



CITY OF KELOWNA

MEMORANDUM

Date: May 25, 2017
File No.: Z17-0043
To: Community Planning (LK)
From: Development Engineering Manager(SM)
Subject: 3511 Landie Road Lot A Plan EPP16841 RU1 to RU1c Carriage House

Development Engineering has the following comments and requirements associated with this application. The utility upgrading requirements outlined in this report will be a requirement of this development.

1. Domestic Water and Fire Protection

Our records indicate that this property is currently serviced with a 19mm-diameter water service which is adequate for this application.

2. Sanitary Sewer

Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service which is adequate for this application.

3. Development Permit and Site Related Issues

Direct the roof drains onto splash pads.

Driveway access permissible is one (1) per property as per bylaw.

4. Electric Power and Telecommunication Services

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.

A handwritten signature in black ink, appearing to read 'Steve Muenz', written over a horizontal line.

Steve Muenz, P. Eng.
Development Engineering Manager

JA

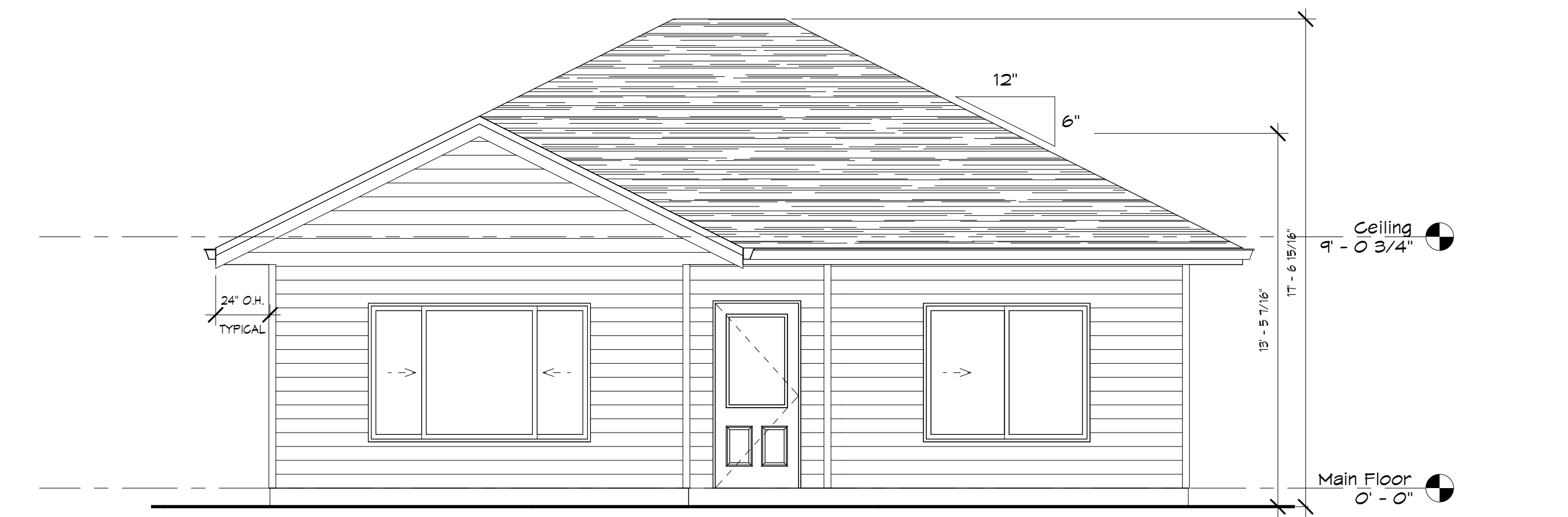
Level	Name	Area	Ceiling Height
Main Floor	Finished	967 SF	9' - 0"

