

DEVELOPMENT PERMIT



APPROVED ISSUANCE OF DEVELOPMENT PERMIT DP17-0046

Issued To: Wyn Lewis / Marion Lewis
Site Address: 3240 Pooley Rd
Legal Description: Lot 2 Section 15 TWP 26 ODYD Plan 3379
Zoning Classification: A1 – Agriculture 1
Development Permit Area: Farm Protection Development Permit Area

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Development Permit No. DP17-0046 for Lot 2 Section 15 TWP 26 ODYD, Plan 3379, located at 3240 Pooley Road, Kelowna, BC to allow the construction of an addition to a winery building be approved subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A-1 to A-3";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B-1 to B-4";

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be

earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

None required.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

5. APPROVALS

Issued and approved by Council on the _____ day of _____, 2017.

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

Date

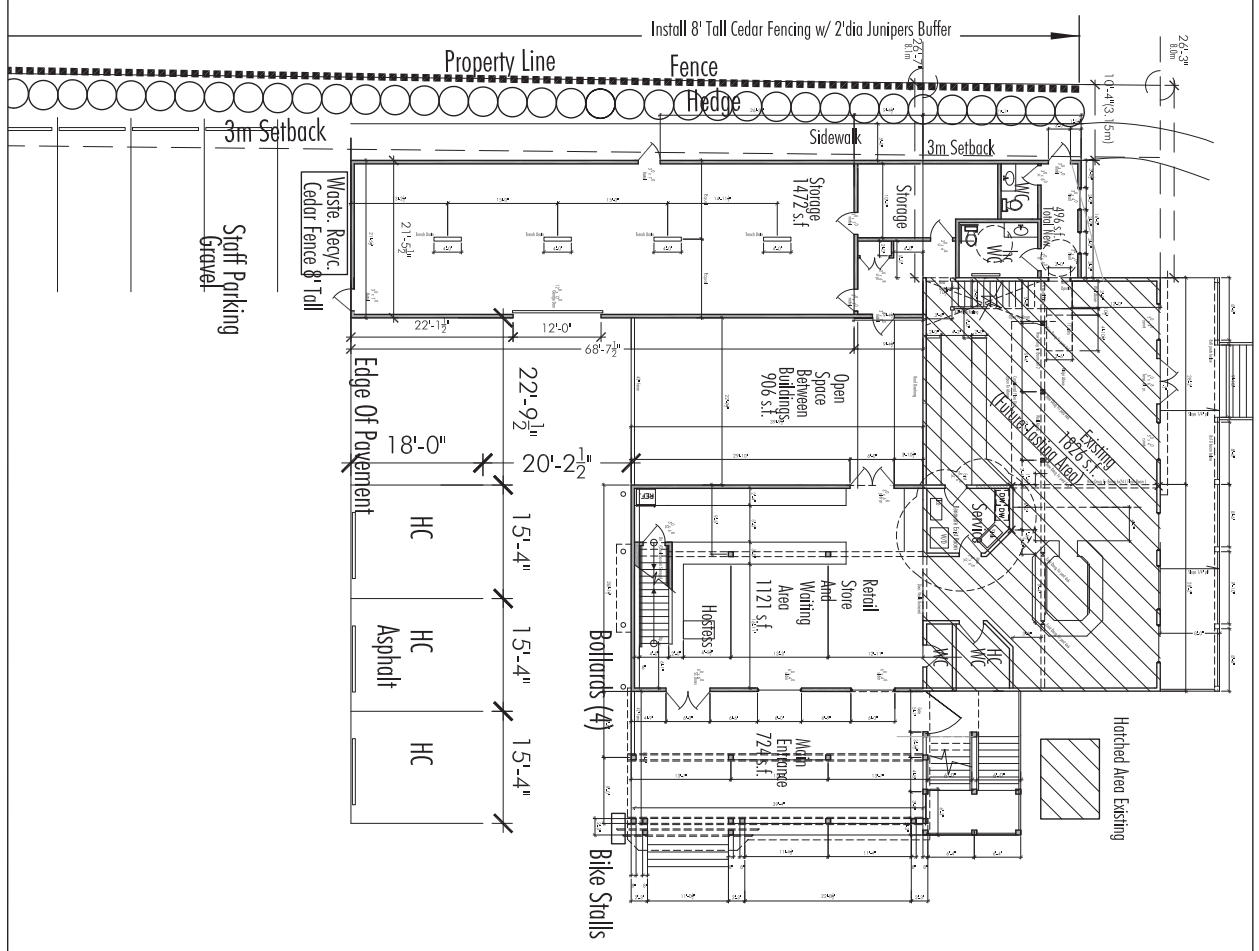
**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or his or her designates**

