
CITY OF KELOWNA

MEMORANDUM

Date: May 2, 2017
File No.: DP17-0050-01
To: Urban Planning (AC)
From: Development Engineer Manager (SM)
Subject: 210 Lougheed Road, Lot B, plan KAP84518, Sec. 2, Twp. 23, ODYD.

The Development Engineering Branch comments and requirements regarding this application for a development Permit are as follows:

1. General.

- a) Existing easement of 5.0m on Hollywood Road will not be required.
- b) 210 Lougheed must be graded to property line on full frontage of ultimate Hollywood road.
- c) East 210 Lougheed Rd access to development must be built to ultimate section to entrance of Development. Curb, gutter, sidewalk, boulevard and one lane, SS-R3 urban standard

2.. On-site related issues.

- a) A site grading plan must be provided and it must demonstrate that the ultimate access from Lougheed Road meets the City requirements.

Steve Muenz, P.Eng.
Development Engineering Manager
RO

ATTACHMENT		A
This forms part of application		
# DP17-0050		
Planner Initials	AC	 City of Kelowna <small>COMMUNITY PLANNING</small>

DEVELOPMENT PERMIT



APPROVED ISSUANCE OF DEVELOPMENT PERMIT (DP17-0050)

Issued To: 1098213 BC Ltd.
Site Address: 210 Lougheed Rd
Legal Description: Lot B, Section 2, Township 23, ODYD, Plan KAP84518
Zoning Classification: I1 – Business Industrial
Development Permit Area: COMPREHENSIVE DEVELOPMENT PERMIT AREA

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Development Permit No. DP17-0050 for Lot B, Section 2, Township 23, ODYD, Plan KAP84518, located at 210 Lougheed Rd, Kelowna, BC to allow the construction of an industrial building be approved subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT this Development Permit is valid for two (2) years with no opportunity to extend.

2. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Permit Holder and be paid to the Permit Holder if the security is returned. The condition of the posting of the security is that should the Permit Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Permit Holder, or should the Permit Holder carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Permit Holder. There is filed accordingly:

- a) Cash in the amount of \$ 84,820 OR
- b) A Certified Cheque in the amount of \$ 84,820 OR
- c) An Irrevocable Letter of Credit in the amount of \$ 84,820 .

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. APPLICANT'S AGREEMENT

I hereby declare that all of the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit and/or Development Variance Permit, the Municipality may withhold the granting of any Occupancy Permit for the occupancy and / or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Divisional Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning Department immediately to avoid any unnecessary delay in processing the application.

5. APPROVALS

Issued and approved by Council on the _____ day of _____, 2017.

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

Date

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall be returned to the PERMIT HOLDER.**

