

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE B.C. BUILDING CODE AND ALL LOCAL LAWS AND BYLAWS.
2. BEFORE CONSTRUCTION COMMENCES IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CHECK ALL DETAILS AND DIMENSIONS TO CONFIRM ACCURACY AND TO ASSURE THERE ARE NO DISCREPANCIES.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR FOR THE CORRECT SITING OF THE BUILDING TO CONFORM WITH NECESSARY SETBACKS.
4. ALTHOUGH EVERY EFFORT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE DRAWINGS WE CANNOT ELIMINATE THE POSSIBILITY OF HUMAN ERROR, THEREFORE MULLINS DRAFTING & DESIGN WILL NOT BE LIABLE FOR ANY ERRORS OR OMISSIONS.



NOTE

WINDOW SPECS TO BE CONFIRMED BY OWNER/ CONTRACTOR PRIOR TO ORDERING TO ENSURE PROPER VENTING AND EGRESS.

NOTE

PROVIDE PROPER SLOPE TO ALLOW DRAINAGE AWAY FROM RESIDENCE.

NOTE

CONTRACTOR TO CONFIRM DIM PRIOR TO CONST.

SPECIFICATIONS

EXT. WALL

ACRYLIC STUCCO
HORIZONTAL CEDAR
CULTURED BRICK
7/16" WALL SHEATHING
2x6 STUDS 24" o/c
R-22 BATT INSULATION
6 MIL UV POLY
1/2" DRYWALL

INT. WALL

2x4 STUDS 16" o/c
1/2" DRYWALL BOTH SIDES

ROOF

LAMINATE SHINGLES (35 YR)
7/16" ROOF SHEATHING
ENGINEERED ROOF TRUSSES
R-50 INSULATION
6 MIL UV POLY
5/8" DRYWALL

SOFFIT & FASCIA

8" FASCIA GUTTER
2x6 SUB FASCIA
STEPPED 1" FASCIA BOARD
VENTED SOFFIT

FLOOR SYSTEM

3/4" TAG SHEETING
ENGINEERED I JOIST
R-50 INSULATION
8 MIL UV POLY
5/8" DRYWALL

DECK CONSTRUCTION

8" CONC. PERIS
2X10 JOISTS @16" o/c
VINYL DECKING
POSTS & BEAMS AS REQ.

STAIR CONSTRUCTION

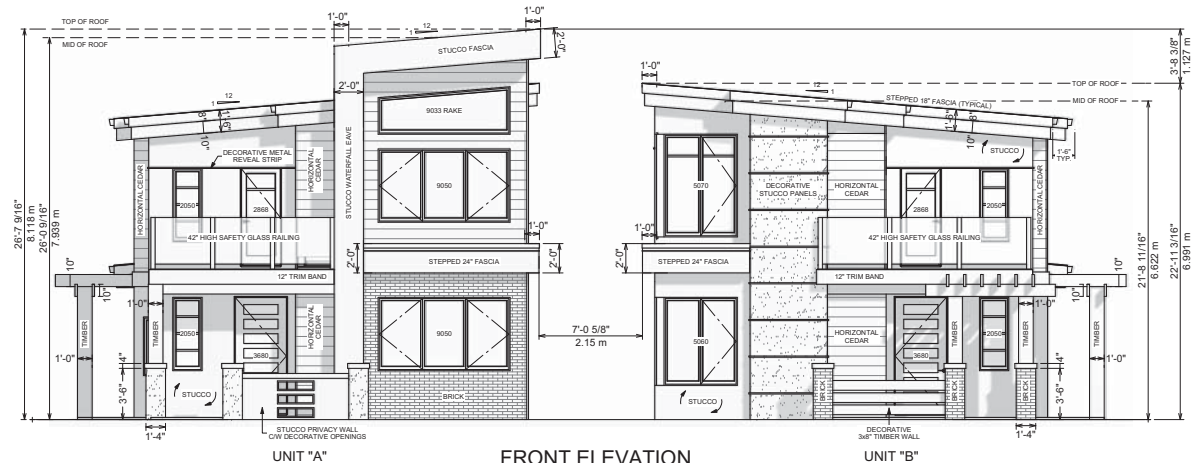
RUE MANUFACTURED
STAIR SYSTEM
2X6 @ 16" o/c LANDINGS