A-O

SCHEDULE A2

This forms part of application
DP17-0046

Planner
Initials MS



1 MAIN
A-2b 1/16" = 1'-0"

Proposed
Main
Plan
A-2b

lot 2 Plan 3379
DRAWN BY: KH
PROJECT: 07-13
FILE:
ISSUE DATE: 11/22/16
Drawing Issued

3240
Pooley Rd.
Kelowna
British Columbia

Vibrant
Vines

2416 Mountain Hillside Lane
West Kelowna
B.C. V1T 3H5
250-579-0390

KH
DESIGNS
INC.

SCHEDULE

A3

This forms part of application

DP17-0046

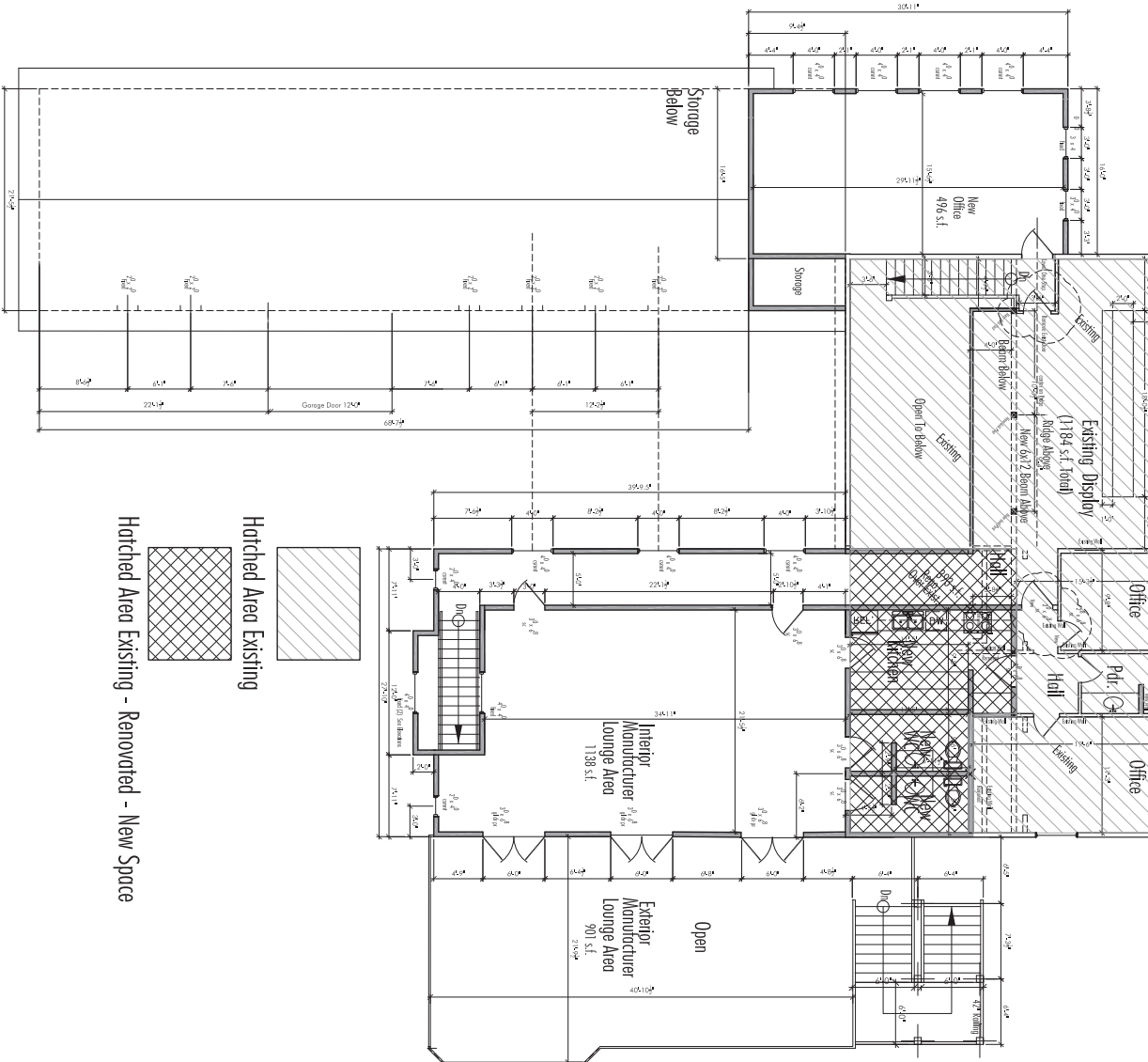
Planner
Initials

MS

City of

Kelowna

COMMUNITY PLANNING

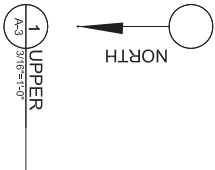


Upper Floor Area

Existing Area:	1184 s.f.
New Areas:	