ATTACHMENT **B & I**

This forms part of application
Z17-0043

City of Kelowna
COMMUNITY PLANNING

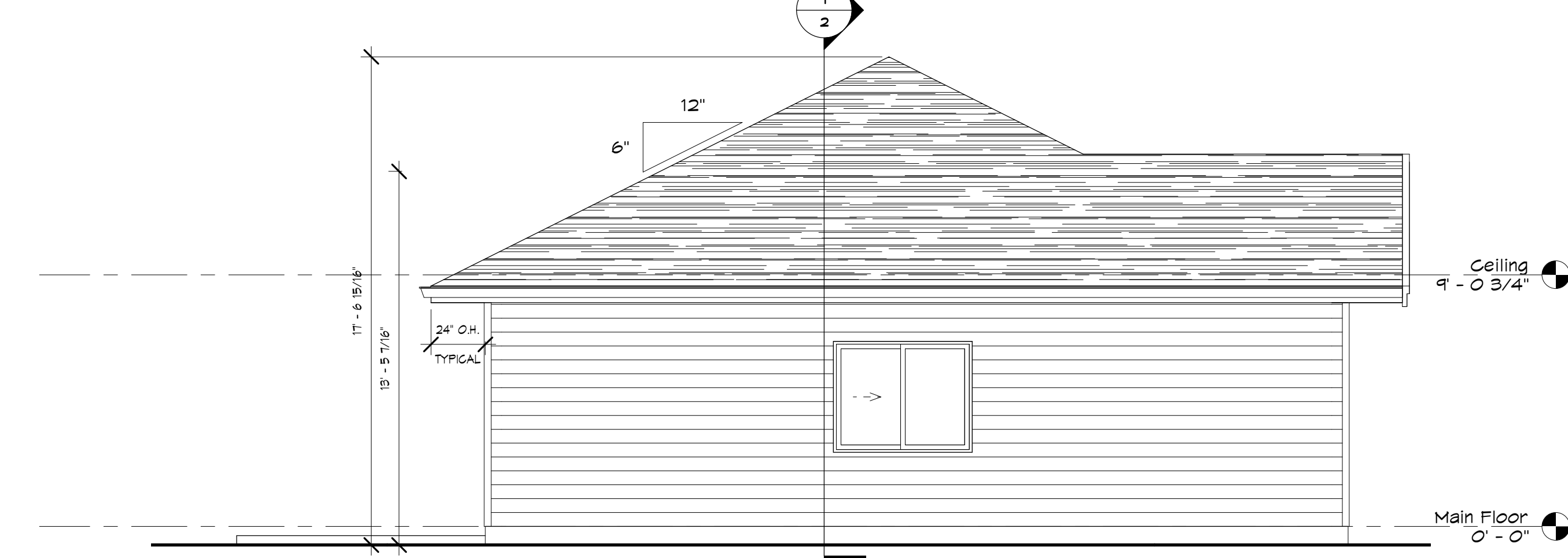
Planner Initials LK



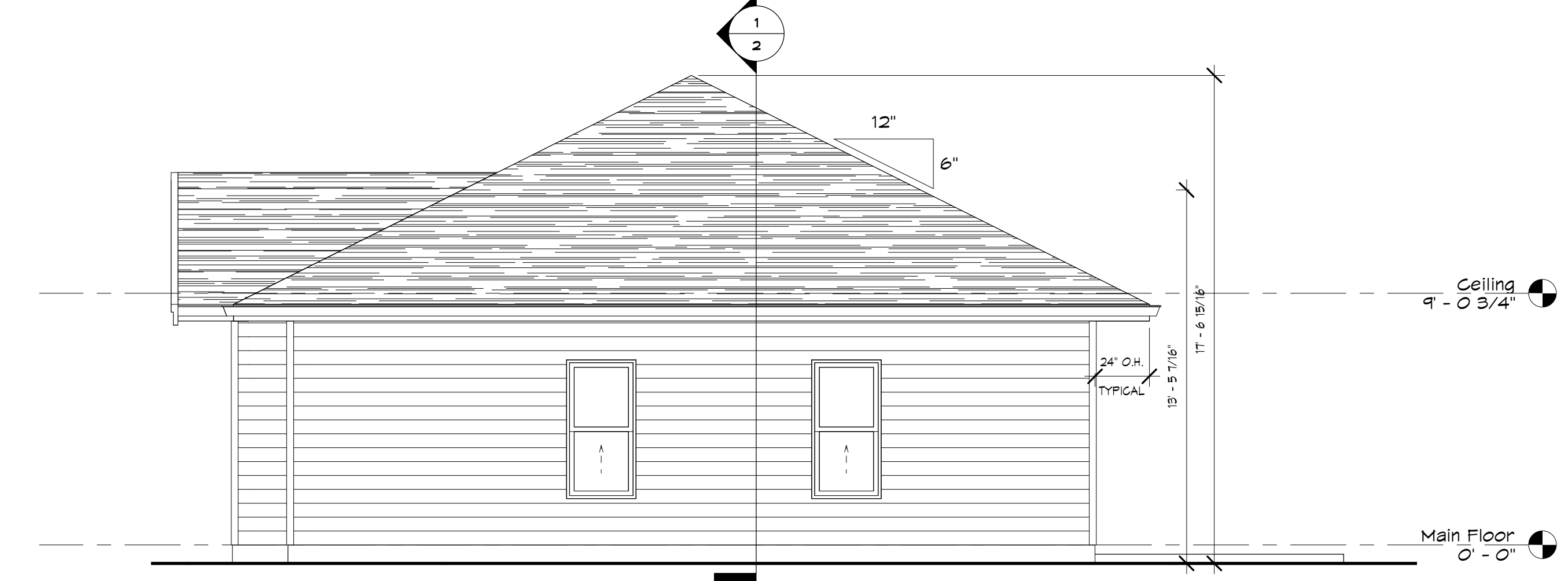
2 Front
1/4" = 1'-0"