FOUNDATION

8" CONC. FOUNDATION
10MM REBAR
R15 STYROFOAM INSULATION
8"X16" CONC. FOOTING

CONC. SLAB

4" CONC. SLAB
6 MIL UV POLY
6" DRAINAGE ROCK
4" DRAIN TILE
MINIMUM 6" DRAIN ROCK
DRY SHEETING PAPER



SHEET NUMBER

1/8

SCALE: 1/4" = 1'

DATE: MAR-2017

MOSYCHUK

PROPOSED PROJECT FOR

LOT # 3
2206 WOODLAWN ST

UNIT 203 - 1889 SPALL RD.

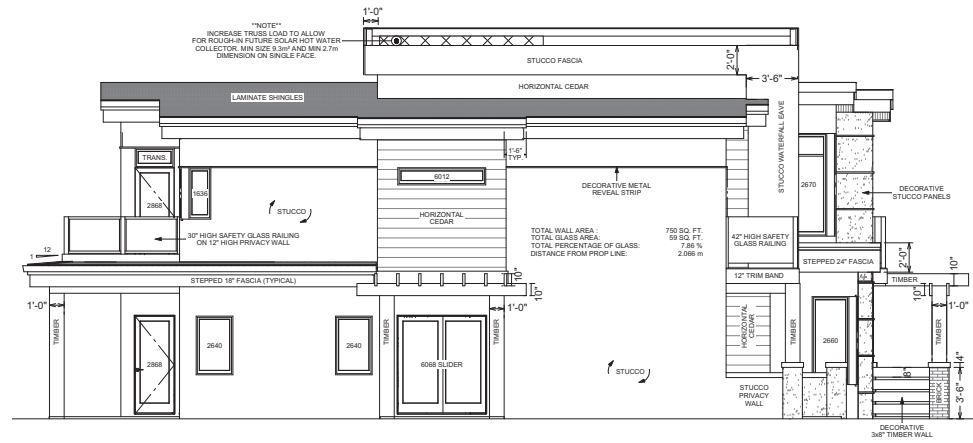
Kelowna BC V1Y 4R2
Bus: (250) 717-3415
Cell: (250) 258-7819
e-mail: mullinsdrafting@shaw.ca

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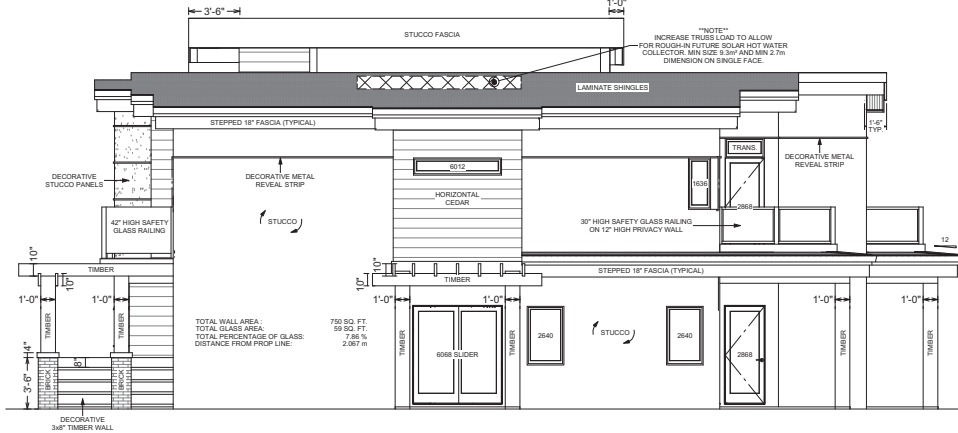


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LEFT ELEVATION (UNIT "A")



RIGHT ELEVATION (UNIT "B")

SPECIFICATIONS

EXT. WALL

ACRYLIC STUCCO
HORIZONTAL CEDAR
CULTURED BRICK
7/16" WALL SHEATHING
2x6 STUDS 24" o/c
R-25 BATT INSULATION
6 ML UV POLY
1/2" DRYWALL

