

3.0 Community Planning

Staff are recommending support for the proposed Development Permit due to the proposal’s consistency with the majority of the Official Community Plan’s (OCP) urban design guidelines. The applicant has worked with City staff to refine the proposal multiple times. The major changes that occurred through the application process were:

- Relocating the parking away from the intersection of Lougheed Rd and Hollywood Rd;
- Lowering building grade to meet the appropriate sloping criteria and interaction with the future design of Hollywood Rd;
- Removing the rock in the boulevard along Hollywood Rd at the north end of the property;
- Redesigning and re-sloping the future Lougheed Rd reserve to develop an access acceptable to the City’s transportation and engineering departments.

The site’s topography is challenging to develop relative to the surrounding industrial development. Overall, the form and character of the industrial building is typical of the area. The positive aspects of the proposal include lowering the building grade to provide a better streetscape to Hollywood Road and locating all the ancillary services association with industrial development (parking, loading, garbage, recycling) to the rear of the building away from Hollywood Road sightlines as recommended by the OCP design guidelines.

4.0 Proposal

4.1 Project Description

The proposal is for a two storey industrial building with 11 industrial units. The proposal does not need any variances. The associated road closure file and land disposition process has determined that this land is excess (see figure 1).

The building material is predominately concrete panels with metal flashing at the top of the building. Each industrial unit has an overhead door with a window on the upper floor and signage located above the main storefront entrance. The proposed building does have a variety of colour including light brown on the concrete panels with an espresso coloured trim and either a black or dark red colour on the metal flashing located at the top of each façade.

The landscaping buffers and planting types meets the guidelines for industrial development onsite. However, as per the Parks Department’s comments in Section 6.0 the boulevard treatment may need to change. The ultimate design of the boulevard will be dealt with a building permit stage.

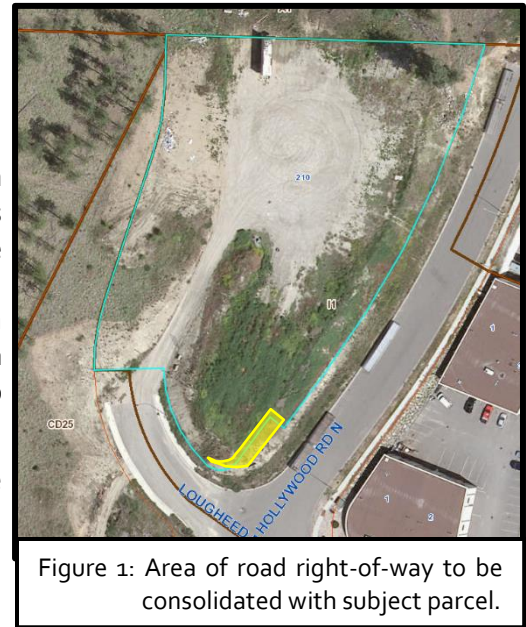


Figure 1: Area of road right-of-way to be consolidated with subject parcel.

4.2 Site Context

The subject parcels are located within the Arab/Appaloosa area. The subject property is designated as Industrial – Transitional (IND-T) in the OCP and the lot is within the Permanent Growth Boundary. Specifically, the adjacent land uses are as follows:

Orientation	Zoning	Land Use
North	A1 - Agriculture	Vacant / naturalized

East	I1 – Business Industrial I2 – General Industrial	Industrial
South	CD25 – Light Industrial / Residential Mixed Use I2 – General Industrial	Industrial / Residential Industrial
West	RU5 – Bareland Strata Housing	Residential

Subject Properties Map: 210 Lougheed Rd



4.3 Zoning Analysis Table

Zoning Analysis Table		
CRITERIA	I1 ZONE REQUIREMENTS	PROPOSAL
	Development Regulations	
Height	16.0 m / 3 storeys	7.16 m / 2 storeys
Front Yard (South)	6.0m	> 6.0m
Flanking Side Yard (east)	4.5 m	4.5 m
Side Yard (north)	6.0 m	> 6.0m
Rear Yard (south)	6.0 m	> 6.0m
Site coverage of buildings	n/a	39%

Zoning Analysis Table		
CRITERIA	I1 ZONE REQUIREMENTS	PROPOSAL
Site coverage of buildings, driveways & parking	n/a	n/a
FAR	1.2 Max	0.4
Parking Regulations		
Minimum Parking Requirements	= 47 stalls	47 stalls
Ratio of Parking Stalls	Full size: 50% Min Medium Size: 40% Max Small Size: 10% Max	Full size: 77% (36 stalls) Medium Size: 17% (8 stalls) Small Size: 6% (3 stalls)
Minimum Drive Aisle Width	7.0 m	7.0 m
Setback (Parking)	1.5 m	>1.5m
Other Regulations		
Minimum Bicycle Parking Requirements	Class 2: 8 bikes	Class 1: 15 bikes Class 2: 8 bikes
Landscape Buffer	3.0 m	>3.0 m

5.0 Current Development Policies

5.1 Kelowna Official Community Plan (OCP)

Industrial Land Use Policies

Objective 5.28.¹ Focus industrial development to areas suitable for industrial use.

