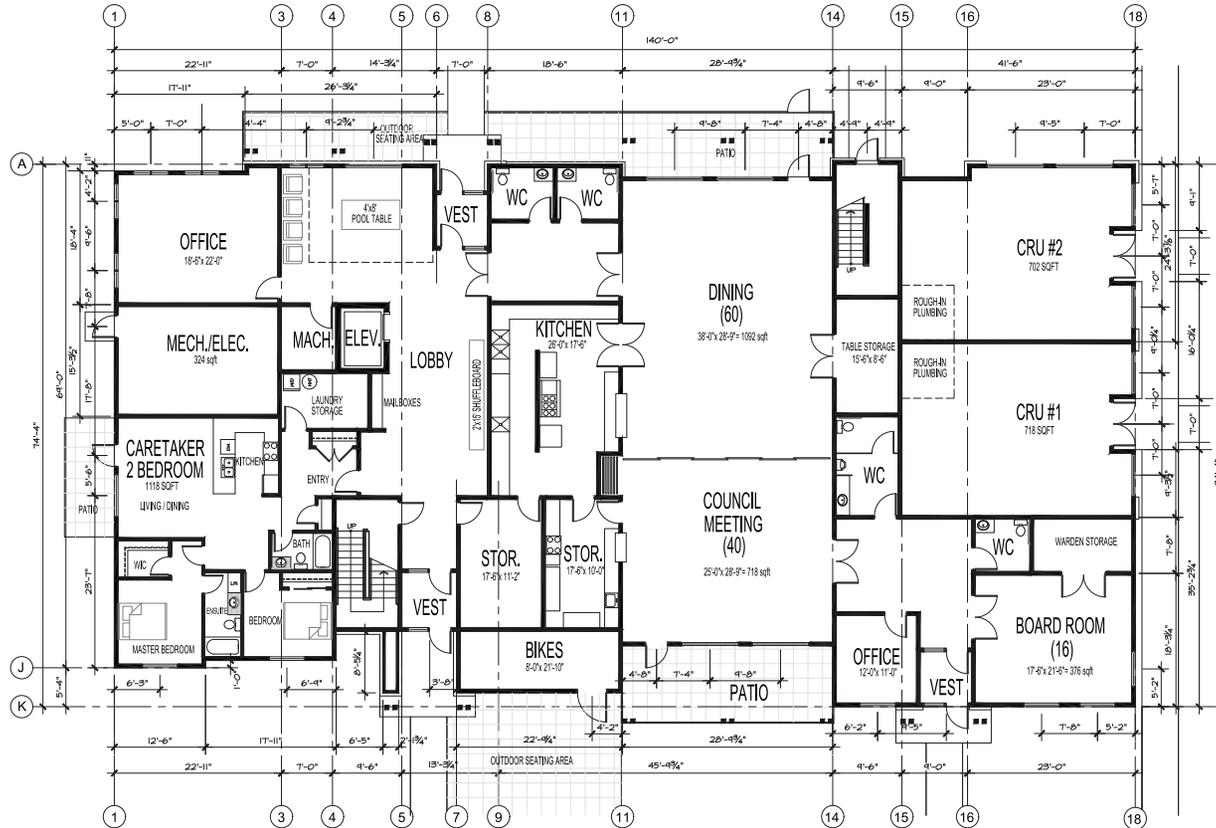
500 - 153 SEYMOUR ST  
KAMLOOPS, BC V2C 2C7  
PHONE 250.372.8845  
richard@hunterarchitect.com



2017

FREEDOM'S DOOR /  
KNIGHTS OF COLUMBUS #6233  
FATHER DELESTRE  
(2009) SOCIETY

HOUSING PROJECT  
130 McCURDY ROAD  
KELOWNA, BC



**MAIN FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

RESIDENTIAL - 6027 SQFT  
KNIGHTS OF COLUMBUS - 2180 SQFT  
CRU - 2 UNITS - 1420 SQFT  
TOTAL FLOOR AREA = 9627 SQFT

|     |               |     |          |
|-----|---------------|-----|----------|
| △   | UPDATED DP    | HAN | 25/05/17 |
| △   | ISSUED FOR DP | HAN | 17/02/17 |
| No. | Revision      | By  | Date     |

Sheet Title:  
**MAIN FLOOR PLAN**

Scale: 1/8"=1'-0"

|         |              |
|---------|--------------|
| Date    | MAY 10, 2016 |
| Drawn   | HAM          |
| Checked | RH           |
| Project | 10971-17     |

Drawing No.  
**A-2**

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