SCHEDULE A

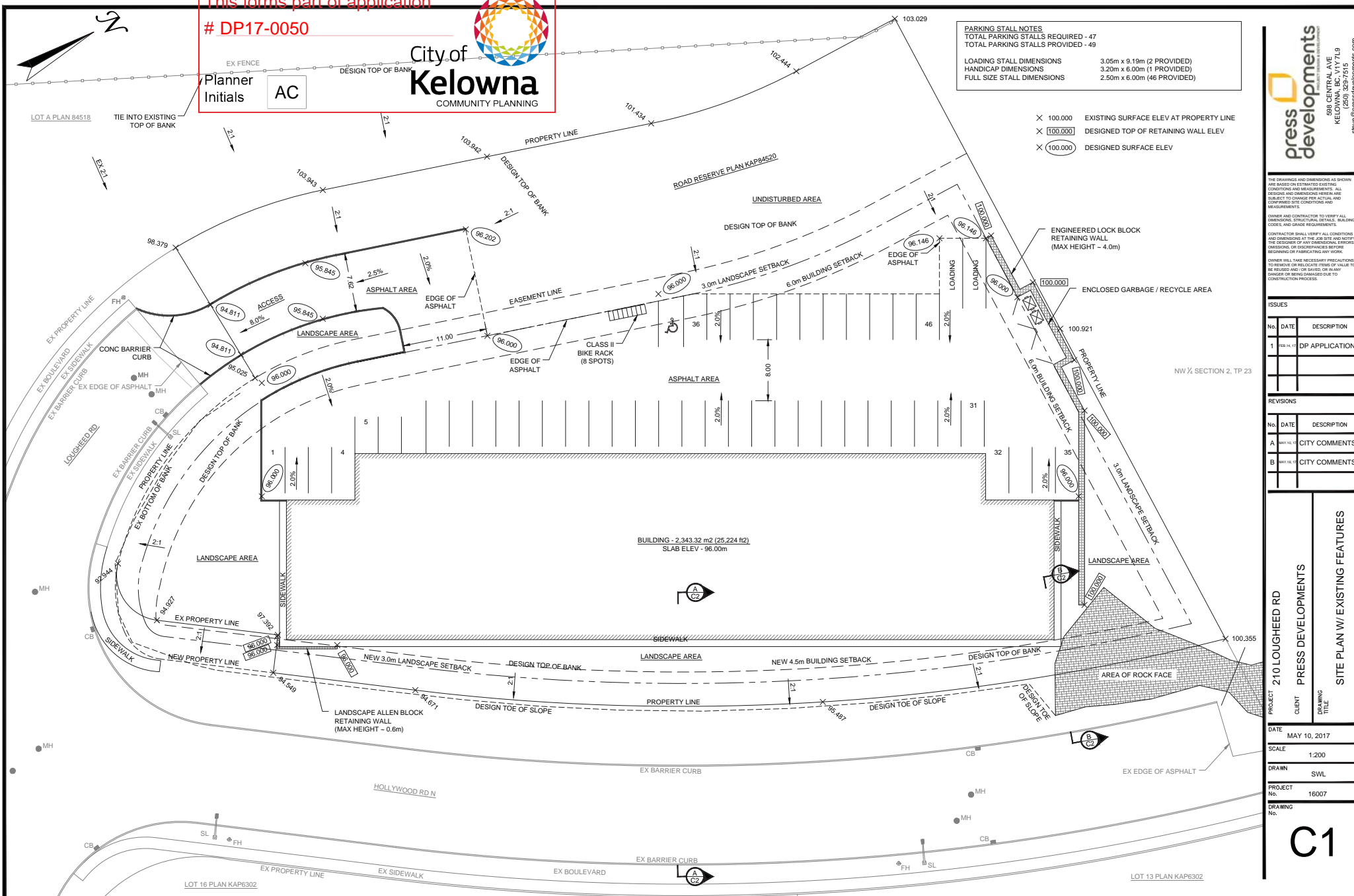
This forms part of application

DP17-0050

Planner
Initials

AC

City of
Kelowna
COMMUNITY PLANNING



PARKING STALL NOTES
TOTAL PARKING STALLS REQUIRED - 47
TOTAL PARKING STALLS PROVIDED - 49

LOADING STALL DIMENSIONS 3.05m x 9.19m (2 PROVIDED)
HANDICAP DIMENSIONS 3.20m x 6.00m (1 PROVIDED)
FULL SIZE STALL DIMENSIONS 2.50m x 6.00m (46 PROVIDED)

- X 100.000 EXISTING SURFACE ELEV AT PROPERTY LINE
- X 100.000 DESIGNED TOP OF RETAINING WALL ELEV
- X 100.000 DESIGNED SURFACE ELEV

press developments
598 CENTRAL AVE
KELLOWNA BC V1Y 1L9
(250) 869-7515
save@pressdevelopments.com

THE DRAWINGS AND DIMENSIONS AS SHOWN ARE BASED ON ESTIMATED EXISTING CONDITIONS AND MEASUREMENTS. ALL DIMENSIONS AND CONDITIONS HEREIN ARE SUBJECT TO CHANGE PER ACTUAL AND COMPILED SITE CONDITIONS AND MEASUREMENTS.

OWNER AND CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, BUILDING CODES, AND GRADE REQUIREMENTS.

CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE DESIGNER OF ANY DIMENSIONAL ERRORS, OMISSIONS, OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.

OWNER WILL BE NECESSARY PREPARATIONS TO REMOVE OR RELOCATE TREES OF VALUE TO BE REMOVED AND/OR SAVED OR BUILT IN DANGER OR BEING DAMAGED DUE TO CONSTRUCTION PROCESS.