Industrial Supply Protection.² Protect existing industrial lands from conversion to other land uses by not supporting the rezoning of industrial land to preclude industrial activities unless there are environmental reasons for encouraging a change of use.

Amenities, ancillary services and utilities.³ Locate loading, garbage, storage, utilities and other ancillary services away from public view. All such areas shall be screened and designed as an integral part of the building to minimize impact.

Public and private open space.⁴ Design industrial developments to include outdoor break areas, green space, bicycle racks, skylights and windows in work areas, and linkages to recreational opportunities (e.g. linear parks).

Exterior elevations and materials.⁵

- Exterior building materials should be selected for their functional and aesthetic quality, and should exhibit qualities of workmanship, durability, longevity and ease of maintenance;

¹ City of Kelowna Official Community Plan, Objective 5.28, Chapter 10 (Development Process Chapter).

² City of Kelowna Official Community Plan, Policy 5.28.1, Chapter 5 (Development Process Chapter).

³ City of Kelowna Official Community Plan, Policy 11.1, Objective 11, Chapter 14 (Urban Design Development Permit Areas).

⁴ City of Kelowna Official Community Plan, Policy 7.5, Chapter 14 (Urban Design Development Permit Areas).

⁵ City of Kelowna Official Community Plan, Objective 6.0, Chapter 14 (Urban Design Development Permit Areas).

- Provide visually prominent, accessible, and recognizable entrances through attention to location, details, proportions, materials, and lighting that act to personalize or lend identity to a building;
- Continue higher quality materials used on the principal façade around any building corner or edge which is visible to the public;
- Use materials in combination to create contrast, enhance human scale, and reduce the apparent bulk of a building;
- Colour should not be used as the predominant feature of a building.

6.0 Technical Comments

6.1 Building & Permitting Department

- a) Development Cost Charges (DCC's) are required to be paid prior to issuance of any Building Permit(s).
- b) Placement permits are required for any sales or construction trailers that will be on site. The location(s) of these are to be shown at time of development permit application.
- c) Fire Department access to site, turn a rounds requirement for equipment, travel distance from the truck access to the front doors of the units and private hydrant locations if required are too be verified with Kelowna Fire Department.
- d) A Building Code analysis is required for the structure at time of building permit applications, but the following items may affect the form and character of the building(s):
 - Any alternative solution must be accepted by the Chief Building Inspector prior to the release of the Building Permit.
 - Permits are required for the retaining walls to roadway standards.
 - Location, Heights, Colours of mechanical systems and the required screening are to be determined at time of DP.
 - Any security system that limits access to exiting needs to be addressed in the code analysis by the architect.
 - Handicap Accessibility to the main floor levels to be provided, ramps may be required.
 - Mezzanine floor are to be designed to the requirements of BCBC if the floors are sheathed and built as floors (design by structural engineer), otherwise these non-occupied areas are to be strapped for bracing of office space below.
 - Access to the roofs are required per NFPA and guard rails may be required and should be reflected in the plans if required.

6.2 Development Engineering

- See attached Memo dated May 2nd 2017.

6.3 Fire Department

- a) Construction fire safety plan is required to be submitted and reviewed prior to construction and updated as required. Template at Kelowna.ca
- b) Should a hydrant be required on this property it shall be operational prior to the start of construction and shall be deemed a private hydrant.
- c) This building shall be addressed off of the street it is accessed from.
- d) A fire safety plan as per section 2.8 BCFC is required at occupancy. The fire safety plan and floor plans are to be submitted for approval in AutoCAD Drawing format on a CD.
- e) Fire Department access is to be met as per BCBC 3.2.5. (please review primary entrance distances on drawing to ensure 3.2.5 is achieved and access route).

- f) Approved Fire Department steel lock box acceptable to the fire dept. is required by the fire dept. entrance and shall be flush mounted.
- g) All requirements of the City of Kelowna Fire and Life Safety Bylaw 10760 shall be met for communications.
- h) Fire alarm system is to be monitored by an agency meeting the CAN/ULC S561 Standard.
- i) Contact Fire Prevention Branch for fire extinguisher requirements and placement.
- j) Fire department connection is to be within 45M of a fire hydrant - unobstructed.
- k) Ensure FD connection is clearly marked and visible from the street
- l) Sprinkler zone valves shall be accessible as per fire prevention bylaw (10760).
- m) Dumpster/refuse container must be 3 meters from structures or overhangs or in a rated room in the parking garage.
- n) Upon completion, an owners certificate and copy of NFPA 25 shall be provided for the sprinkler system.
- o) Upon completion, a certificate is required to verify CANULC 561 Compliance.

7.0 Application Chronology

Date of Application Received: February 17th 2017
Date of Public consultation: n/a

Report Prepared by: Adam Cseke, Urban Planner
Reviewed by: Terry Barton, Urban Planning Manager
Approved by: Ryan Smith, Community Planning Manager

Attachments:
Development Engineering Comments dated May 2nd 2017 (Attachment 'A')
Development Permit