INT. WALL

2x4 STUDS 16" o/c
1/2" DRYWALL BOTH SIDES

ROOF

3/4" T&G SHEETING
7/16" ROOF SHEATHING
ENGINEERED ROOF TRUSSES
R-25 INSULATION
6 ML UV POLY
5/8" DRYWALL

SOFFIT & FASCIA

5" FASCIA CUTTER
2x4 SUB FASCIA
STEPPED 18" FASCIA BOARD
VENTED SOFFIT

FLOOR SYSTEM

3/4" T&G SHEETING
ENGINEERED I JOIST

DECK CONSTRUCTION

8" CONC. PERIS
2x10 JOISTS 8" o/c
VINYL DECKING
POSTS & BEAMS AS REQ.

STAIR CONSTRUCTION

PRE MANUFACTURED
STAIR SYSTEM
2x4 @ 16" o/c LANDINGS

FOUNDATION

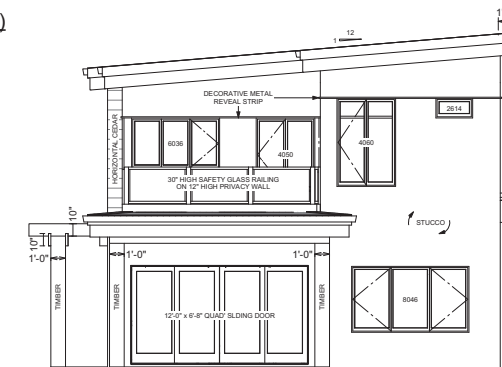
8" CONC. FOUNDATION
10MM REBAR
R12 STYROFOAM INSULATION
8"x16" CONC. FOOTING

CONC. SLAB

4" CONC. SLAB
6 ML UV POLY
6" DRAINAGE ROCK

DRAINAGE TILE

4" DRAIN TILE
MINIMUM 6" DRAIN ROCK
DRY SHEETING PAPER



UNIT "B"

REAR ELEVATION



UNIT "A"

- **NOTE****
WINDOW SPEC'S TO BE CONFIRMED BY OWNER/ CONTRACTOR PRIOR TO ORDERING TO ENSURE PROPER VENTING AND EGRESS.
- **NOTE****
PROVIDE PROPER SLOPE TO ALLOW DRAINAGE AWAY FROM RESIDENCE.
- **NOTE****
CONTRACTOR TO CONFIRM DIM PRIOR TO CONST.

SHEET NUMBER

2/8

SCALE: 1/4" = 1'

DATE: MAR-29-2017

MOSYCHUK

PROPOSED PROJECT FOR

LOT # 3
2206 WOODLAWN ST

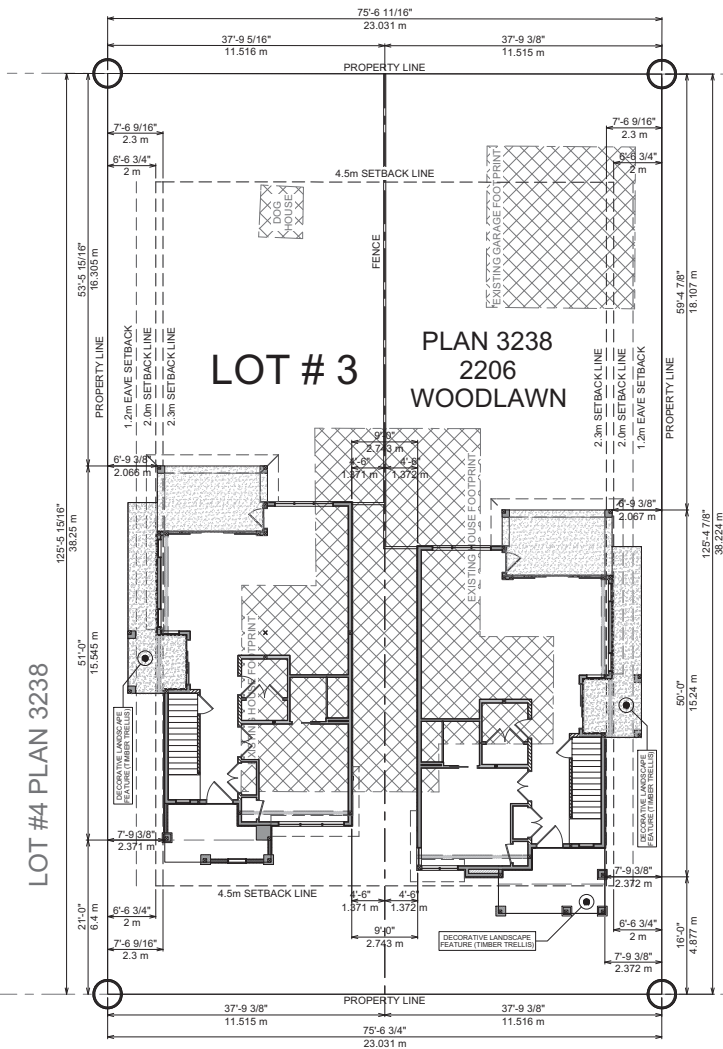
UNIT 203 - 1889 SPALL RD.