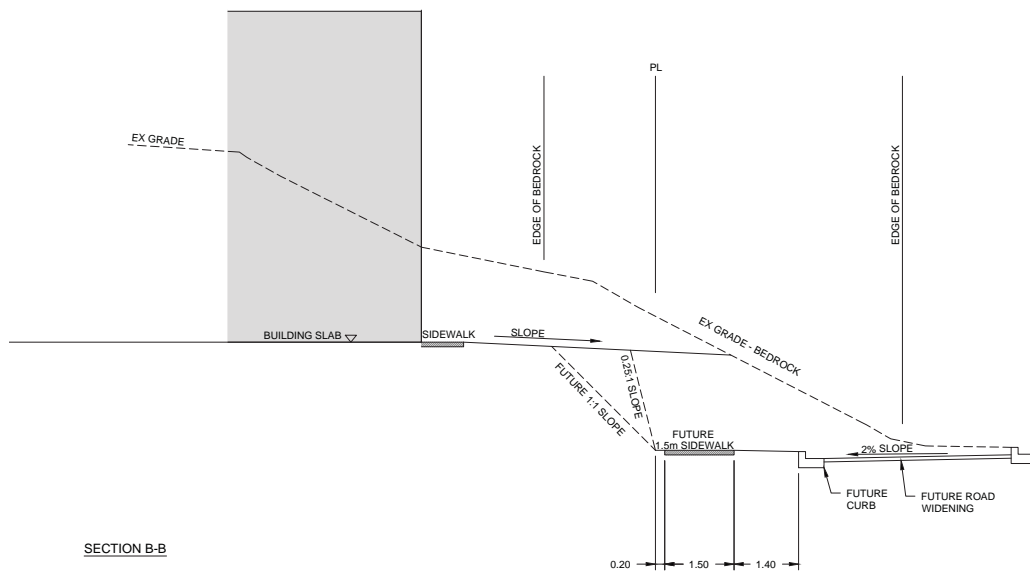
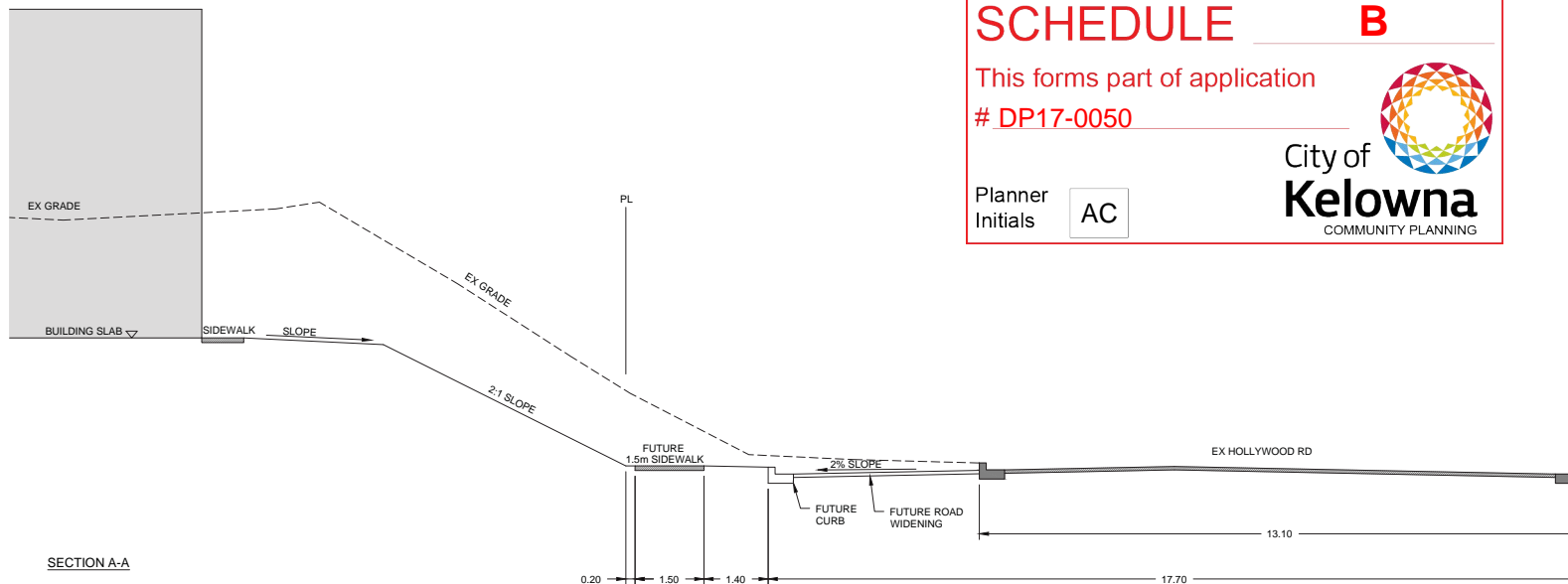
ISSUES		
No.	DATE	DESCRIPTION
1	Feb 14, 17	DP APPLICATION

REVISIONS		
No.	DATE	DESCRIPTION
A	MAY 10, 17	CITY COMMENTS
B	MAY 16, 17	CITY COMMENTS

PROJECT: 210 LOUGHEED RD
CLIENT: PRESS DEVELOPMENTS
DRAWING TITLE: SITE PLAN W/ EXISTING FEATURES

DATE: MAY 10, 2017
SCALE: 1:200
DRAWN: SWL
PROJECT No.: 16007
DRAWING No.:

C1



SCHEDULE B

This forms part of application
DP17-0050

Planner
Initials

AC

City of Kelowna
COMMUNITY PLANNING

THE DRAWINGS AND DIMENSIONS AS SHOWN ARE BASED ON ESTIMATED EXISTING CONDITIONS AND MEASUREMENTS. ALL DESIGNS AND DIMENSIONS HEREIN ARE SUBJECT TO CHANGE PER ACTUAL AND CONFIRMED SITE CONDITIONS AND REQUIREMENTS.
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 OWNER WILL TAKE NECESSARY PRECAUTIONS TO REMOVE OR RELOCATE ITEMS OF VALUE TO BE REUSED AND/OR SAVED OR IN DANGER OF BEING DAMAGED DUE TO CONSTRUCTION PROCESSES.

ISSUES		
No.	DATE	DESCRIPTION

REVISIONS		
No.	DATE	DESCRIPTION
A	MAY 12, 17	CITY COMMENTS
B	MAY 16, 17	CITY COMMENTS

PROJECT 210 LOUGHEED RD	CLIENT PRESS DEVELOPMENTS	DRAWING TITLE HOLLYWOOD RD BLVD SECTIONS
DATE MAY 12, 2017		
SCALE 1:50		
DRAWN SWL		
PROJECT No. 16007		
DRAWING No.		

