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**CITY OF KELOWNA**  
**MEMORANDUM**

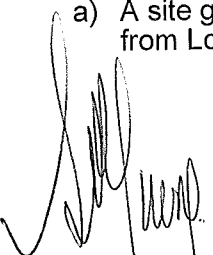
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**Date:** May 2, 2017  
**File No.:** DP14-0204-02  
**To:** Urban Planning (AC)  
**From:** Development Engineer Manager (SM)  
**Subject:** 205 Lougheed Road, Lot A, plan KAP84518, Sec. 2, Twp. 23, ODYD.

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The Development Engineering Branch comments and requirements regarding this application for a development Permit are as follows:

1. General.
  - a) Existing easement of 5.0m on Hollywood Road will not be required.
  - b) 205 Lougheed must be graded to property line on full frontage of ultimate Hollywood road.
  - c) West 205 Lougheed Rd access to development must be built to ultimate section to entrance of Development. Curb, gutter, sidewalk, boulevard and one lane SS-R3 urban standard.
- 2.. On-site related issues.
  - a) A site grading plan must be provided and it must demonstrate that the ultimate access from Lougheed Road meets the City requirements.

  
Steve Muenz, P.Eng.  
Development Engineering Manager  
RO

<b>ATTACHMENT</b>		<b>A</b>
This forms part of application		
# DP14-0204-01		
Planner Initials	AC	 City of <b>Kelowna</b> COMMUNITY PLANNING

# DEVELOPMENT PERMIT



## APPROVED ISSUANCE OF DEVELOPMENT PERMIT (DP14-0204-01)

**Issued To:** Watermark Ventures Ltd.  
**Site Address:** 205 Lougheed Rd  
**Legal Description:** Lot A, Section 2, Township 23, ODYD, Plan KAP84518  
**Zoning Classification:** CD25 – Light Industrial / Residential Mixed Use Zone  
**Development Permit Area:** COMPREHENSIVE DEVELOPMENT PERMIT AREA

### SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

### 1. TERMS AND CONDITIONS

THAT Development Permit No. DP14-0204-01 for Lot A, Section 2, Township 23, ODYD, Plan KAP84518, located at 205 Lougheed Rd, Kelowna, BC to allow the construction of a mixed use development be approved subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND THAT this Development Permit is valid for two (2) years with no opportunity to extend.

## 2. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Permit Holder and be paid to the Permit Holder if the security is returned. The condition of the posting of the security is that should the Permit Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Permit Holder, or should the Permit Holder carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Permit Holder. There is filed accordingly:

- a) Cash in the amount of \$           \$155,875           OR
- b) A Certified Cheque in the amount of \$           \$155,875           OR
- c) An Irrevocable Letter of Credit in the amount of \$           \$155,875           .

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

## 3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

**This Permit IS NOT a Building Permit.**

## 4. APPLICANT'S AGREEMENT

I hereby declare that all of the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit and/or Development Variance Permit, the Municipality may withhold the granting of any Occupancy Permit for the occupancy and / or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Divisional Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning Department immediately to avoid any unnecessary delay in processing the application.

## 5. APPROVALS

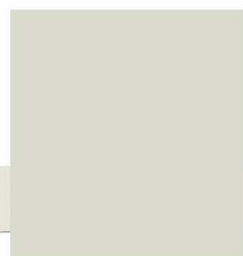
Issued and approved by Council on the \_\_\_\_\_ day of \_\_\_\_\_, 2017.

\_\_\_\_\_  
Ryan Smith, Community Planning Department Manager  
Community Planning & Real Estate

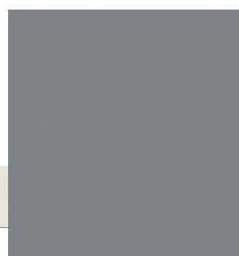
\_\_\_\_\_  
Date

\_\_\_\_\_  
Ryan Smith, Community Planning Department Manager  
Community Planning & Real Estate

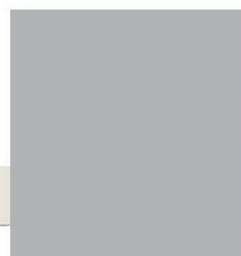
**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall be returned to the PERMIT HOLDER.**