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LANE

**LOT COVERAGE**

UNIT 'A' FOOTPRINT	=	1,029 SQ.FT.
UNIT 'A' PATIO / ENTRY	=	215 SQ.FT.
UNIT 'B' FOOTPRINT	=	1,029 SQ.FT.
UNIT 'B' PATIO / ENTRY	=	215 SQ.FT.
UNIT 'A' GARAGE	=	000 SQ.FT.
UNIT 'B' GARAGE	=	000 SQ.FT.
TOTAL FOOTPRINT	=	2,488 SQ.FT.
TOTAL LOT SQ.FT.	=	9,479 SQ.FT.
TOTAL COVERAGE	=	26.25%

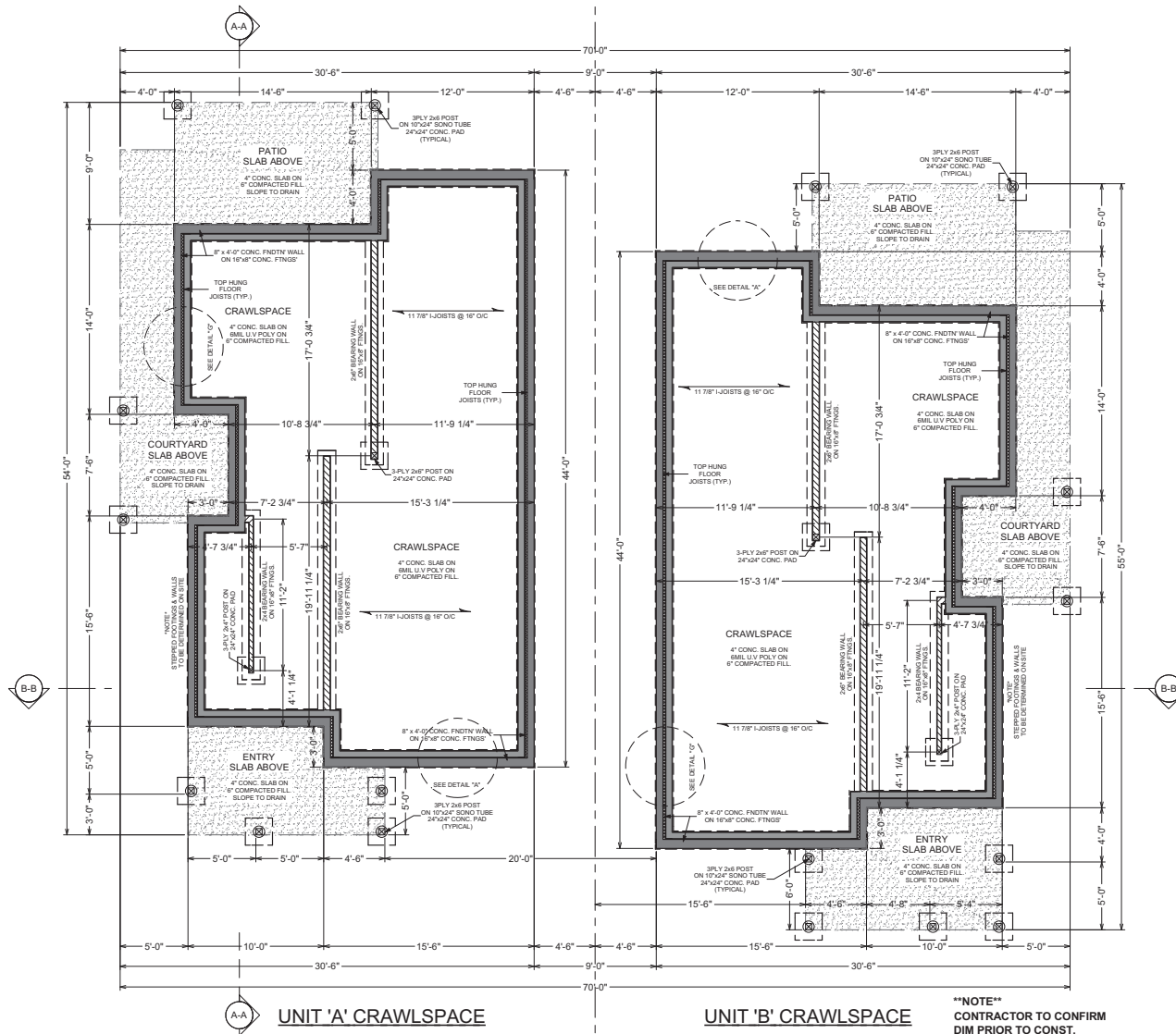