C2

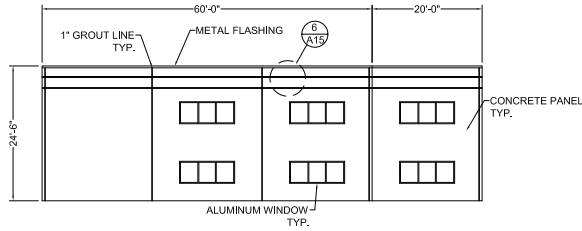
SCHEDULE B

This forms part of application

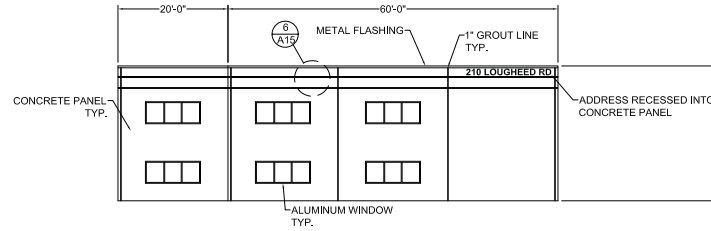
DP17-0050

Planner
Initials AC

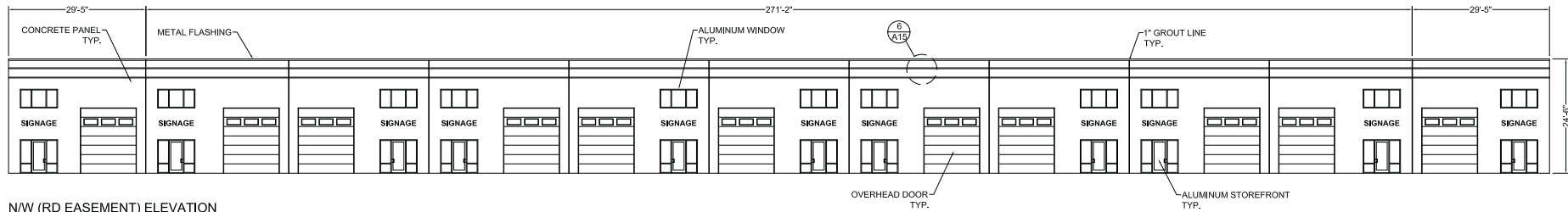
City of
Kelowna
COMMUNITY PLANNING



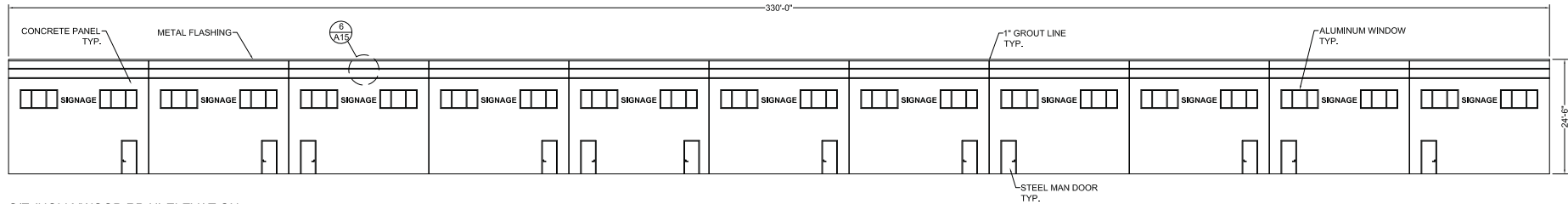
N/E ELEVATION



S/W ELEVATION



N/W (RD EASEMENT) ELEVATION



S/E (HOLLYWOOD RD N) ELEVATION

THE DRAWINGS AND INFORMATION SHOWN ARE BASED ON ESTIMATED EXISTING CONDITIONS AND ASSUMPTIONS. ALL DIMENSIONS AND CONDITIONS SHOWN ARE SUBJECT TO CHANGE FOR ACTUAL AND CONFIRMED SITE CONDITIONS AND REQUIREMENTS.
OWNER AND CONTRACTOR TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, BUILDING CODES, AND GRADE REQUIREMENTS.
CONTRACTOR SHALL VERIFY ALL CONDITIONS AND INFORMATION OF THE SITE AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES, OMISSIONS, OR DISCREPANCIES BEFORE BEGINNING OR PROCEEDING WITH ANY WORK.
OWNER WILL TAKE NECESSARY PRECAUTIONS TO PROTECT OR PREVENT DAMAGE OR INJURY TO BE REPAIRED AND/OR SAVED OR IN ANY MANNER OF BEING DAMAGED DUE TO CONSTRUCTION PROCESS.

ISSUES

No.	DATE	DESCRIPTION
1	10/14/17	DP SUBMISSION

REVISIONS

No.	DATE	DESCRIPTION

PROJECT 210 LOUGHEED RD
CLIENT PRESS DEVELOPMENTS
DRAWING TITLE ELEVATIONS

DATE JANUARY 13, 2017
SCALE 3/32" = 1'-0"
DRAWN SWL
PROJECT No. 16007
DRAWING No.

A3

SCHEDULE B

This forms part of application

DP17-0050

Planner
Initials

AC



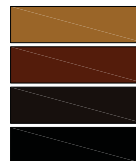
COLOUR SCHEDULE

MAJORITY WALL COLOUR - BENJAMIN MOORE CATTAIL CSP-295

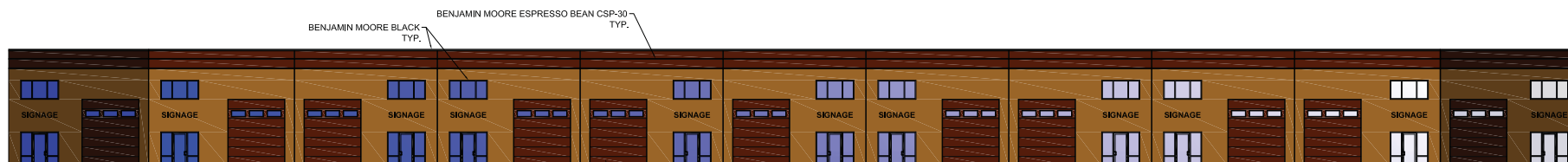
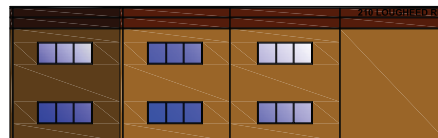
UPPER WALL BOARDER / OVERHEAD DOOR/ REAR MAN DOOR COLOUR - BENJAMIN MOORE FALLEN LEAF CSP-330

ACCENT TRIM COLOUR - BENJAMIN MOORE ESPRESSO BEAN CSP-30

WINDOWS / STOREFRONT / WALL FLASHING COLOUR - BENJAMIN MOORE BLACK



BENJAMIN MOORE CATTAIL CSP-295
TYP.