bm - 2141-60  
titanium



bm - 1615  
rock gray



bm - 1613  
silent night



bm - 2065-20  
dark royal blue



orange

## SCHEDULE

**B**

This forms part of application  
# DP14-0204-01

Planner  
Initials

AC

City of  
**Kelowna**  
COMMUNITY PLANNING







# SCHEDULE A

This forms part of application  
# DP14-0204-01

Planner Initials AC

City of  
**Kelowna**  
COMMUNITY PLANNING





# SCHEDULE **B**

This forms part of application  
# DP14-0204-01

Planner  
Initials **AC**

City of  
**Kelowna**  
COMMUNITY PLANNING



# SCHEDULE B

This forms part of application  
# DP14-0204-01

Planner  
Initials AC

City of  
**Kelowna**  
COMMUNITY PLANNING





**A**

# DP14-0204-01



City of Kelowna  
COMMUNITY PLANNING

Planner  
Initials

AC

ZONING SUMMARY		
HOLLYWOOD BOULEVARD INDUSTRIAL DEVELOPMENT		
DESCRIPTION	10081 HOLLYWOOD RD NORTH, OR 265 LUNDAVEED RD	
LEGAL DESCRIPTION	Lot A, Map 4466, 2010	
EXISTING ZONING	Commercial C-2	
EXISTING ZONING AREA	1 - Business, Insected	
PROPOSED ZONING	CODE LIGHT INDUSTRIAL / RESIDENTIAL - MIXED USE	
EXISTING LEGAL USE	Vacant	
EXISTING LEGAL USE	Building Average Height	Plot Average Height
EXISTING LEGAL USE	1 Building (if FIRE COMPARTMENTS SEPARATED BY FIRE WALLS)	1 Building (if FIRE COMPARTMENTS SEPARATED BY FIRE WALLS)
EXISTING LEGAL USE	Type Industrial (Industrial)	
CRITERIA FOR ALL TYPES OF APPLICATION:	CODE LIGHT INDUSTRIAL / RESIDENTIAL - MIXED USE	
	ZONING STANDARD	PROPOSED
1. SITE AREA (ac)	=	415.886 ac
2. SITE WIDTH (ft)	=	4270'
3. SITE DEPTH (ft)	=	4270'
4. OFF-STREET PARKING	50 stalls	52 stalls
5. PARKING STALL SIZE	see zoning calculations	see zoning calculations
6. PROJECT OFF-RAMP		0.07 ac
7. HEIGHT OF BUILDING OR STOREYS	14.0m	11.3m - 2 stories
8. FLOOR COVERAGE OF BUILDINGS (%)		
9. SITE COVERAGE INCLUDING PARKING AREAS AND DRIVEWAYS (%)	50%	50.0% 15.886m = 31.7%
10. ADDITIONAL REQUIREMENTS FOR COMMERCIAL, INDUSTRIAL AND MIXED-USE INTERVIEW	CODE LIGHT INDUSTRIAL / RESIDENTIAL - MIXED USE	
RELEVANT APPLICATIONS:		
NUMBER OF BICYCLE PARKING SPACES	Class 1 0.5 per residential unit Total 0.000 units	Class 1 0.5 residential (in project)
	Class 1 0.5 per 100 sqm of GFA Insected Total 0.000 units	Class 1 0.5 residential 1 residential
		0
NUMBER OF LOADING SPACES	1 each / 1000sq m 1762 = 1 bay	0 bays
OTHER DRIVE OFF-RAMP (if PROPOSED)	7.0	0.00
STREETCLOSING TO PARKING		
FRONT (M/FT)	3.0	3.6
SIDE (EAST)	5.0	5.1
SIDE (WEST)	N/A	0.00
REAR (M/FT)	N/A	N/A
FLOOR AREA NET (F.A.N.)	3,177 sqm * 0.2 m	1,755.0 - 3,889.5 / 5,664 sqm = 5.108
LOADING (STREETCLOSING)		
FRONT (M/FT)	50.0	10.60
SIDE (EAST)	25.0	26.70
SIDE (WEST)	11.5	0.00
REAR (M/FT)	41.0	66.40
DAWN LIGHT ANGLE (if a TOWER)	N/A	N/A
POTENTIAL HEIGHT (if PROPOSED)	N/A	N/A
FLUOROPASTURE BY 100 SQM	N/A	N/A

FULL SIZE STALLS	6.0m x 2.5m
BARRIER FREE STALLS	6.0m x 3.7m
MEDIUM STALLS	4.8m x 2.3m
COMPACT STALLS	2.4m x 2.0m
CHANGING ROOMS	7.2m x 6m
PARKING REQUIREMENTS:	
GENERAL INDUSTRIAL:	
	2 stalls/100sm GFA x 1.75mm
	± 30 stalls
RESIDENTIAL:	
	1.5 stalls/100sqm unit ± 0 units
	± 13.5 stalls
TOTAL REQUIRED	90 stalls
PARKING PROVIDED	52 stalls at grade

HOLLYWOOD ROAD INDUSTRIAL DEVELOPMENT				
	RESIDENTIAL:		INDUSTRIAL:	
OCCUPANCY	GROUP C		GROUP F2	
MINIMUM	52,523		52,527	
NO. OF STOREYS	2		2	
NO. OF STREETS FACING	1		1	
BUILDING AREAS	PROPOSED	CODE MAXIMUM	PROPOSED	CODE MAXIMUM
	470.00 m <sup>2</sup> (each compartment)	1,000 m <sup>2</sup>	6,000 m <sup>2</sup> (each compartment)	1,000 m <sup>2</sup>
CONSTRUCTION TYPE	COMBUSTIBLE / NON-COMBUSTIBLE		COMBUSTIBLE / NON-COMBUSTIBLE	
SPRINKLERED	YES		YES	
POSSIBLE PATHWAYS				
FLOOR	20% separation between CF222 and production			
WALLS / BEARING STRUCTURE	25% (incl. the wall) 4.1m (incl. the wall)			
ROOFS	No Roofs			
MEZZANINE	N/A			

NOTE: PROJECT CONSISTS OF 8 UNIT-2-STORY FIRE COMPARTMENTS SEPARATED BY FIRE WALLS			
NFA	1	sq ft	sqm
1st floor INDUSTRIAL	1	2,298	195
	9	18,802	1,735
NOTE: SEPARATED BY A 4 HR RATED FIRE WALL			
2nd floor RESIDENTIAL	1	1,608	155
	3	10,712	1,300
NOTE: EACH UNIT IS SEPARATED BY A 2 HR RATED FIRE WALL			
2nd floor AMENITY (private open space)	1	165	15.3
	3	1,488	137.2
FIRE COVERAGE			
1) 1st floor (Industrial)		18,200	1,700
2) 2nd floor (Residential)		34,800	3,235
Total		54,179	5,033

WALL AREA	WALL CONSTRUCTION / OPENING SIZES ARE UNRESTRICTED, BUILDING FACES STREETS OR LIMITING DISTANCES EXCEED 15.0m.
OPENING AREA	
% PROVIDED	
LIMITING DISTANCE	
% PERMITTED	
CONSTRUCTION TYPE	
CLADDING MATERIAL	
REQUIRED RATINGS	



LOCATION OF HYDRANT TO SIAMISE CONNECTION	45 m MAX.	INDUSTRIAL 3.2.5.5.
LOCATION OF ACCESS ROUTES	ACCESS TO THE ENTRY OF EACH (SPRINKLERED) BUILDING WILL BE PROVIDED AT THE LOWER LEVEL. ACCESS TO UPPER STORES WILL BE PROVIDED @ STAIRWELL	
STANDPIPE HOSE	NO	3.2.5.6.
SPRINKLERED	YES	
FIRE ALARM SYSTEM	YES	3.2.4.1, (2)(iv)
EXIT LIGHTS	YES	
EMERGENCY LIGHTING	YES	

FIRST FLOOR INDUSTRIAL:	4.6 km / person x (100.0 km) = 4.6 persons / unit (127 persons total)
SECOND FLOOR RESIDENTIAL:	2 persons/bedroom/unit X 2 bedrooms = 4 persons per unit (total) = 36 persons)