Renovated Over Existing:	393 s.f.
New Office Area:	496 s.f.
New North Upper Floor:	1138 s.f.
Total New Area:	2027 s.f.

Hatched Area Existing

Hatched Area Existing - Renovated - New Space



KH
DESIGNS

2416 Mountain Hollow Lane
West Kelowna
B.C. V4T 3H5
250-579-0390

Vibrant
Vines

3240
Pooley Rd.
Kelowna
British Columbia

Lot 2 Plan 3379

DRAWN BY: KKH
PROJECT: 07-13
FILE:
ISSUE DATE
Drawing Issued: 11/22/16

Proposed
Upper
Plan
A-3

SCHEDULE B1

This forms part of application

DP17-0046

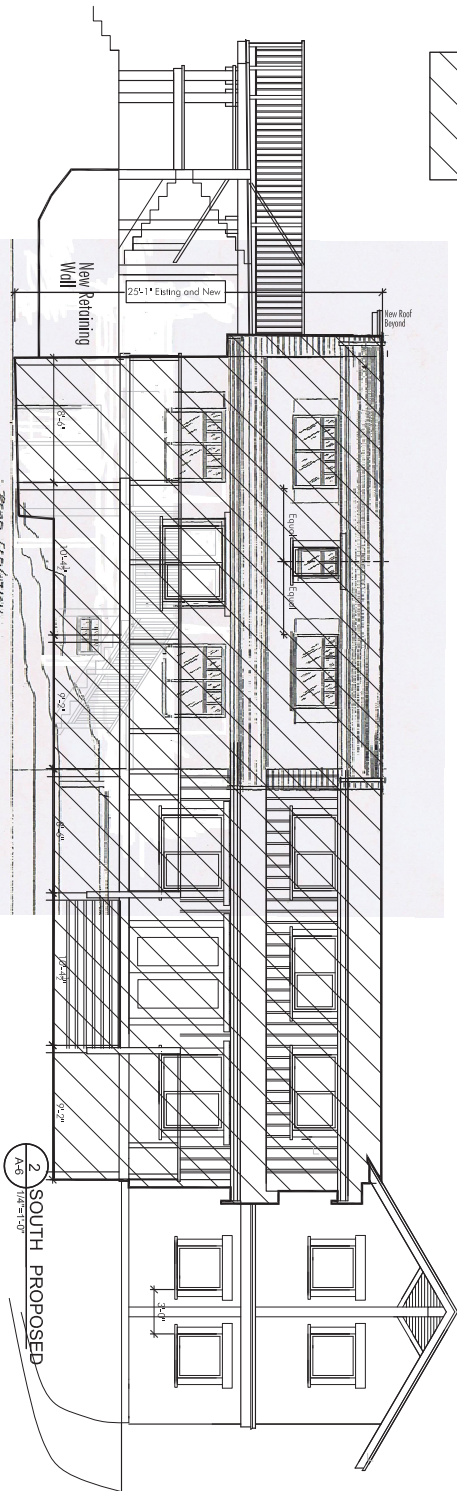
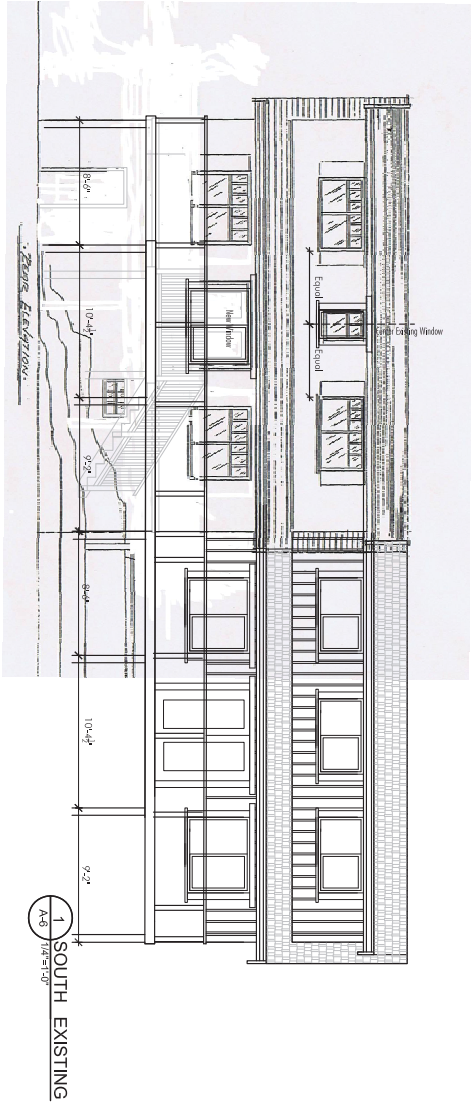
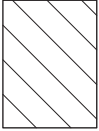
Planner
Initials