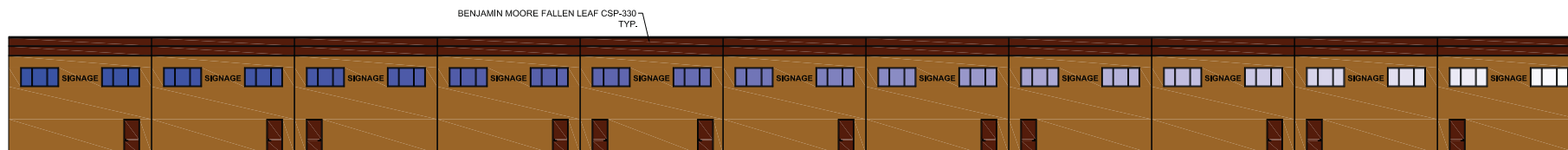


BENJAMIN MOORE BLACK
TYP.

BENJAMIN MOORE ESPRESSO BEAN CSP-30
TYP.

BENJAMIN MOORE BLACK
TYP.

BENJAMIN MOORE FALLEN LEAF CSP-330
TYP.



BENJAMIN MOORE FALLEN LEAF CSP-330
TYP.

BENJAMIN MOORE FALLEN LEAF CSP-330
TYP.

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ISSUES

No.	DATE	DESCRIPTION
1	DEC 14, 17	DP SUBMISSION

REVISIONS

No.	DATE	DESCRIPTION

PROJECT 210 LOUGHEED RD
CLIENT PRESS DEVELOPMENTS
DRAWING TITLE ELEVATIONS WITH COLOUR

DATE JANUARY 13, 2017

SCALE 3/32" = 1'-0"

DRAWN SWL

PROJECT No. 16007

DRAWING No.