REQUIRED EXITS	1 mb. (first floor on each unit)	
	1 mb. (upper floor of each unit)	
MIN. STAIR WIDTH		
1st FLOOR INDUSTRIAL:		
REQUIRED	4.5 ft minimum (4.5 persons)	SA.2.2.174
PROVIDED:	1/2" clear (200 mm) min. per unit	
	1/2" clear at each unit	
2nd FLOOR RESIDENTIAL:		
REQUIRED	1/2" clear (125 mm) each unit	SA.2.2.175
PROVIDED:	1/2" clear (125 mm) at each unit	
MIN. STAIR WIDTH		
REQUIRED	5 ft (1500 mm)	SA.2.2.2
PROVIDED:	5 ft (1500 mm)	
EXT. THROUGH-LOBBY		
REQUIRED	NO	SA.2.2
PROVIDED:	NO	SA.2.18
EXT. EXPOSURE		
REQUIRED	OK	SA.2.13
PROVIDED:	OK	
MAX. TRAVEL DISTANCE	25m (80 feet)	SA.2.2.151
	25m (80 feet)	SA.2.2.152
EXT. RATINGS REQUIRED:		
STAR SHIELD	no rating	
COMMENTS:		

TENANTS / MAJOR OCCUPANCIES		
GROUP F2 TO F2	4 HR	3.1,10.2.1)
GROUP F2 TO C	2 HR (4HR PROVIDED)	3.1.2.1
GROUP C TO C	2 HR	3.1,10.2.2)
SERVICES ROOMS	1 HR	3.6.2.
JANITOR ROOM	UNRATED F.R.R	3.2.1.2.1.3)

SOFT PROTECTION	N/A	3.2.3.16
FLAME SPREAD RATINGS	COMPLY WITH:	3.1.13.2
METAL DECK ASSEMBLIES	N/A	3.1.14.2
ROOF COVERING CLASSIFICATION	CLASS "A"	3.1.15.2
ATTIC FIRE BLOCKS	NOT REQ'D	3.1.1.5
MAX. ATTIC AREA	300 sm	3.1.1.5
MAX. CRAWLSPACE AREA	N/A	3.1.1.5
CONCEALED FLOOR AREA	N/A	3.1.1.5

<p><b>FIRST FLOOR INDUSTRIAL:</b></p> <p>EACH TENANT TO CONFIRM WASHROOM REQUIREMENTS TO SUIT THEIR NEEDS. ALL WASHROOMS TO BE CONTAINED WITHIN TENANT'S SPACES (N/A - SEPARATE LEASEHOLD IMPROVEMENT APPLICATIONS REQUIRED FOR EACH INDUSTRIAL UNIT)</p> <p><b>SECOND FLOOR RESIDENTIAL:</b></p> <p>2 WASHROOMS PROVIDED FOR EACH UNIT (MIN. 1 WASHROOM REQ'D PER UNIT)</p>
--

	REQUIRED	PROVIDED
ACCESS TO 1ST FLOOR ENTRANCES	YES	YES
ACCESS TO ALL FLOORS	NO	NO
ACCESSIBLE WASHROOM (INDUSTRIAL UNITS)	YES	YES (LAYOUTS PROVIDED BY TENANTS)

2017-05-30  
revised DP dwgs

No.	Date	Resicion

No.	Date	Revisions
1	2014-09-08	submitted for reporting
2	2014-12-07	OP substitution
3	2017-05-30	revised OP steps to Adams



Project Title  
**2-STOREY HOLLYWOOD ROAD  
INDUSTRIAL DEVELOPEMENT  
(9 UNITS)**  
205 LOUGHEED ROAD NORTH KILOMNA

Case Study 1



MEIKLEJOHN ARCHITECTS INC.

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Date	2017-02-26
Job No.	HW-12-1528
Scale	AS SHOWN
Drawn	SA
Checked	SA

Drawing Title  
**CODE REVIEW**

A1.01

DRAWINGS ARE NOT TO BE SCALED.  
ALL DIMENSIONS SHALL BE REPORTED ON X30

# SCHEDULE

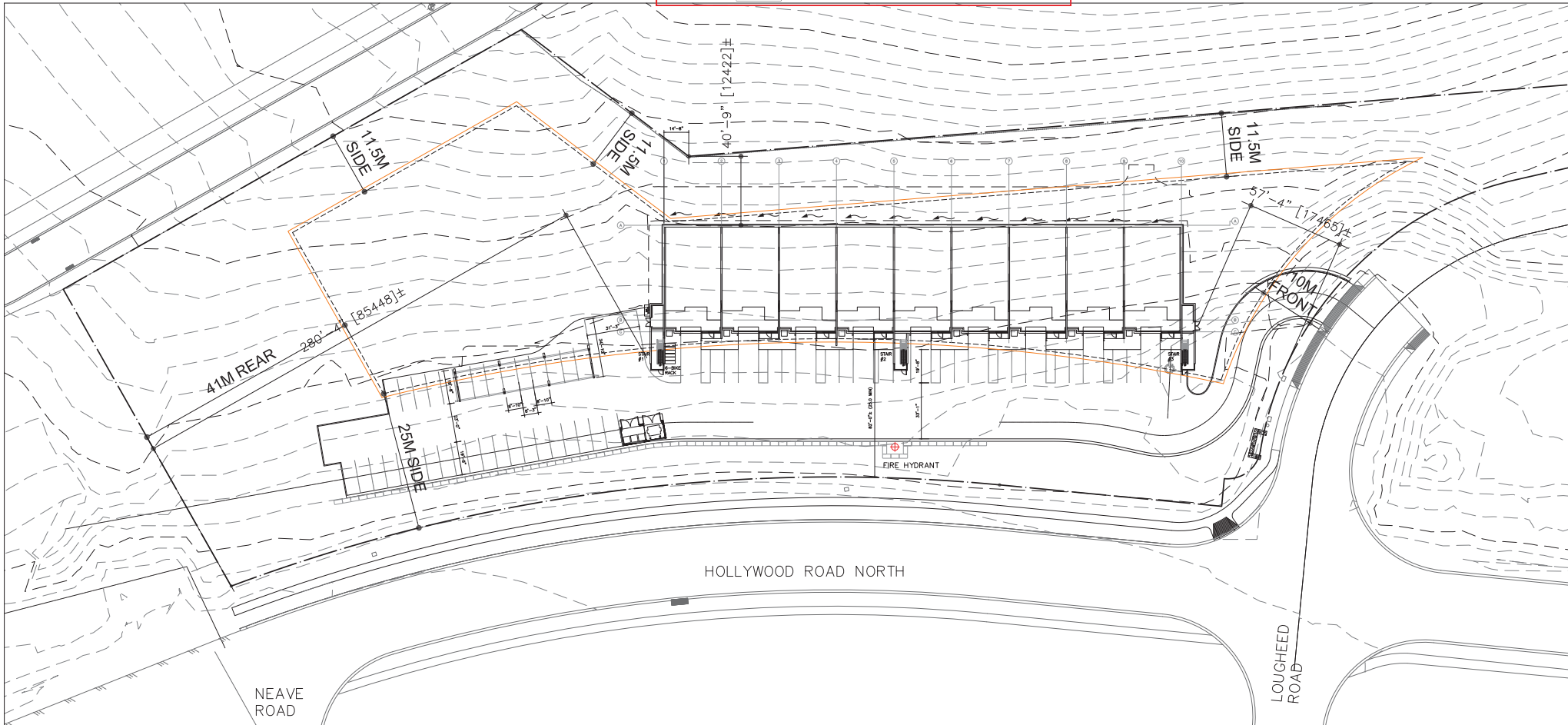
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This forms part of application  
# DP14-0204-01