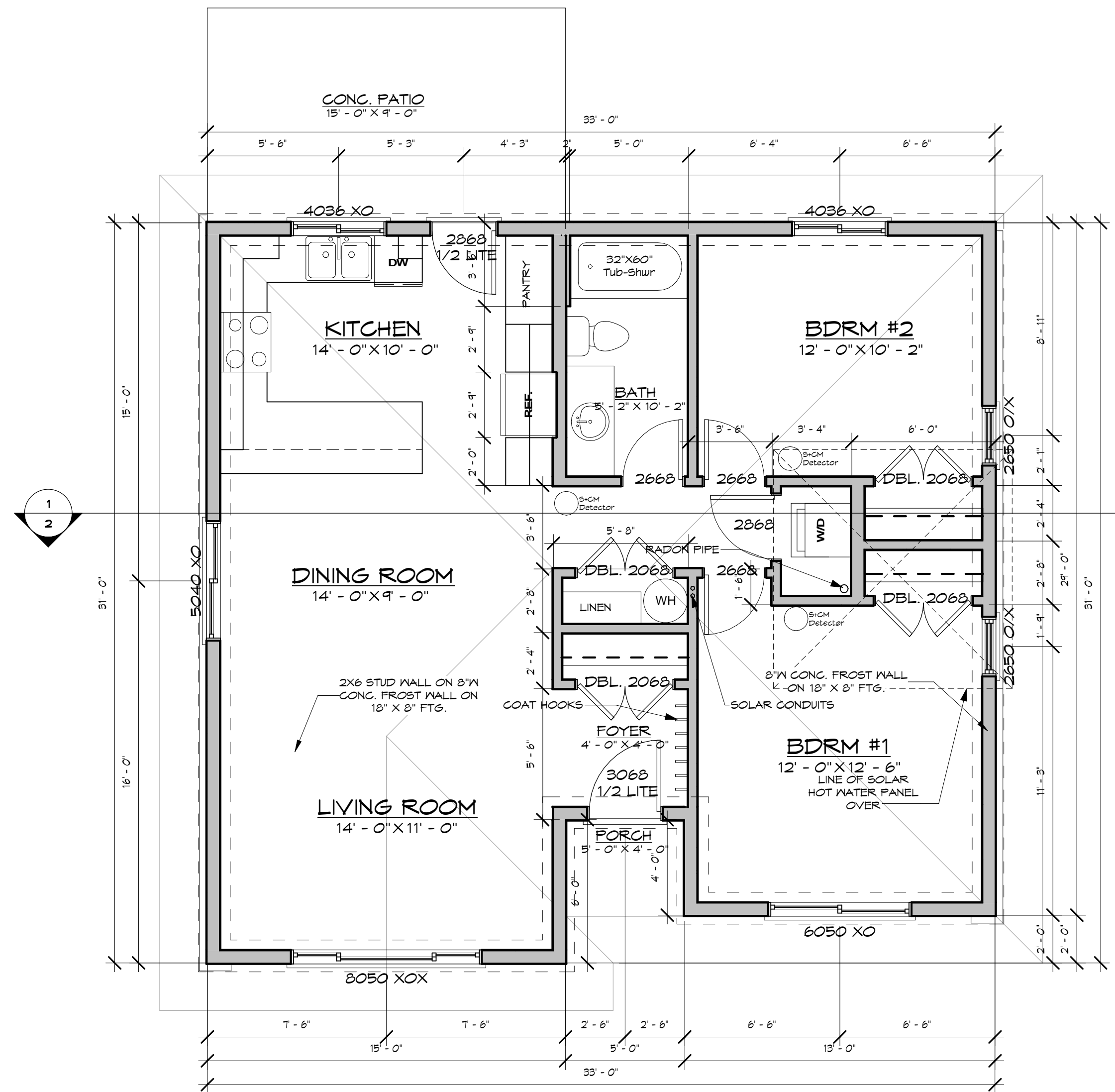
4 Rear
1/4" = 1'-0"