MS

City of
Kelowna
COMMUNITY PLANNING



Hatched Area Existing



KH
DESIGNS

216 Mountain Valley Lane
West Kelowna
B.C. V4L 3K5
250-575-0570

Vibrant
Vines

3240
Pooley Rd.
Kelowna
British Columbia

Lot 2 Plan 3379

DRAWN BY: KH
PROJECT: 07-13
FILE:
ISSUE: DATE
Drawing Issued 7/27/17

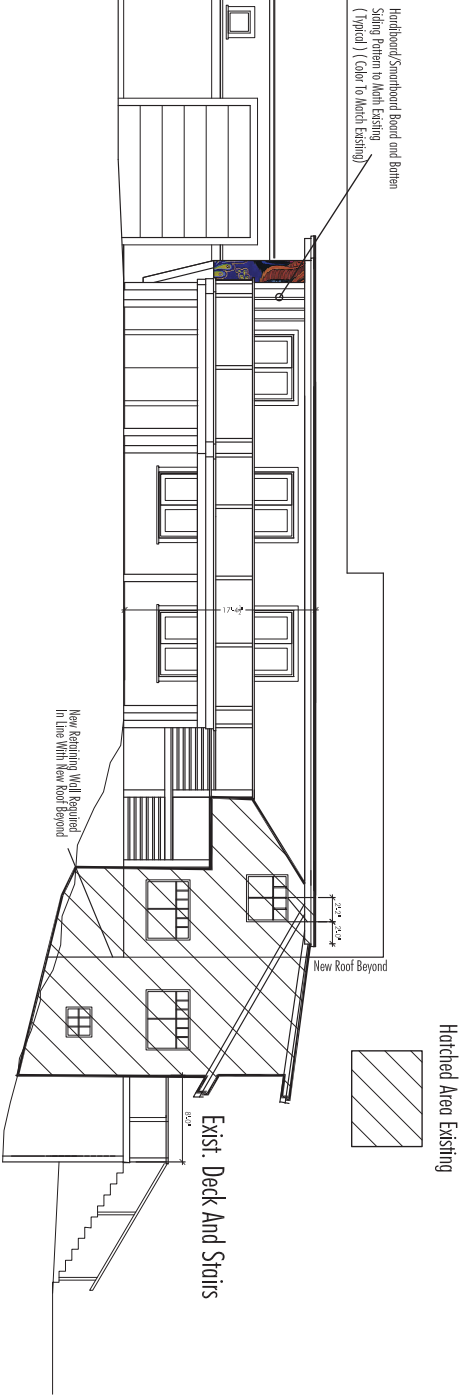
Proposed
Elevations

A-6

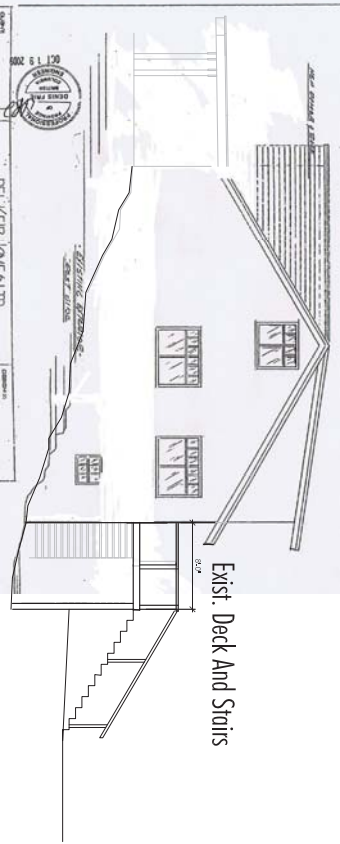
SCHEDULE B2

This forms part of application
DP17-0046

Planner
Initials MS



Added Siding to Match Existing
Siding and Shingles Shown to Match Existing
Added Deck and Stairs to Match Existing
Added Deck and Stairs to Match Existing
Added Deck and Stairs to Match Existing