Planner  
Initials

AC

City of  
**Kelowna**  
COMMUNITY PLANNING



2017-05-30  
revised DP dwgs

No.	Date	Revisions
1	2017-05-30	Initial design
2	2017-05-30	Revised design
3	2017-05-30	Revised design
4	2017-05-30	Revised design
5	2017-05-30	Revised design
6	2017-05-30	Revised design
7	2017-05-30	Revised design
8	2017-05-30	Revised design
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9	2017-05-30	Revised design
10	2017-05-30	Revised design



Project Title  
2-STOREY HOLLYWOOD ROAD  
INDUSTRIAL DEVELOPMENT  
(9 UNITS)

205 LOUGHEED ROAD NORTH KELLOWNA

Consultant's Seal

Consultant's Seal

**m+m a**  
MEIKLEJOHN ARCHITECTS INC.

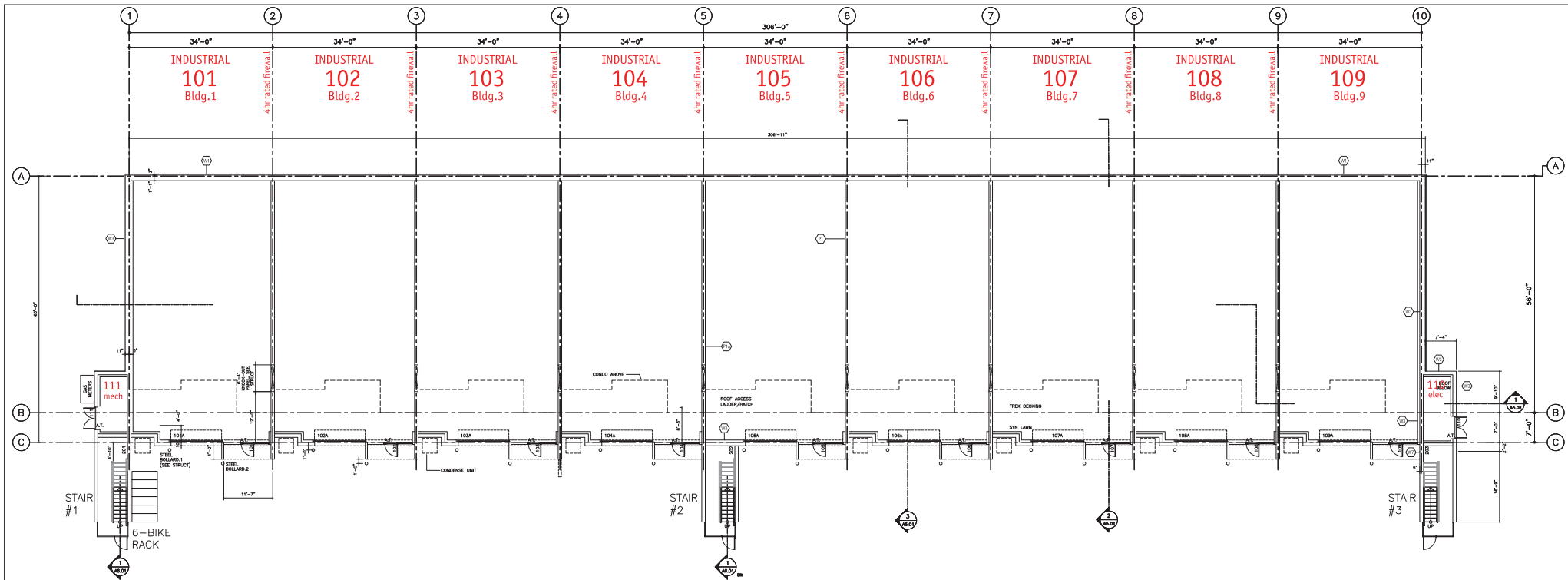
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Drawing Title  
**Site Plan**

Drawing Number  
**A2.01**

1"=20'

REVISIONS AND NOT TO BE SCALE.  
ALL DIMENSIONS SHALL BE VERIFIED ON-JOB.



# SCHEDULE

A

This forms part of application

# DP14-0204-01



City of  
**Kelowna**  
COMMUNITY PLANNING

2017-05-30  
revised DP dwgs

No.	Date	Revisions
1	2017-05-30	Revised for planning
2	2017-05-30	Revised for planning
3	2017-05-30	Revised for planning

No.	Date	Revisions
1	2017-05-30	Revised for planning
2	2017-05-30	Revised for planning
3	2017-05-30	Revised for planning



Project Title  
2-STOREY HOLLYWOOD ROAD  
INDUSTRIAL DEVELOPMENT  
(9 UNITS)  
205 LOUGHEED ROAD NORTH KELLOWNA

Consultant  
MEIKLEJOHN ARCHITECTS INC.