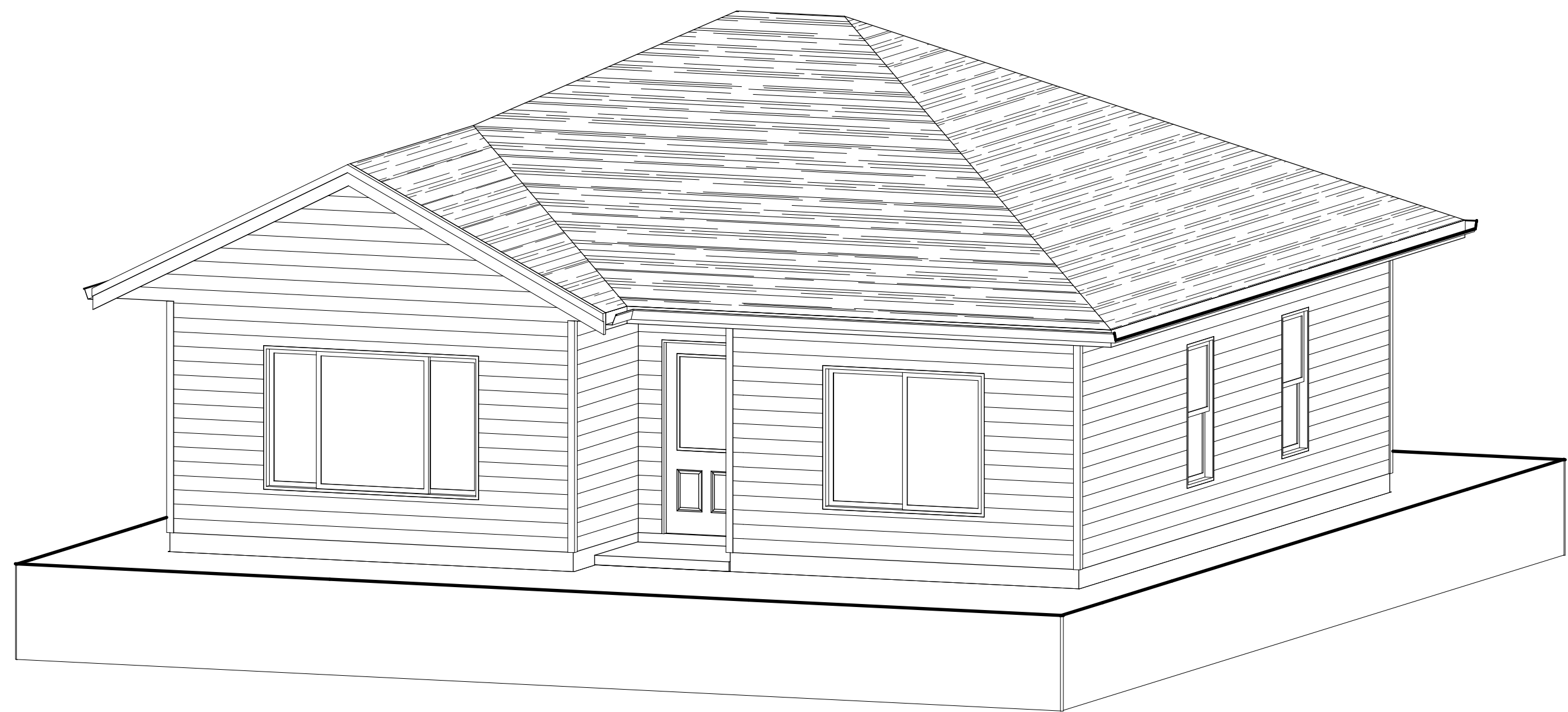
3 Left
1/4" = 1'-0"



5 Right
1/4" = 1'-0"

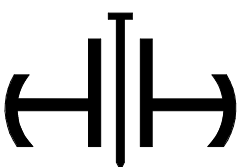


6 Main Floor
1/4" = 1'-0"



1 Front 3D

ISSUED FOR
CONSTRUCTION



**HARMONY
HOMES**

PHONE: (250)765-5191
#201 - 833 FINNS ROAD, KELOWNA, B.C.