2416 Mountain Ridge Lane
West Kelowna
B.C. V1T 3H5
250-739-0390

Vibrant
Vines

3240
Pooley Rd.
Kelowna
British Columbia

Lot 2 Plan 3379

DRAWN BY: KH
PROJECT: 07-13
FILE:
ISSUE DATE
Drawing Issued: 07/27/17

Proposed
Elevations

A-7

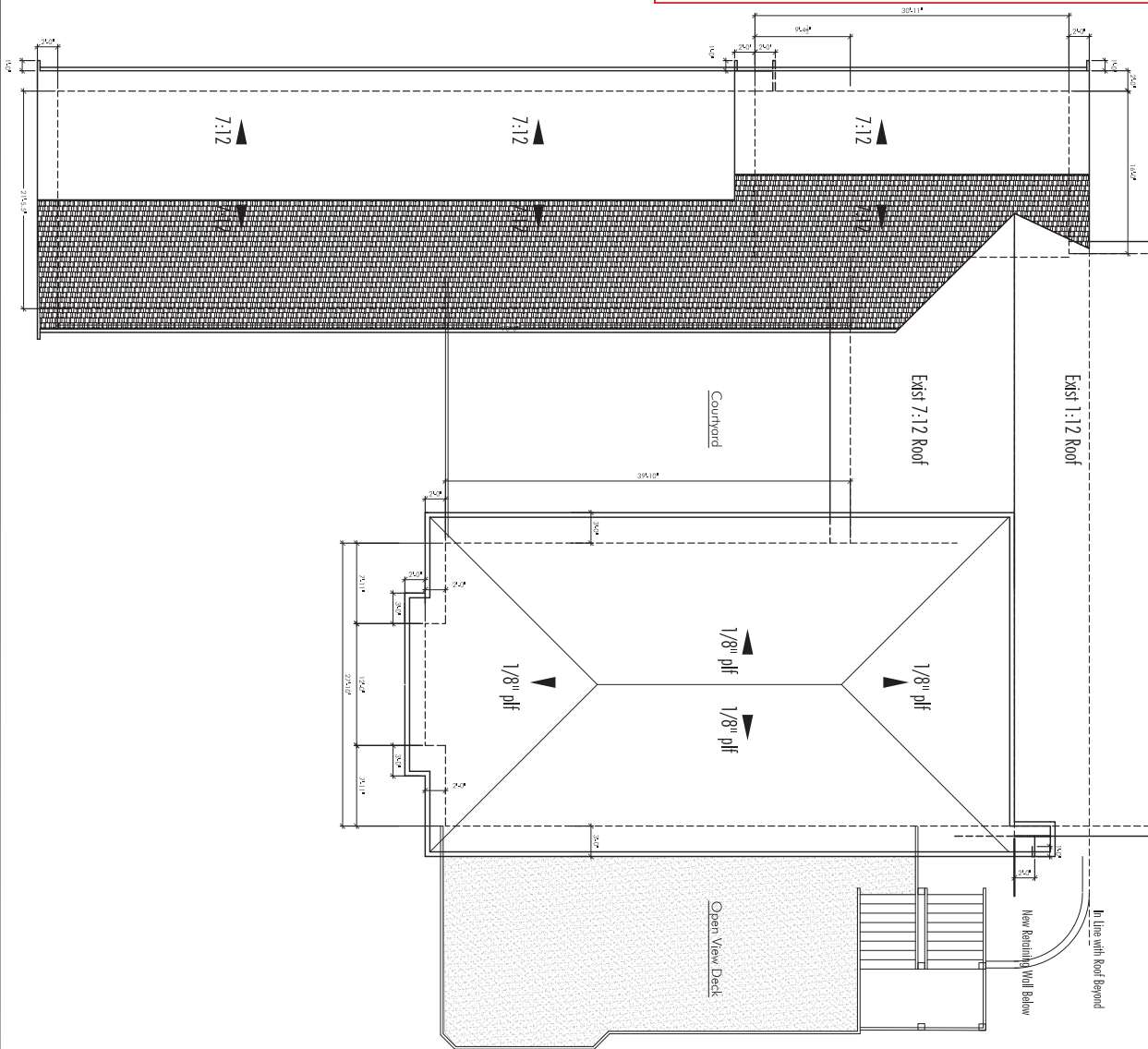
SCHEDULE B3

This forms part of application
DP17-0046

Planner
Initials

MS

City of
Kelowna
COMMUNITY PLANNING



1 ROOF
A-4 3/16=1'-0"

KH
DESIGNS
INC.