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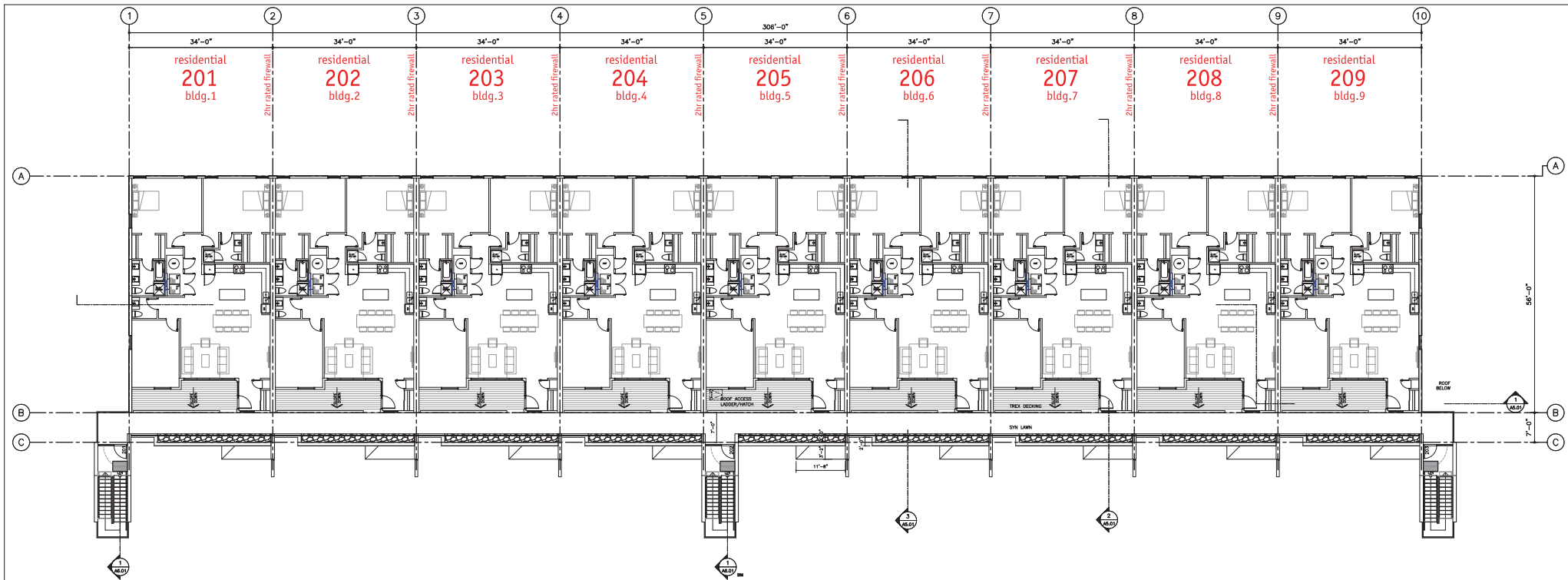
Consultant  
MEIKLEJOHN ARCHITECTS INC.

Planner  
Initials

AC

A3.01

EXAMINER'S SEAL AND SIGNATURE REQUIRED  
ALL EXAMINATIONS SHALL BE FORWARDED TO THE



# SCHEDULE A

This forms part of application  
# DP14-0204-01



City of  
**Kelowna**  
COMMUNITY PLANNING

Planner  
Initials **AC**

2017-05-30  
revised DP dwgs

No.	Date	Description
1	2017-05-30	Revised for meeting
2	2017-05-30	Revised for meeting
3	2017-05-30	Revised for meeting

No.	Date	Description
1	2017-05-30	Revised for meeting
2	2017-05-30	Revised for meeting
3	2017-05-30	Revised for meeting



TRUE  
NORTH  
Project Title  
2-STOREY HOLLYWOOD ROAD  
INDUSTRIAL DEVELOPMENT  
(9 UNITS)  
205 LOUGHEED ROAD NORTH KELOWNA

Consultant Seal

MEIKLEJOHN ARCHITECTS INC.  
205 LOUGHEED ROAD NORTH KELOWNA  
BC V8Y 1K5  
TEL: 250.860.1234  
FAX: 250.860.1235  
WWW.MEIKLEJOHN.COM

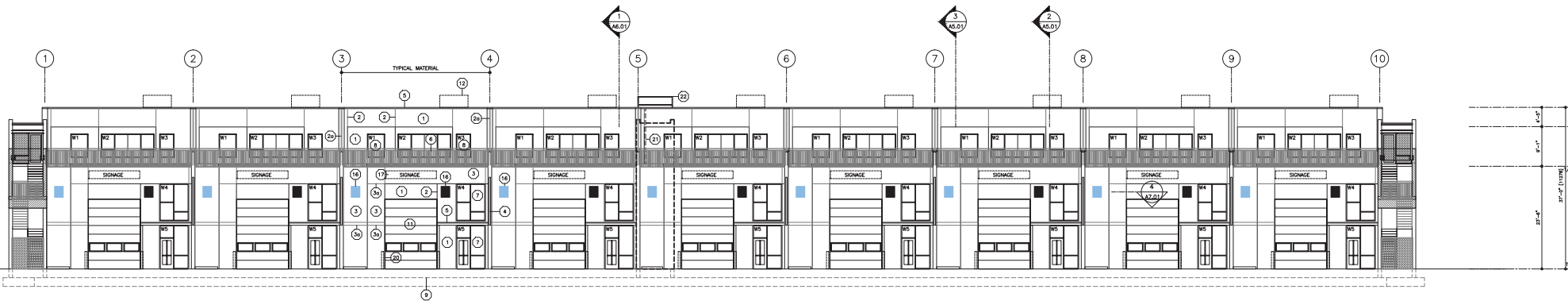
**m+m a**  
MEIKLEJOHN ARCHITECTS INC.