WOODLAWN STREET

****NOTE****
CONTRACTOR TO CONFIRM
DIM PRIOR TO CONST.

PLOT PLAN

SCALE: 1/8" = 1'





SHEET NUMBER

4/8

SCALE: 1/4" = 1'

DATE: MAR-29-2017

MOSYCHUK

PROPOSED PROJECT FOR

LOT # 3
2206 WOODLAWN ST

UNIT 203 - 1889 SPALL RD.

Kelowna BC V1Y 4R2

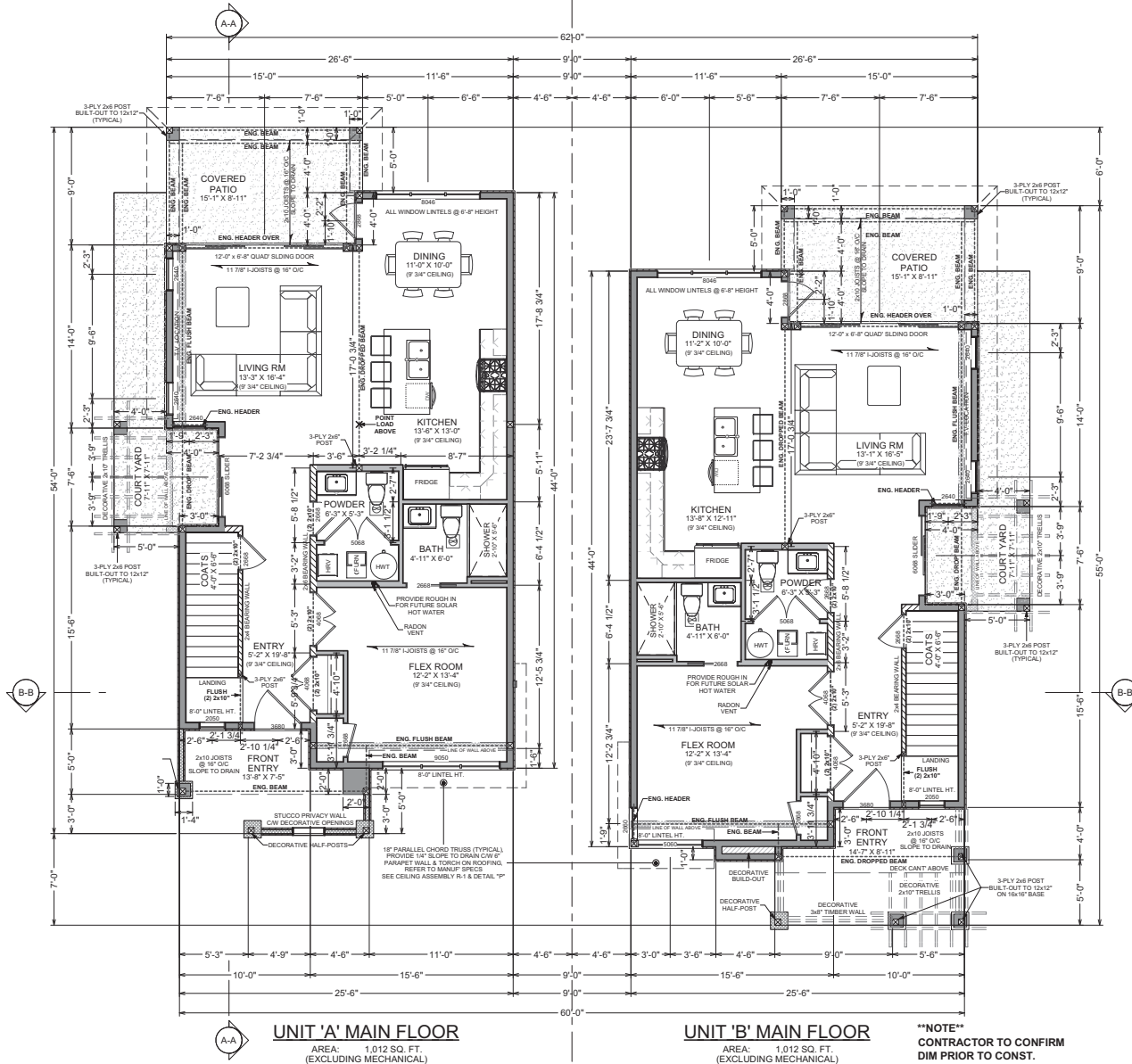
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SHEET NUMBER