2416 Mountain Ridge Lane
West Kelowna
B.C. V4T 3H5
250-379-0290

**Vibrant
Vines**

3240
Pooley Rd.
Kelowna
British Columbia

Lot 2 Plan 3379

DRAWN BY: KH
PROJECT: 07-13
FILE:
ISSUE DATE
Drawing Issued 7/05/17

Proposed
Roof
Plan
A-4

SCHEDULE

B4

This forms part of application

DP17-0046

Planner
Initials

MS



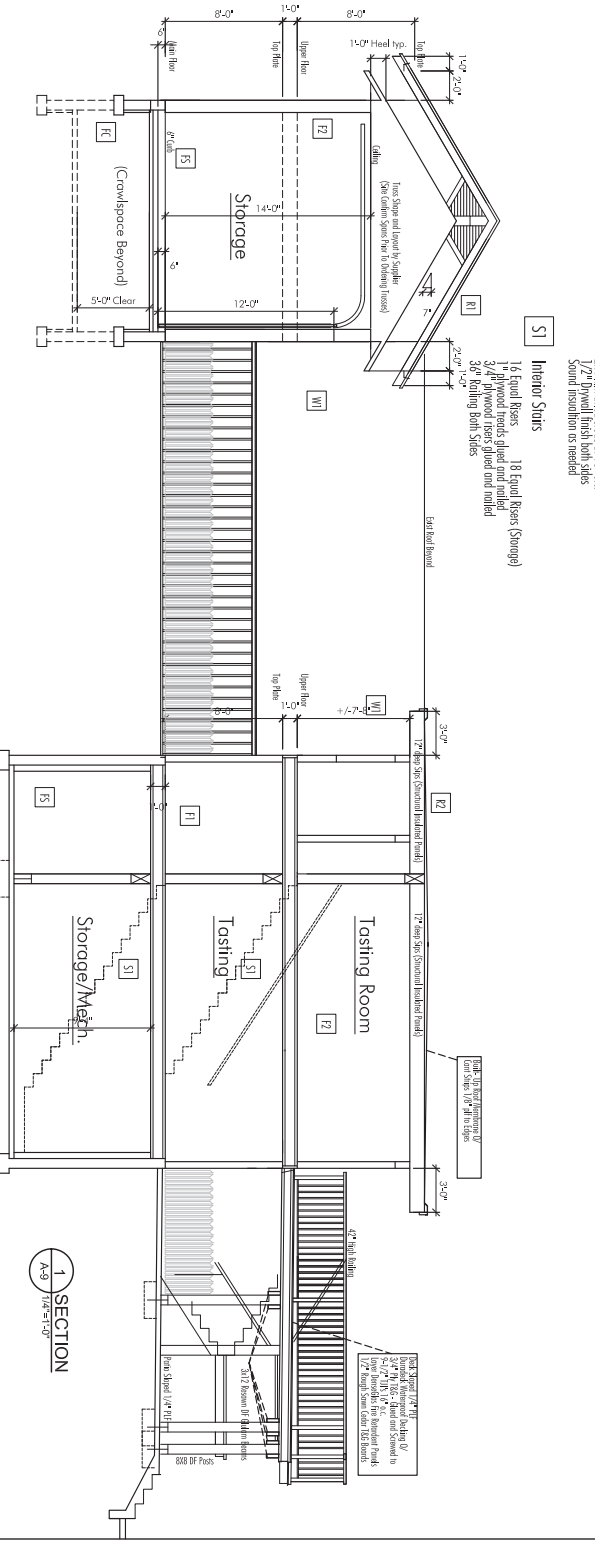
City of
Kelowna
COMMUNITY PLANNING

General Notes:

1. Contractor and Schedules to insure that all workmanship complies with the latest issue of B.C.C., B.C.C., local bylaws and regulations.
2. This set of drawings is the property of the owner. Third Party Transfer is prohibited.
3. All concrete strengths shall be specified 140's after 28 days.
4. Double all cripples under load bearing linths.
5. Solid blocking or Double Joists to be under all parallel joistlines over 6' long.
6. Solid blocking in joist carries under paint looks.
7. All Exterior Linth and Load Bearing Beams to be #2 Douglas fir or better.
8. All Windows, Gliders and Partitions to be checked and approved by supplier and or structural engineer.
9. Actual on-site construction may vary from architectural drawings due to site conditions.
10. Finish of all horizontal changes in exterior finishing and walls around of exterior openings.
11. Finish over of unpierced openings.
12. Highlighted symbols shown required to be located in each bedroom and one on every level.
13. Carbon Monoxide Detector to be located 5m max from every bedroom door.
14. Mechanical HVAC checks to be completed at framing inspection.

Specifications:

- R1 Truss Roof:** 7:12
1/2"x4" board ceiling
6mil IV poly vapour barrier taped and sealed
1/2" polyisocyanurate insulation - batten or spray foam where needed
Peel and Stick membrane in valleys and eaves
Roofing felt under deck