PROPOSED RESIDENCE OF:
MR. & MRS. DOMBOWSKY
KELOWNA, B.C.

DRAWING SCALE: 1/4" = 1'-0"

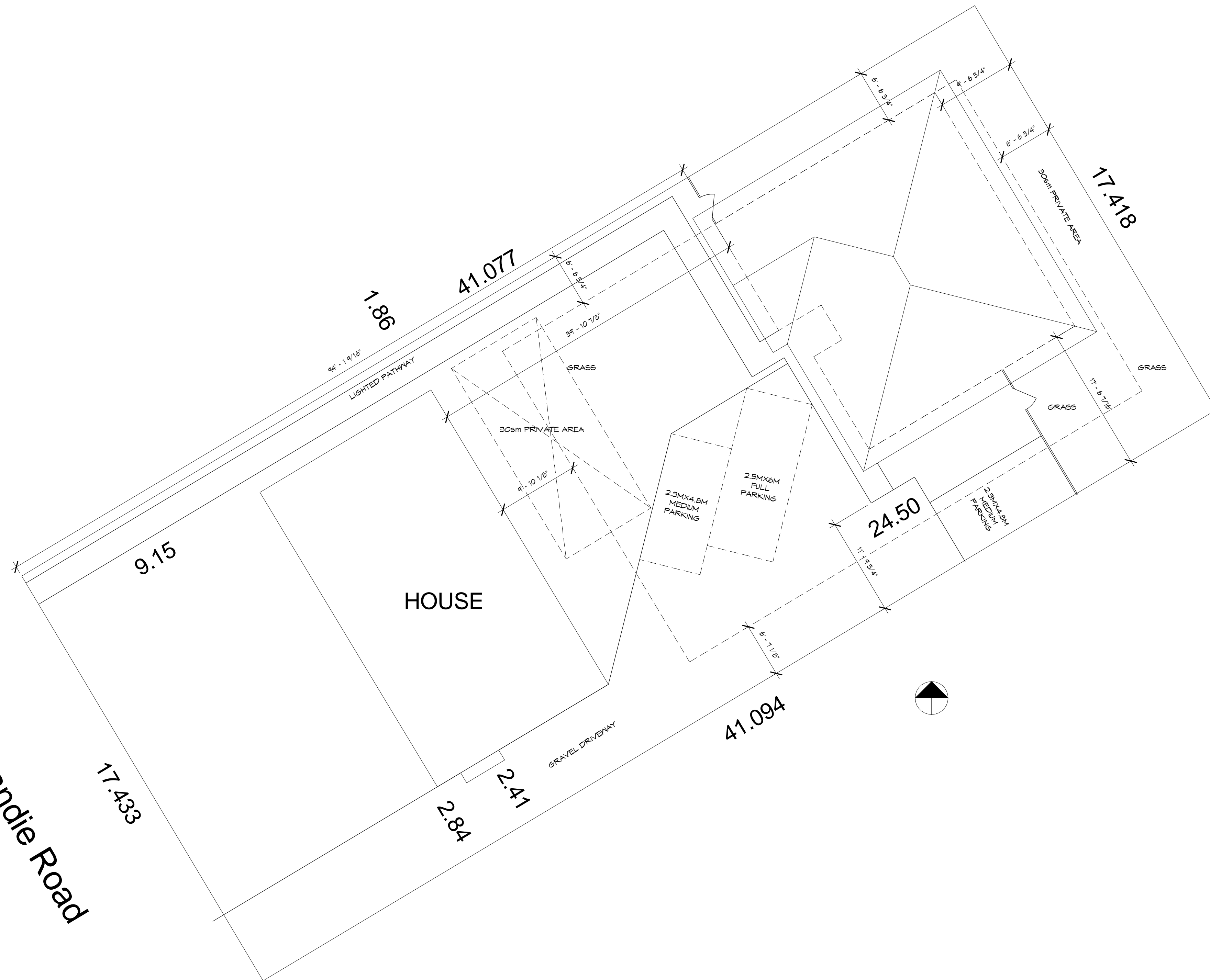
DATE: MAY 4, 2017

REV. DATE:

DRN. BY: J.A.S.