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Date: 2017-05-30  
Scale: 1/8" = 1' 0"  
Sheet: 20  
Checked: [Signature]

Drawing Title  
**LEVEL 2  
RESIDENTIAL**  
1/8" = 1' 0"

Drawing Number  
**A3.02**  
REVISIONS ARE NOT TO BE MADE  
ALL REVISIONS SHALL BE NOTED ON JOB





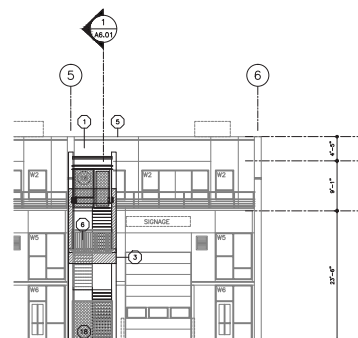
East Bldg Elev 1

#### ELEVATION KEY NOTES LEGEND

ALL COLOURS TO BE CHOSEN BY ARCHITECT FROM APPROVED PRODUCT MANUF.'S STANDARD LINE OF COLOURS (PROVIDE SAMPLES OF ALL MATERIALS FOR COLOUR SELECTIONS/FINISHES)

- 1 STUCCO FINISH (MIN. 5 CONTRASTING COLOURS-SEE COLOUR BOARDS)
- 2 STUCCO REVEALS
- 20 PREFIN METAL FLASHING REVEAL @ FIREWALLS
- 3 CONC WALLS C/W SACK RUBBED/PAINTED FINISH
- 30 SAWCUT CONC. REVEAL (OR EQUAL - CONC FINISHER TO CONFIRM & ADVISE)
- 4 PREFIN. ILLUMINATED 'BLADE' SIGNAGE
- 5 PREFINISHED METAL FLASHING
- 60 GUARDRAIL WITH PAINTED STEEL BARS
- 7 ALUM STOREFRONT WINDOW-DOOR FRAMES/LOW E CLEAR GLAZING
- 8 VINYL WINDOWS/LOW E CLEAR GLAZING
- 9 FOOTING LINES BELOW GRADE (SEE STRUCT)

- 10 EXISTING GRADES (V.D.S.)
- 11 PAINTED OH SECTIONAL DOOR
- 12 HVAC UNIT (SEE MECH.)
- 13 LINE OF FINISHED GRADE (SEE CIVIL)
- 14 LINE OF FOUNDATION WALL BEYOND
- 15 PAINTED METAL DOOR
- 16 PREFIN METAL LOUVERS / VENTS (SEE MECH.)
- 17 FUTURE SURFACE MOUNTED SIGN (PROVIDE POWER - SEE ELECT.)
- 18 STEEL MESH GATES / FENCE
- 19 GAS METER (SEE MECH.)
- 20 BOLLARDS (SEE STRUCT/DETAILS)
- 21 PAINTED STEEL ROOF ACCESS LADDER
- 22 PAINTED STEEL PIPE RAIL



Stair Entry 2

SCHEDULE B

This forms part of application  
# DP14-0204-01

Planner  
Initials

AC

**City of Kelowna**  
COMMUNITY PLANNING

2017-05-30  
revised DP dwgs

No.	Date	Description	No.	Date	Description
1	2014-04-04	Issued for marketing	1	2014-04-04	Issued for marketing
2	2014-04-07	DP submitted	2	2014-04-07	DP submitted
3	2014-04-20	revised DP dwgs to Admin	3	2014-04-20	revised DP dwgs to Admin

Project Title  
2-STOREY HOLLYWOOD ROAD  
INDUSTRIAL DEVELOPMENT  
(9 UNITS)  
200 LOUGHEED ROAD NORTH KILLOWNA

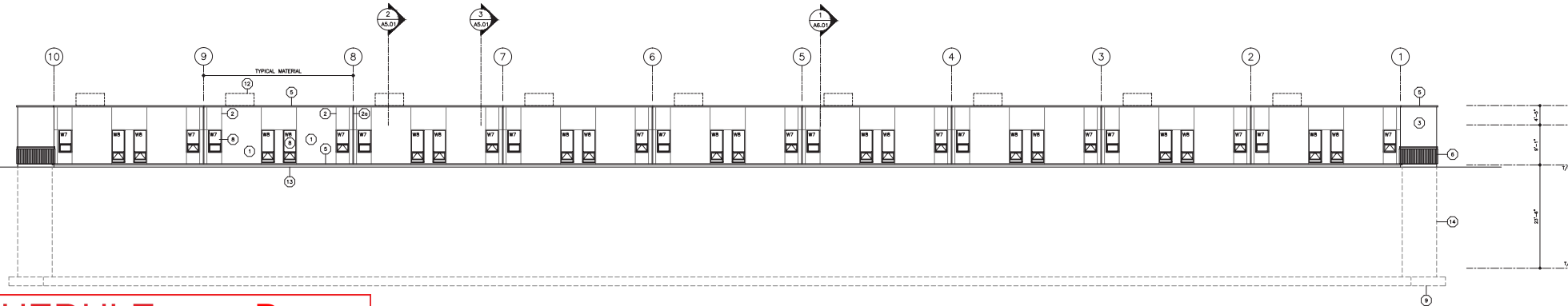
Consultant Seal

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Drawing Title  
Bldg Elevations  
1/8"=1' 0"

Drawing Number  
A4.01



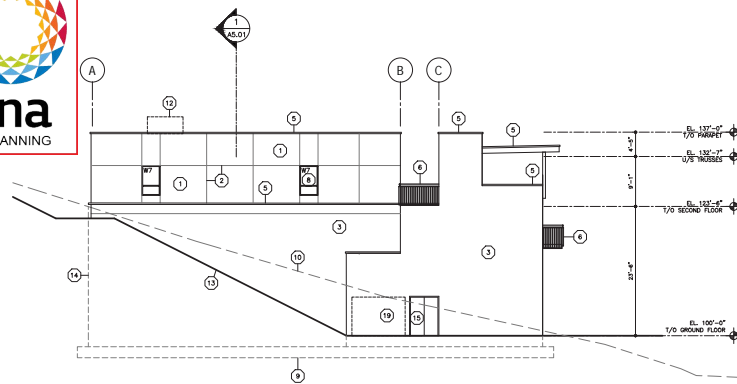
West Bldg Elev 6

**SCHEDULE B**

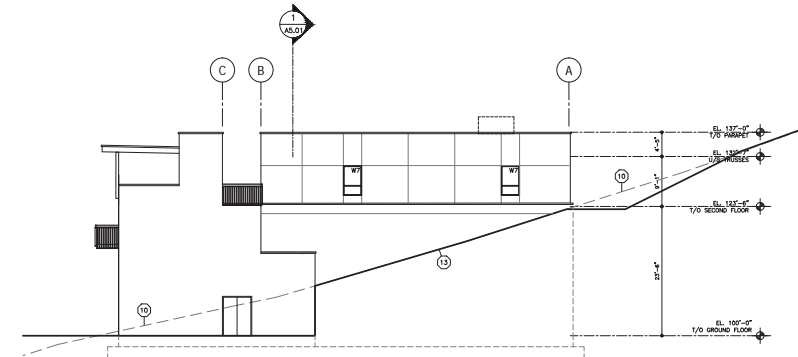
This forms part of application  
# DP14-0204-01