5/8

SCALE: 1/4" = 1'

DATE: MAR-29-2017

MOSYCHUK

PROPOSED PROJECT FOR

LOT # 3
 2206 WOODLAWN ST

UNIT 203 - 1889 SPALL RD.

Kelowna BC V1Y 4R2

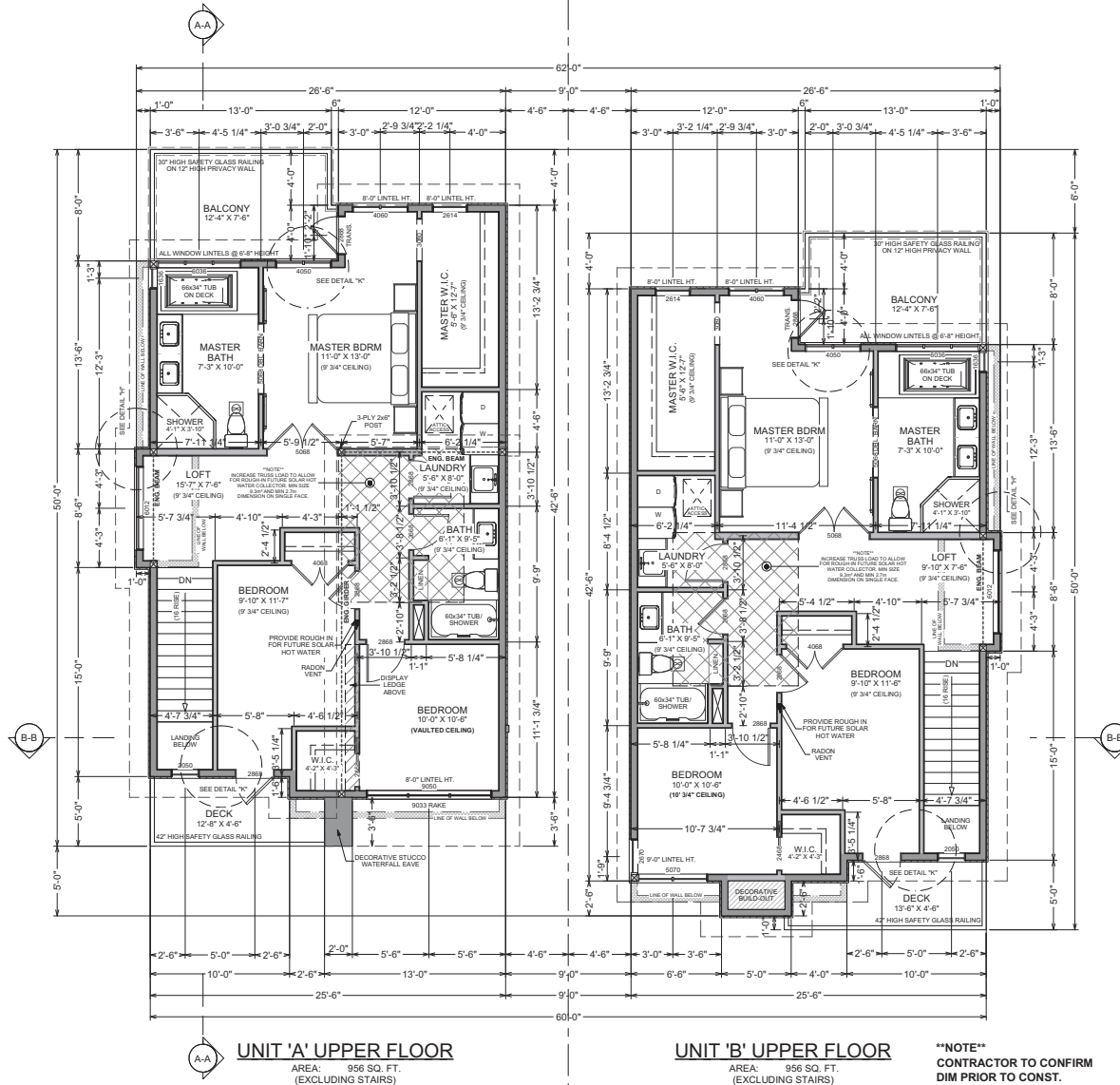
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 DRAFTING & DESIGN