1

AWARD WINNING BUILDER



② Site
1/8" = 1'-0"

ROOF CONSTRUCTION

- ASPHALT SHINGLES
- 30# ROOFING FELT
- 7/16" O.S.B. ROOF SHEATHING C/W "H" CLIPS
- ENGINEER DESIGNED ROOF TRUSSES
- R-40 INSULATION
- 6 MIL POLY. VAPOUR BARRIER
- 1/2" GYPSUM BOARD

INTERIOR WALL CONSTRUCTION

- 1/2" GYPSUM BOARD TO BOTH SIDES
- 2X4 SPF STUDS @16" O.C.

EXTERIOR WALL CONSTRUCTION

- VINYL SIDING
- PERMAX PAPER
- 7/16" O.S.B. SHEATHING
- 2X6 SPF STUDS @24" O.C.
- R-22 INSULATION
- 6 MIL POLY. VAPOUR BARRIER
- 1/2" GYPSUM BOARD

INTERIOR FLOOR CONSTRUCTION

- FINISHED FLOORING
- 1/4" UNDERLAY (STURDI-WOOD) @ LINO AREAS
- 3/8" PLYWOOD UNDER TILED AREA
- 3/4" T&G FIR PLYWOOD SUBFLOOR
- ENGINEER DESIGNED FLOOR SYSTEM @16" O.C. MAX
- 1/2" GYPSUM BOARD

SLAB ON GRADE SLAB CONSTRUCTION

- 4" CONC. SLAB @20 MPA
- 6 MIL POLY. VAPOUR BARRIER
- 5" COMPACTED GRAN. FILL

GENERAL NOTES

- * ALL WORK TO BE IN COMPLIANCE WITH THE CURRENT RESIDENTIAL STANDARDS OF THE BRITISH COLUMBIA BUILDING CODE 2012, CURRENT ELECTRICAL AND PLUMBING CODES AND ALL OTHER APPLICABLE CODES.
- * ALL WORK SHALL BE PERFORMED IN ALL RESPECTS TO GOOD BUILDING PRACTICE.
- * ALL CONNECTIONS TO EXISTING STRUCTURE SHALL BE MADE IN ACCORDANCE WITH:
- * ALL FLOOR JOISTS AND BEAMS TO BE D/F R41RCH#2 OR BETTER UNLESS NOTED OTHERWISE.
- * ALL CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH 45 LB. FELT, 6 MIL. POLY. OR OTHER APPROVED METHOD.
- * PLATES TO BE ANCHORED TO CONCRETE WITH 1/2" DIA. ANCHOR BOLTS AT MAXIMUM 60" O.C. AND AT ALL CORNERS.
- * ALL MEASUREMENTS, GRADES AND LEVELS TO BE VERIFIED ON SITE BEFORE COMMENCING WORK.
- * PERIMETER DRAINAGE SHALL BE INSTALLED WHERE REQUIRED BY LOCAL AUTHORITIES, HAVING JURISDICTION AND TO THEIR APPROVAL.
- * ALL WORK TO HAVE A MINIMUM TENSILE STRENGTH OF 20 MPA AT 28 DAYS.

- FLOOR JOIST SPANS OF MORE THAN 7'0" SHALL BE BRIDGED AT MID-SPAN OR AT 7'0" O.C. MAXIMUM.
BRIDGING SHALL BE 2"X2" DIAGONAL TYPE CROSS BRIDGING INSTALLED AS PER THE C.B.C. 2006.
• ALL ELECTRICAL, PLUMBING, AND MECHANICAL PENETRATIONS THROUGH ROOF FLASHINGS AND ROOF
FLASHING SHALL BE INSTALLED AT ALL CHANGES IN HORIZONTAL EXTERIOR FLASHINGS AND OVER ALL
FLASHINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER FLASHING AND FLASHINGS IN
HARMONY. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS WHICH MAY AFFECT
THE HARMONY. HARMONY DOES NOT GUARANTEE THE ACCURACY OF THE INFORMATION PROVIDED.
HARMONY HOWE MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE CONSTRUCTION
DRAWINGS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS WHICH MAY AFFECT
THE HARMONY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY
DIMENSIONS AND DETAILS BEFORE COMMENCING WITH THEIR PORTION OF THE CONSTRUCTION. SHOULD
ANY CHANGES BE REQUIRED TO THESE PLANS, PLEASE ADVISE OUR OFFICES SO WE CAN MAKE THE
NECESSARY CORRECTIONS.