Iko Armour Shingles 50 year Lifetime Shingles or Metal Roof
Vented soffit and upper ridge area
- W1 Exterior Walls:**
2x6 hip steel studs at 19.5"/16" or 24" o.c.
2x10 Rip Studs @ 16" o.c. or High Wall Storage
1/2" Plywood Sheathing
2 layers 30 lb Paper
Hardboard Paneling (Match east board and batten pattern)
R24 Fibreglass Batt Insulation
6mil IV poly vapour barrier taped and sealed
1/2" Drywall Finish
- D1 Decks:**
Durable Waterproof Membrane
3/4" Ply
9.5" TJS 16" o.c.
Densplate fire Retardant Layer
R4g 1x6 boards tongue and groove to match existing
3x9 aluminum Beams Finish
- W2 Interior Bearing Walls:**
2x6 hip steel studs at 16" o.c.
1/2" Drywall finish both sides
Sound insulation as needed
- W3 Interior Non-Bearing Walls:**
2x4 hip steel studs at 16" o.c.
1/2" Drywall finish both sides
Sound insulation as needed
- S1 Interior Stairs:**
1x6 Equal Beams 18 Equal Risers (Storage)
1" Plywood Decking finished and sealed
3/4" plywood risers glued and nailed
3x6 Beaming Both Sides
- R2 12" Sips Panel Roof 0.12:**
Built Up Roof Membrane Over
Girt Strips at 1/8" off to outer edges
- F2 Upper Floor:**
Finish Floor Material
plywood subfloor
3/4" 18s sheathing glued and banded nailed
11-7/8" TJS (Framing Engineer to Confirm)
sound proofing as needed
- F1 Main Floor:**
Finish Floor Material
plywood subfloor
3/4" 18s sheathing glued and banded nailed
11-7/8" TJS (Framing Engineer to Confirm)
sound proofing as needed
- F5 Storage Floors:**
Finish Floor Material
5" Reinforced Concrete slab
6mil poly vapour barrier
3" rigid foam Under slab, 1" at edges and 2" inside edge of foundation
16" Min Compact Granular Fill
- F6 CondSPACE Floors:**
Finish Floor Material
6mil poly vapour barrier
2" Reinforced Concrete slab
18" Min Compact Granular Fill