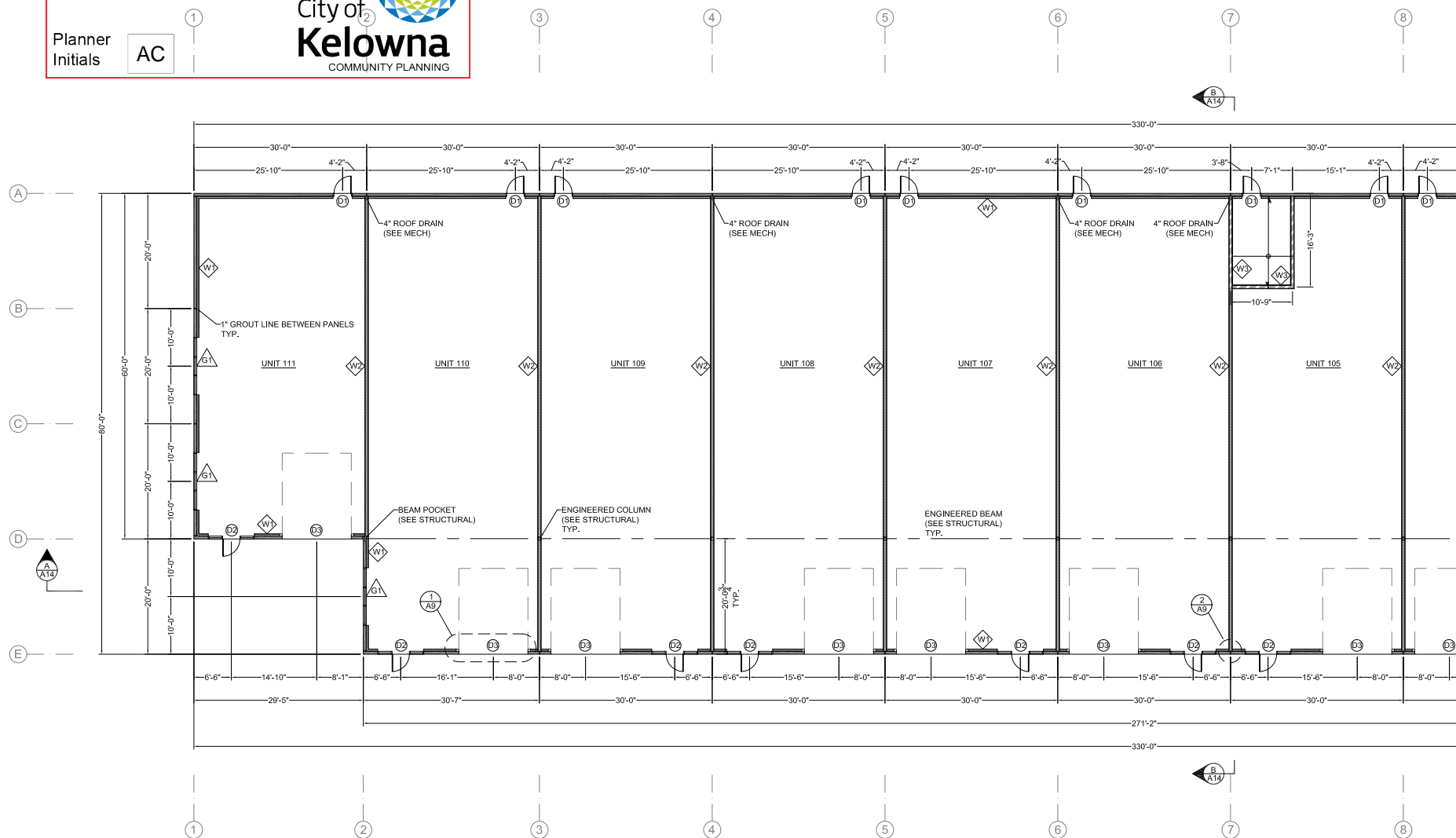
A3a

This forms part of application
DP17-0050



City of Kelowna
COMMUNITY PLANNING

Planner Initials AC



press
developments
FACULTY CONSULTING & DEVELOPMENT

508 CENTRAL AVE
KELOWNA, BC, V1Y 7L9
(250) 329-7515
stuart@pressdevelopments.com

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ISSUES

No.	DATE	DESCRIPTION
1	FEB 14, 17	DP SUBMISSION

REVISIONS

No.	DATE	DESCRIPTION

PROJECT	210 LOUGHEED RD
CLIENT	PRESS DEVELOPMENTS
DRAWING TITLE	MAIN FLOOR PLAN

DATE	JANUARY 13, 2017
SCALE	1/8" = 1'-0"
DRAWN	SWL
PROJECT No.	16007
DRAWING No.	