INTERIOR SWING DOORS

ROUGH OPENING IS ALWAYS 82 1/2" HIGH X 2" GREATER THAN THE NOMINAL DOOR SIZE
EX. 2/8 X 6/8 = 34" X 82 1/2"

INTERIOR BIFOLDS

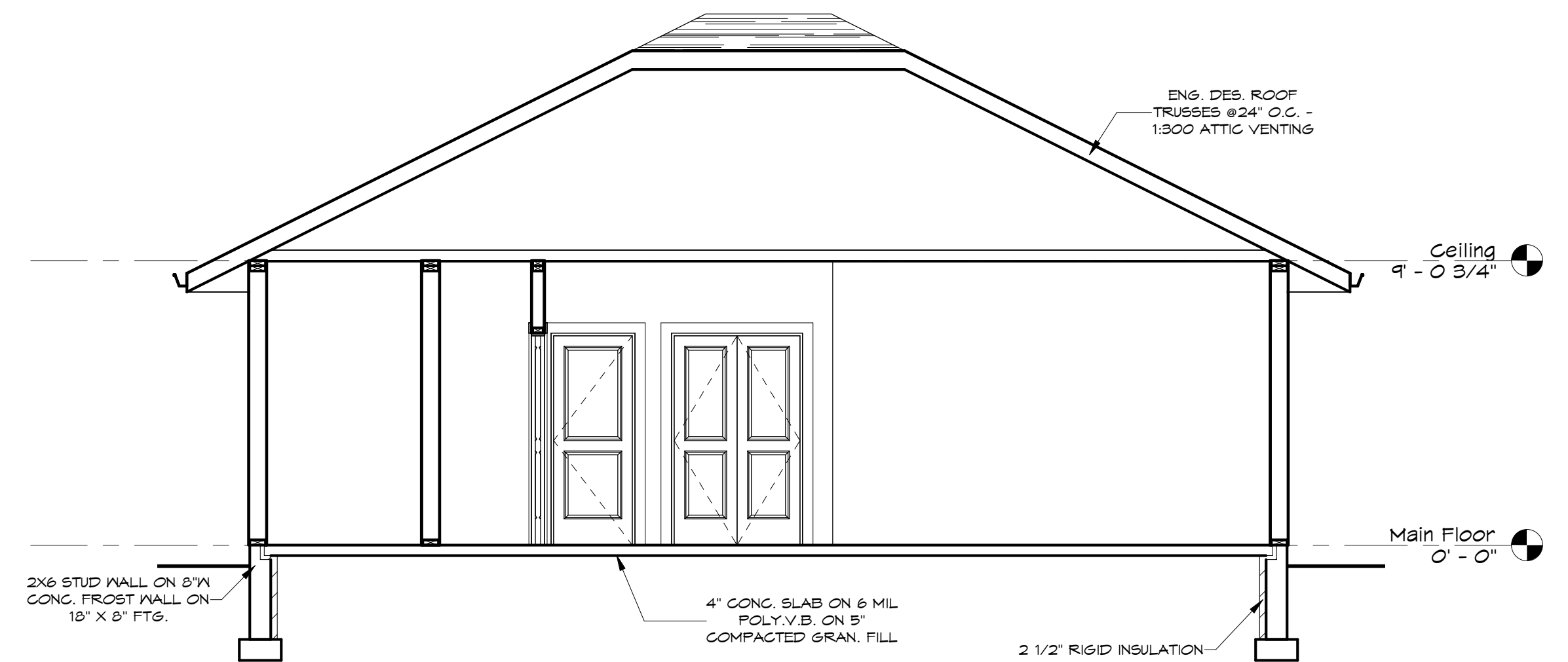
ROUGH OPENINGS FOR 2 PANEL DOORS ARE 1 1/4" GREATER THAN THE NOMINAL DOOR WIDTH & 1 1/2" GREATER THAN DOOR HEIGHT.
EX. 3/0 X 6/8 = 37 1/4" X 81 1/2"

ROUGH OPENINGS FOR 4 PANEL DOORS ARE 1" GREATER THAN THE NOMINAL DOOR WIDTH & 1 1/2" GREATER THAN DOOR HEIGHT.
EX. 5/0 X 6/8 = 61" X 81 1/2"