Planner Initials **AC**

**City of Kelowna**  
COMMUNITY PLANNING



South Bldg Elev 2



North Bldg Elev 5

2017-05-30  
revised DP dwgs

No.	Date	Revisions
1	2017-05-30	Issued for planning
2	2017-05-30	Issued for planning
3	2017-05-30	Issued for planning
4	2017-05-30	Issued for planning
5	2017-05-30	Issued for planning
6	2017-05-30	Issued for planning
7	2017-05-30	Issued for planning
8	2017-05-30	Issued for planning
9	2017-05-30	Issued for planning
10	2017-05-30	Issued for planning

Project Title  
2-STORY HOLLYWOOD ROAD  
INDUSTRIAL DEVELOPMENT  
(9 UNITS)

200 LOUGHEED ROAD NORTH KILLOWNA

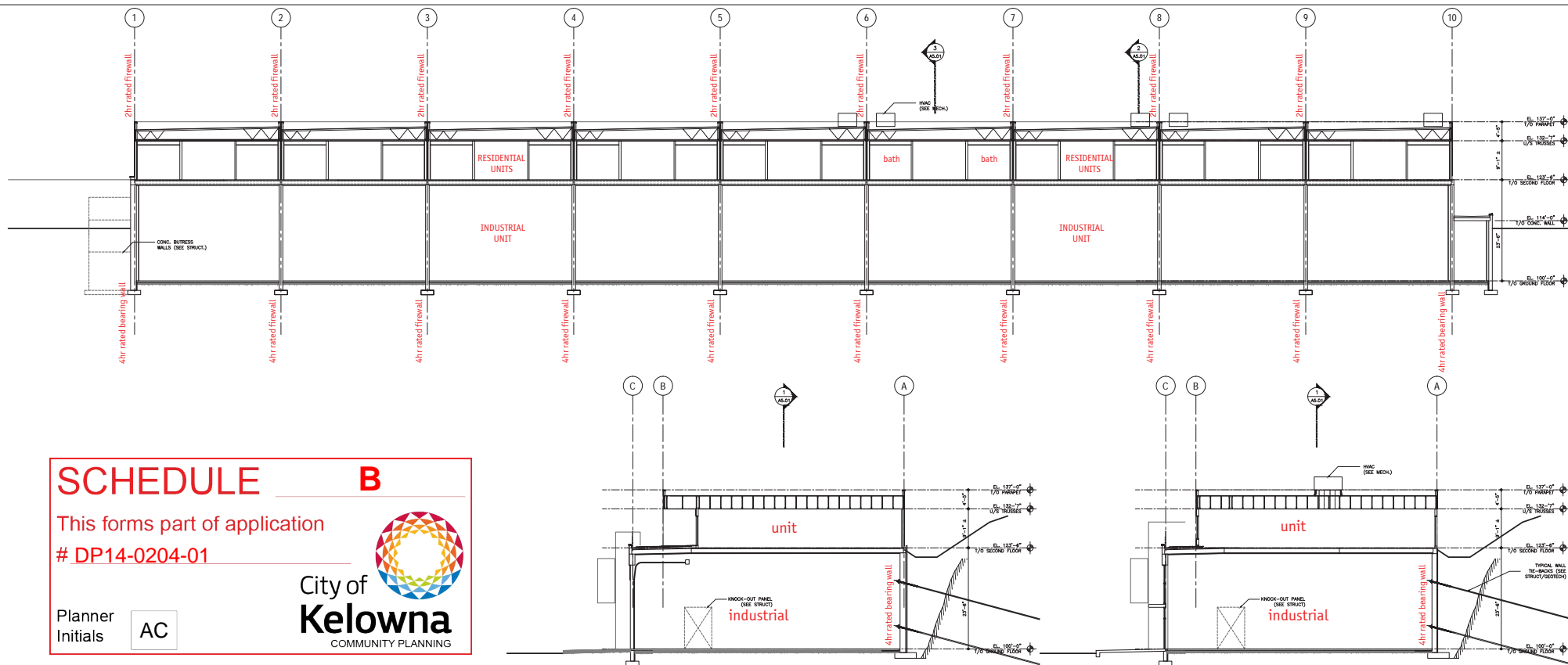
Consultant's Seal

**m+m**  
MEIKLEJOHN ARCHITECTS INC.

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written consent of Meiklejohn Architects Inc.  
Date: 2017-05-30  
Drawn by: J. M. M.  
Scale: 1/8"=1'-0"  
Sheet: 04  
Checked: JH

Building Title  
Bldg  
Elevations  
1/8"=1'-0"

Drawing Number  
**A4.02**  
REVISIONS AND NOTES TO BE RECORDED  
ALL DIMENSIONS SHALL BE INDICATED ON JOB



# SCHEDULE

This forms part of application  
# DP14-0204-01

Planner Initials **AC**

## B



City of  
**Kelowna**  
COMMUNITY PLANNING

2017-05-30  
revised DP dwgs

No.	Date	Revisions
1	2017-05-30	Initial design
2	2017-05-30	Revised DP dwgs to add

Project Title  
2-STOREY HOLLYWOOD ROAD  
INDUSTRIAL DEVELOPMENT  
(9 UNITS)  
200 LOUGHEED ROAD NORTH KILLOWNA

Consultant  
m+m  
MEIKLEJOHN ARCHITECTS INC.