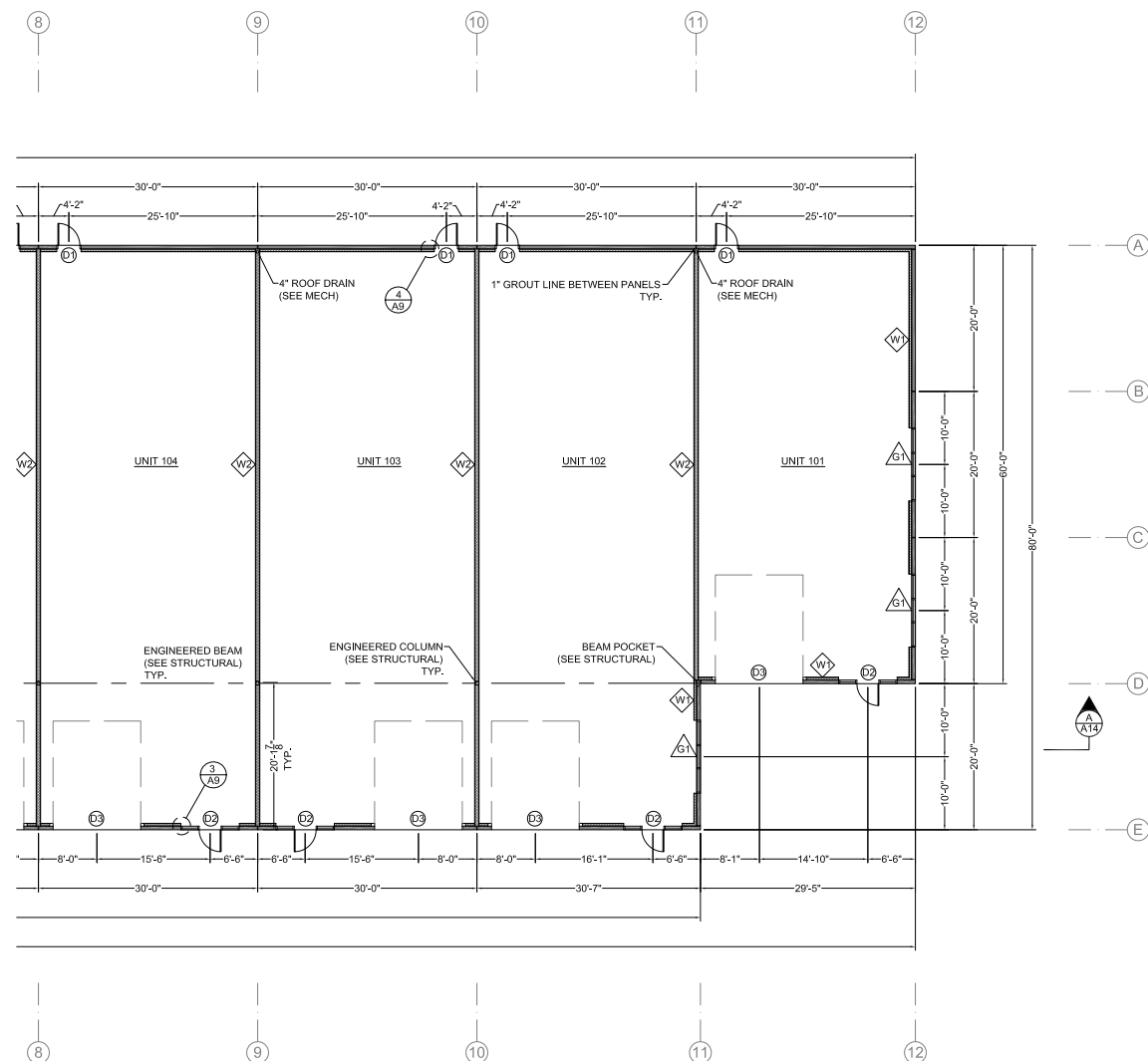
A8

This forms part of application
DP17-0050

Planner Initials AC



City of Kelowna
COMMUNITY PLANNING



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ISSUES

No.	DATE	DESCRIPTION
1	FEB. 14, 17	DP SUBMISSION

REVISIONS

No.	DATE	DESCRIPTION

PROJECT 210 LOUGHEED RD

CLIENT PRESS DEVELOPMENTS

MAIN FLOOR PLAN

DATE JANUARY 13, 2017

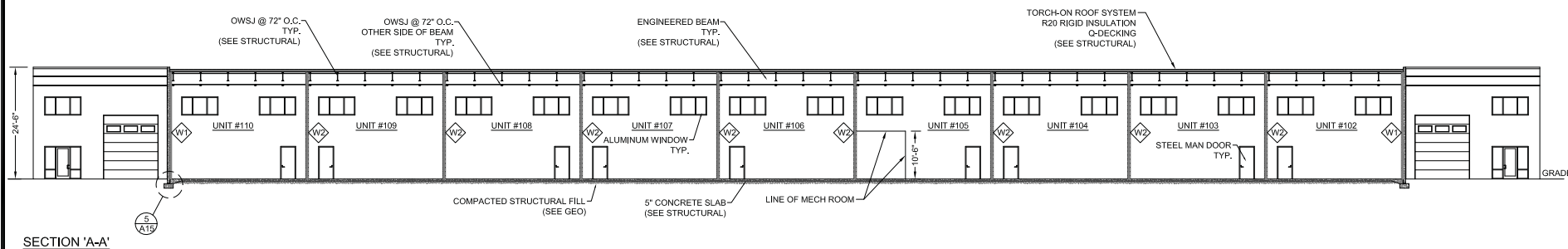
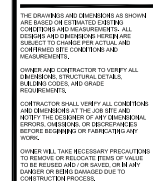
SCALE $1/8" = 1'-0"$

DRAWN _____ CLASS _____

PROJECT	
No.	16007

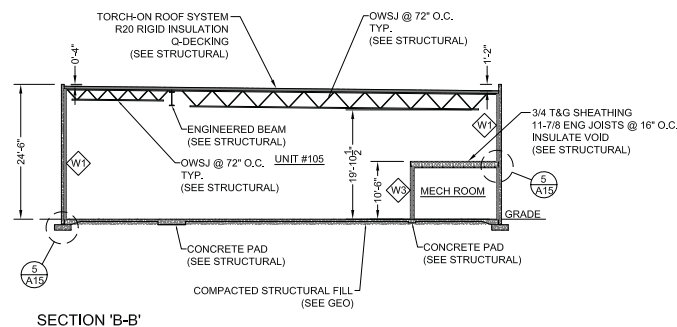
DRAWING
No.

A9



ISSUES		
No.	DATE	DESCRIPTION
1	FEB. 14, 1972	DP SUBMISSION

REVISIONS		
No.	DATE	DESCRIPTION



SCHEDULE B

This forms part of application

DP17-0050

Planner Initials AC



City of Kelowna
COMMUNITY PLANNING

PROJECT	CLIENT	DRAWING TITLE
210 LOUGHEED RD	PRESS DEVELOPMENTS	SECTIONS

DATE	JANUARY 13, 2017
SCALE	3/32" = 1'-0"
DRAWN	SWL
PROJECT No.	16007
DRAWING No.	