SHEET NUMBER
6/8

SCALE: 1/4" = 1'
 DATE: MAR-29-2017

MOSYCHUK

PROPOSED PROJECT FOR
LOT # 3
2206 WOODLAWN ST

UNIT 203 - 1889 SPALL RD.
Kelowna BC V1Y 4R2
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DEVELOPMENT VARIANCE PERMIT



APPROVED ISSUANCE OF DEVELOPMENT VARIANCE PERMIT NO. DVP17-0103

Issued To: Janice Lee Mosychuk
Site Address: 2206 Woodlawn Street
Legal Description: Lot 3, District Lot 136, ODYD, Plan 323
Zoning Classification: RU6 – Two Dwelling Housing

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Development Variance Permit No. DVP17-0103 for Lot 3, District Lot 136, ODYD, Plan 3238, located at 2206 Woodlawn Street, Kelowna, BC, be approved subject to the following;

1. The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A,"

AND THAT variances to the following section of Zoning Bylaw No. 8000 be granted:

Section 13.6.6(j): Two Dwelling Housing Development Regulations

To vary the minimum distance between two single detached housing units from 4.5m required to 2.15m proposed;

AND FURTHER THAT this Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. PERFORMANCE SECURITY

None required.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

5. APPROVALS

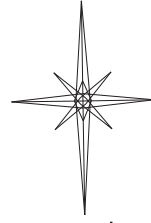
Issued by the Community Planning Department of the City of Kelowna on the _____ day of _____, 2017.