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written consent of Meiklejohn Architects Inc.  
Date: 2017-05-30  
Drawn by: J. M. M.  
Scale: 1/8" = 1'-0"  
Sheet: 01  
Checked: J. M. M.

Building Title  
BUILDING  
SECTIONS

Sheet Number  
A5.01

REVISIONS AND NOT TO BE SCALE  
ALL DIMENSIONS SHALL BE INDICATED ON JUNE

Qty.	Botanical Name	Common Name	Size	Spacing
15	Acer Rubrum "Red Sunset"	Red Sunset Maple	75mm cal	
22	Gleditsia triacanthos inermis "Skyline"	Skyline Honeylocust	75mm cal	
19	Populus tremuloides	Trembling Aspen	75mm cal	
33	Pinus ponderosa	Ponderosa pine	2.0m ht	
11	Amelanchier alnifolia	Saskatoon	#2	2.0m OC
136	Eucornia alata compacta	Owlart Burning Bush	#2	1.0m OC
26	Malva sylvestris	Ornamental Grape	#2	1.0m OC
27	Perovskia atriplicifolia	Russian sage	#2	1.2m OC
18	Philadelphus lewisii	Mockorange	#2	2.0m OC
23	Rosa acicularis	Prickly Rose	#2	1.2m OC
26	Calamagrostis "Karl Foerster"	Karl Foerster Reed Grass	#3	1.0m OC
36	Festuca ovina 'Elijah Blue'	Elijah Blue Fescue	#1	0.6m OC
22	Helictotrichon sempervirens	Blue oat Grass	#2	1.0m OC
5	Clematis integrifolia	White Clematis	#1	
30	Rutbeckia hirta 'Goldsturm'	Goldsturm Gloriosa Daisy	#1	0.8m OC

- All plants, material and planting practices to conform to the BCLNA 'BC Landscape Standard' - Current Edition
- Contractor to provide a warranty and maintenance period of 1 year on all plants and materials. Plants and materials that fail before end of the warranty period shall be replaced by the contractor.
- The illustrated landscape plan is conceptual only and for construction. Contractor to verify the location of all existing utilities on the site.
- All planting areas to receive 450mm of topsoil, dryland grass areas 100mm of topsoil.
- Prior to delivery to site, a representative sample and test results of topsoil should be made available to the consultant for approval.
- No plant species substitution will be accepted without the written consent of the consultant.
- All planting beds to receive 75 mm depth of Ogo - Grow mulch.
- An automatic timed drip irrigation system to be installed in all planting areas.



LAWN BOULEVARD

## DRYLAND GRASS SEEDING

Grass Type	Percentage
Creeping Red Fescue	10
Annual Ryegrass	10
Fall Ryegrass	10
Hard Fescue	10
Tall Fescue	10
Slender Fescue	10
Perennial Ryegrass	10
Creeping White Grass	20

Seed mix to be certified P-1 Grade

Naturalized seeding in all disturbed areas to be feathered into existing landscape grasses

Retaining Wall  
Entry Feature  
See Civil Eng. Dwg.

Lougheed Road

Existing Fence

Hollywood Road North

## SCHEDULE

This forms part of application  
# DP14-0204-01

Planner Initials AC



City of Kelowna  
COMMUNITY PLANNING



Existing Hollywood Rd. N  
Streetscape Character

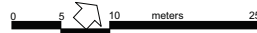
# NORTH LINK

# CONCEPTUAL LANDSCAPE PLAN



ENGINEERING PLANNING URBAN DESIGN

LP-01 MAY.2017 12094





COLLEGE  
HEIGHTS

Existing  
Residential

Existing  
Trees

Residential

Industrial

Hollywood  
Road

Existing  
Industrial

# SCHEMATIC SECTION<sub>nts</sub>

**SCHEDULE C**

This forms part of application

# DP14-0204-01

Planner  
Initials AC



CONTEXT




## CONCEPTUAL LANDSCAPE PLAN NORTH LINK

**CTQ**  
ENGINEERING PLANNING URBAN DESIGN

LP-02

MAY.2017  
12094



<b>SCHEDULE</b>		<b>C</b>
This forms part of application # DP14-0204-01		
Planner Initials	AC	 City of <b>Kelowna</b> <small>COMMUNITY PLANNING</small>

# NORTH LINK CONCEPTUAL LANDSCAPE

**PLAN**

**CTO**  
ENGINEERING PLANNING URBAN DESIGN

**LP-03**

**MAY.2017**  
12094





# RETAINING WALL-ENTRY FEATURE



## NORTH LINK CONCEPTUAL LANDSCAPE PLAN


**SCHEDULE C**

This forms part of application  
# DP14-0204-01

Planner Initials **AC**

City of **Kelowna**  
COMMUNITY PLANNING



<b>SCHEDULE C</b>	
This forms part of application # DP14-0204-01	
Planner Initials	AC
 <b>City of Kelowna</b> COMMUNITY PLANNING	

COST

TIME

QUALITY

2017.6.6

File: 12094

**Attention:** Mr. John Hertay –  
Watermark Ventures Ltd.

**Re:** NORTHLINK - LANDSCAPE DESIGN

Please find below, our preliminary soft landscape and irrigation cost estimate for NORTHLINK, based on the Landscape Concept Plans, prepared by CTQ Consultants Ltd.

North Link Preliminary Landscape Cost Estimate				
Description	Units	Quantity	Unit Price	Amount
Trees – deciduous 75mm cal	Each	56	\$ 500.00	\$ 28,000.00
Trees - coniferous 2.0m ht	Each	33	\$ 350.00	\$ 11,550.00
Massed shrubs (inc 450mm topsoil & mulch)	Square metre	300	\$ 60.00	\$ 18,000.00
Dryland grasss mix (inc 100mm topsoil)	Square metre	4300	\$ 7.00	\$ 30,100.00
Lawn boulevard (inc 100mm topsoil)	Square metre	470	\$ 15.00	\$ 7,050.00
Irrigation	lump sum	1	\$ 30,000.00	\$ 30,000.00
			<b>Total</b>	<b>\$ 124,700.00</b>

Should you have any questions regarding the foregoing, or require additional information, please contact the undersigned.

CTQ CONSULTANTS LTD.



Frank Pohland, BES  
Designer