A14

SCHEDULE

C

This forms part of application

DP17-0050

Planner
Initials

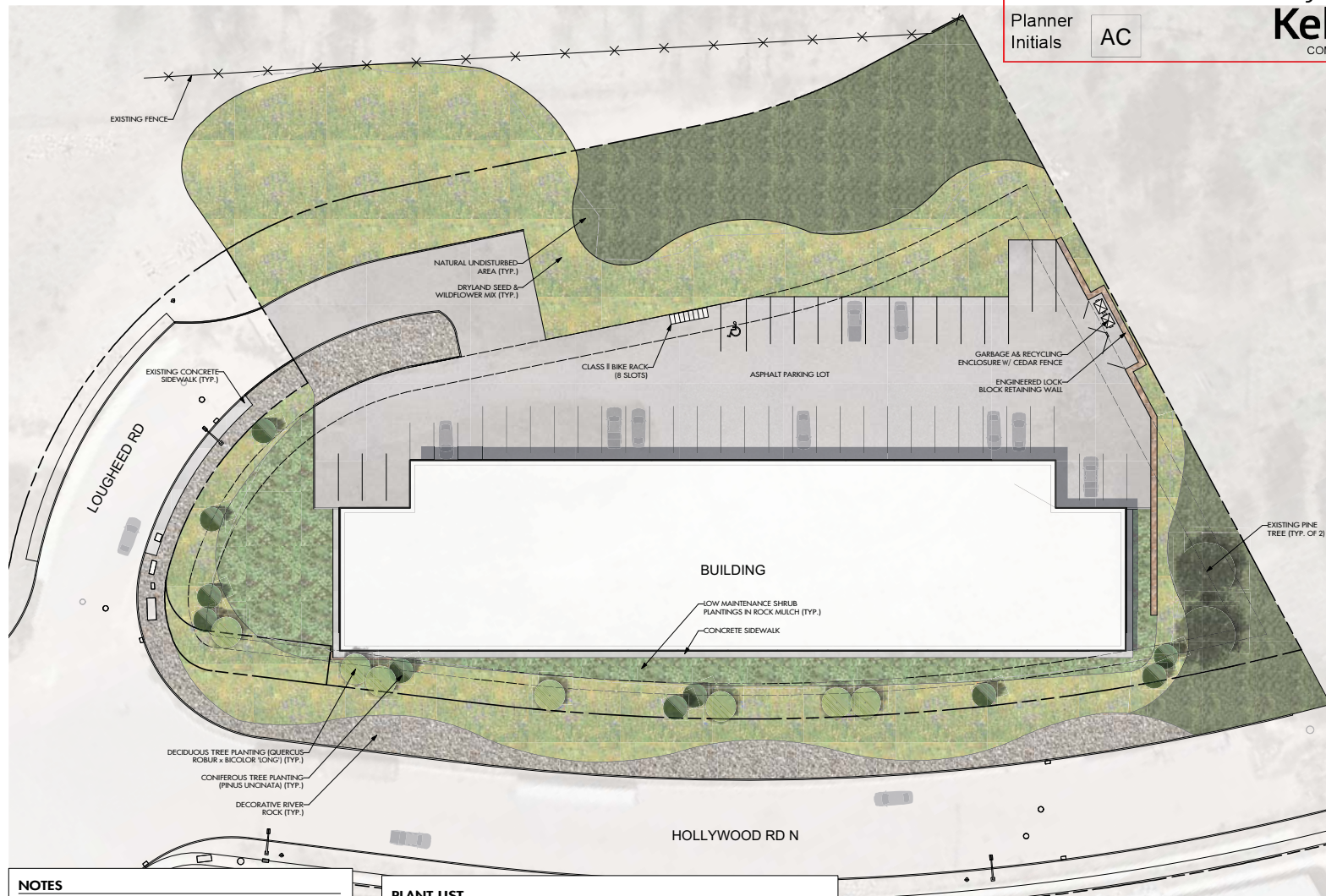
AC

City of
Kelowna
COMMUNITY PLANNING



OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

206 - 1889 Spall Road
Kelowna, BC V1Y 4R2
T (250) 868-9270
www.outlanddesign.ca



NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED B.C. L.A. STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm ROCK MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY.	SIZE / SPACING & REMARKS
TREES			
PINUS UNICATA	MOUNTAIN PINE	10	1.5m HT.
QUERCUS ROBUR x BICOLOR 'LONG'	REGAL PRINCE OAK	7	6cm CAL.
SHRUBS, ORNAMENTAL GRASSES & PERENNIALS			
CORNIUS ALBA 'RAJHALD'	IVORY HALO DOGWOOD	7	#01 CONT. / 1.8m SPACING
PANICUM VIRGATUM 'HEAVY METAL'	BLUE SWITCH GRASS	7	#01 CONT. / 1.8m SPACING
PINUS STROBUS 'MERRIMACK'	MERRIMACK EASTERN WHITE PINE	4	#01 CONT. / 2.5m SPACING
PHYTOSACULUS OPILOIDUS 'SEWARD'	SUMMER WINE NINEBARK	6	#01 CONT. / 2.0m SPACING
SAMBUCUS NIGRA 'EVA'	BLACK LACE ELDERBERRY	4	#01 CONT. / 2.5m SPACING
SPRAEA SUMALDA 'ANTHONY WATERER'	ANTHONY WATERER SPREA	11	#01 CONT. / 1.5m SPACING
SYRINGA MEYER 'PAULIN'	DWARF KOREAN LILAC	7	#01 CONT. / 1.8m SPACING



PROJECT TITLE

210 LOUGHEED ROAD

Kelowna, BC

DRAWING TITLE

CONCEPTUAL
LANDSCAPE PLAN

ISSUED FOR REVIEW

REV.	DATE	REVISION
1	17.05.25	Review
2		
3		
4		

PROJECT NO.

17079

DESIGN BY

KD

DRAWN BY

MC

CHECKED BY

FB

DATE

30-M-25-2017

SCALE

1:200

SEAL



DRAWING NUMBER

L1/1

ISSUED FOR REVIEW ONLY

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OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

SCHEDULE

C

This forms part of application

DP17-0050

Planner
Initials

AC

City of
Kelowna
COMMUNITY PLANNING



June 26, 2017

210 Lougheed Road
C/o Press Developments
PO Box 30131 Glenpark PO
Kelowna, BC, V1V 2M4
Attn: Steve Lea, Civil Tech

Re: 210 Lougheed Road – Preliminary Cost Estimate for Bonding

Dear Steve,

Please be advised of the following preliminary cost estimate for bonding of the proposed landscape works shown in the 210 Lougheed Road conceptual landscape plan dated 17.06.26;

- 3,793 square metres (40,829 square feet) of improvements = \$67,856.00

This preliminary cost estimate is inclusive of trees, shrubs, dryland seed, mulch, topsoil & irrigation.

You will be required to submit a performance bond to the City of Kelowna in the amount of 125% of the preliminary cost estimate. Please do not hesitate to contact me with any questions about the landscape plan.

Best regards,

Kim German

Kim German, MBCSLA, CSLA
as per
Outland Design Landscape Architecture