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or his or her designates**



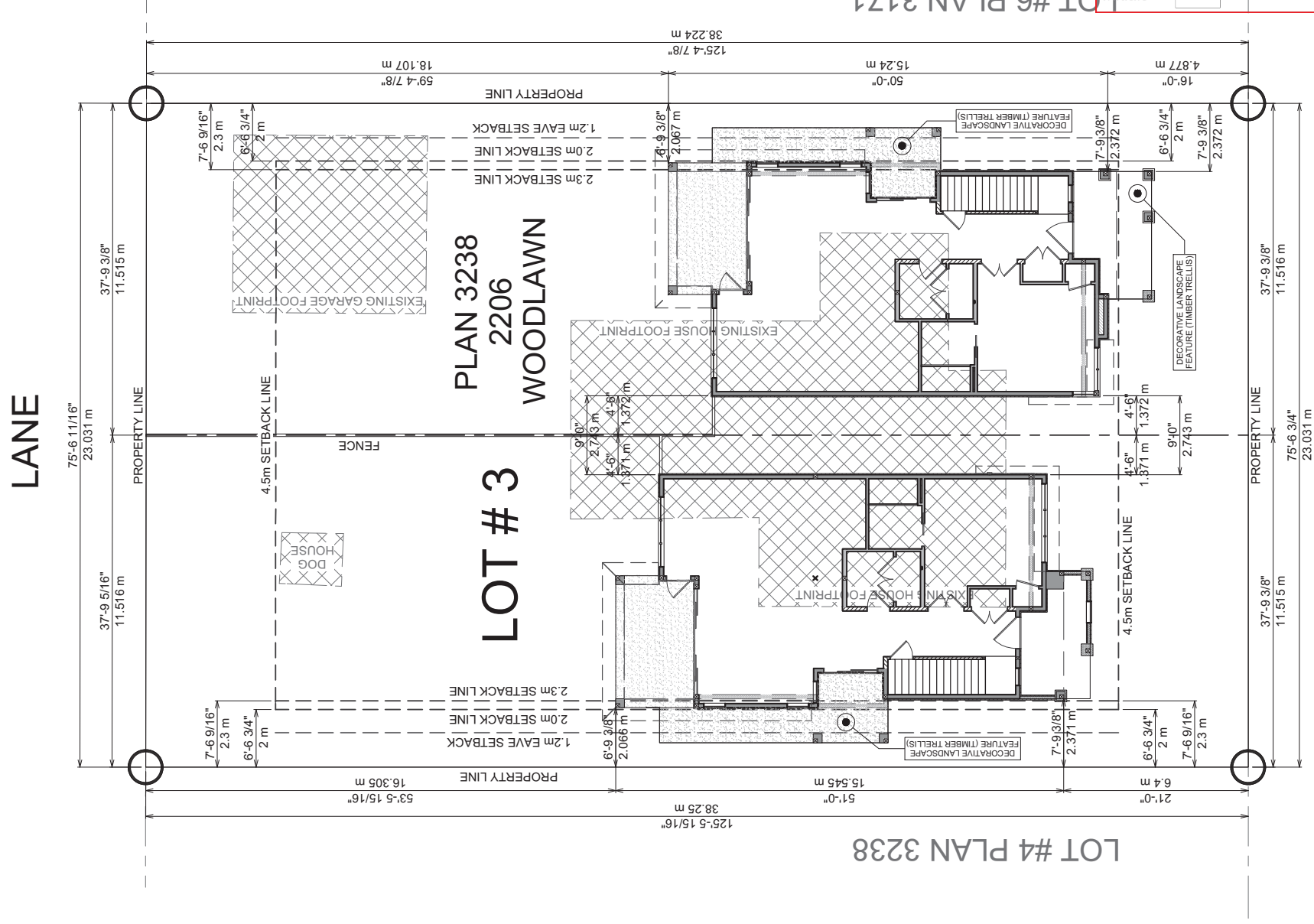
OT #6 PLAN 3171



SCALE: 1/8" = 1'

****NOTE****

UNIT 'A' FOOTPRINT	=	LOT COVERAGE
UNIT 'A' PATIO / ENTRY	=	
UNIT 'B' FOOTPRINT	=	
UNIT 'B' PATIO / ENTRY	=	
UNIT 'A' GARAGE	=	
UNIT 'B' GARAGE	=	
TOTAL FOOTPRINT	=	
TOTAL LOT SQ.FT.	=	
TOTAL COVERAGE	=	



LOT #4 PLAN 3238

LOT # 3

PROPERTY LINE

3m SETBACK LINE
0m SETBACK LINE
2m EAVE SETBACK

EXISTING HOUSE FOOTPRINT

FOOTPRINT

ECORATIVE LANDSCAPE
ATURE (TIMBER TRELLIS)

DECORATIVE LANDSCAPE
FEATURE (TIMBER TRELLIS)

DECORATIVE LANDSCAPE

2 m