TYPICAL WALL ASSEMBLY		
HRV: YES	MATERIAL	RSI
OUTSIDE AIR FILM		0
CLADDING	VINYL SIDING	0
STRAPPING		0
SHEATHING MEMBRANE	BUILDING PAPER	0
SHEATHING	1/16" OSB	0
STUD WALL	2X6 @24" O.C.	0
INSULATION	R22	0
VAPOUR BARRIER	6 MIL POLY	0
INTERIOR SHEATHING	1/2" DRYWALL	0
INSIDE AIR FILM		0
		0
		0
		0
TOTAL EFFECTIVE RSI VALUE:		0
REQUIRED RSI VALUE:		0

TYPICAL CEILING ASSEMBLY		
HRV: YES	MATERIAL	RSI
OUTSIDE AIR FILM		0.03
ROOFING	ASPHALY SHINGLES	0.08
STRAPPING	o	
SHEATHING MEMBRANE	15# FELT	0.01
SHEATHING	7/16" OSB	0.11
INSULATION ABOVE TRUSS	R40	7.04
TRUSS SPACING	24" O.C.	
BOTTOM CHORD HEIGHT	2X4	1.96
VAPOUR BARRIER	6 MIL POLY	o
INTERIOR SHEATHING	1/2" DRYWALL	0.08
INSIDE AIR FILM		o
		o
TOTAL EFFECTIVE RSI VALUE:		7.19
REQUIRED RSI VALUE:		6.91

TYPICAL FOUNDATION ASSEMBLY		
HRV: YES	MATERIAL	RSI
OUTSIDE AIR FILM		0.05
OUTSIDE INSULATION		0
DAMP PROOFING	NO	0
FOUNDATION WALL	200mm CONCRETE	0.08
AIR SPACE		0
STRAPPING WALL		0
INSULATION	R12 RIGID	2.11
VAPOUR BARRIER		0
INTERIOR SHEATHING		0
INSIDE AIR FILM		0.12
		0
		0
		0
TOTAL EFFECTIVE RSI VALUE:		2.34
REQUIRED RSI VALUE:		1.96



① **Section 1**
1/4" = 1'-0"

SITE CALCULATIONS

LOT AREA	7706.32SF/715.94SM
PRIMARY HOUSE AREA	2020SF/187.66SM
CARRIAGE HOME AREA	9675F/89.84SM
DRIVEWAY AREA	1631.63SF/156.23SM

MAX SIZE OF CARRIAGE HOME

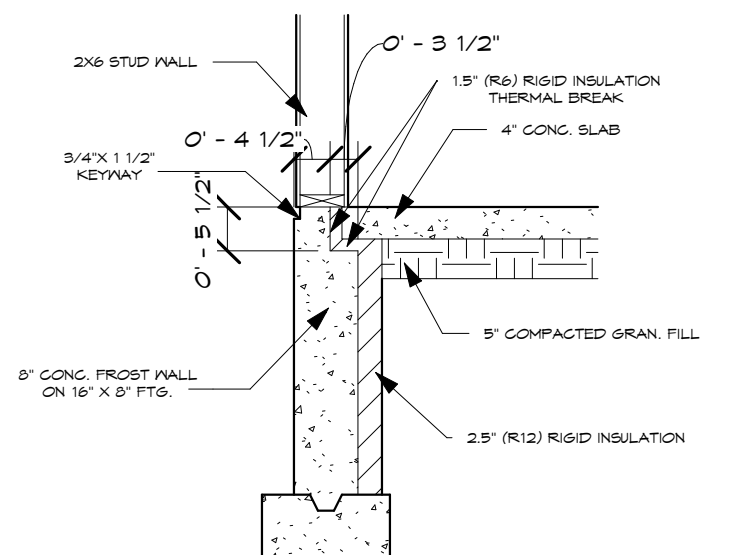
75% OF PRIMARY	1515SF/140.75SM
REMAINING AREA	548SF/50.91SM

20% MAX LOT COVERAGE	1541.26SF/143.19SM
REMAINING AREA	574.26SF/53.35SM

LOT COVERAGE

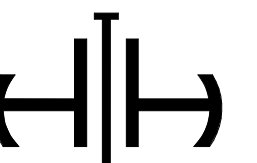
MAX HOUSE & CARRIAGE @40% 3082.53SF/286.38SM
HOUSE + CARRIAGE 1984.18SF/184.34SM

MAX WITH DRIVEWAY @50%	3853.16SF/357.97SM
HOUSE+CARRIAGE+GARAGE	3665.81SF/340.57SM



③ Frost Wall Detail

ISSUED FOR
CONSTRUCTION



HARMONY HOMES

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DRAWING SCALE: As indicated

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