GENERAL NOTES:

1. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
2. The Contractor shall be responsible for obtaining all necessary materials and labor for the project.
3. The Contractor shall be responsible for obtaining all necessary insurance and bonding for the project.
4. The Contractor shall be responsible for obtaining all necessary safety equipment and training for the project.
5. The Contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
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19. The Contractor shall be responsible for obtaining all necessary insurance and bonding for the project.
20. The Contractor shall be responsible for obtaining all necessary safety equipment and training for the project.



KH
DESIGNS
CUSTOM
RESIDENTIAL
DESIGN
2416 Mountain Highway Lane
West Kelowna BC
V4T 3H5
250-579-0590

Vibrant
Vines

3240
Pooley Rd.
Kelowna
British Columbia

Sections/
General
Notes
A-9

lot 2 Plan 3379
DRAWN BY: KKH
PROJECT: 10-16
FILE:
ISSUE: DATE
Drawing Issued: 07/27/17
SCALE:

ATTACHMENT 'A'

CITY OF KELOWNA

MEMORANDUM

Date: March 28, 2017
File No.: DP17-0046
To: Subdivision, Agriculture & Environment (MS)
From: Development Engineering Manager (SM)
Subject: 3240 Pooley Road Farm Protection DP

The Development Engineering comments for a Farm Protection DP for the modifications to the winery building are as follows

The requirements for setbacks and Building Code related issues must be considered. Development Engineering will defer comment on those and other issues to Building & Permitting and the City Subdivision, Agriculture & Environment Manager.

Domestic water and fire protection.

The subject property is within the service area of the South East Kelowna Irrigation District (SEKID). Servicing including the utilisation of existing services or proposed service upgrades as well as fire protection requirements will be reviewed by Building & Permitting.

Sanitary Sewer.

This subject property is currently not within the City service area. Sanitary sewage is handled by on-site wastewater disposal system(s). The existing on-site system(s) are not shown on the submitted Site Plan. The application will be reviewed by a Licenced Wastewater Practitioner and Building & Permitting.

Steve Muenz, P.Eng.
Development Engineering Manager
JF



Mould Engineering

April 7, 2017

South East Kelowna Irrigation District
PO Box 28064
Kelowna BC V1W 4A6

ATTN: Toby Pike, Manager

Dear Toby:

**Re: 3240 Pooley Road – Lot 2, Plan 3379 – Vibrant Vines
Proposed Southern Building Addition
Development Permit Application – DP17-0046**

As requested, we have examined the water supply considerations and fire flow requirements for the above-noted proposed building addition. The following analysis is based on drawings prepared by KH Designs Inc., and dated November 22, 2016. It should be noted that this review was completed for the southern building only. This is the second known addition to this building; the first being in 2014. In the previous review it was noted that the northern, larger building (Okanagan Villa Estate) is being used for more than residential use. As a result, it was suggested that the District re-assess the service classification in 2014, and this recommendation is still valid.

Our comments for the southern building are as follows:

1. The building is located on Lot 2, Plan 3379, on Pooley Road, as shown on the attached map. The property is currently zoned A1 (Agricultural) and has two existing buildings: one larger building (Okanagan Villa Estate) on the northern portion of the lot and one smaller building on the southern portion of the lot. The southern building is currently used as a wine shop and tasting room. An addition and attic renovation was previously completed in 2014. Although the area is rural, the three-storey building is considered commercial and will include areas for storage, wine tasting, retail, office space and a lounge.
2. The development application package indicates on-site manufacturing, but doesn't state design water demands. Upon further inquiries, the civil consultant (CTQ) has advised that the owners have stated that there will be no wine production or kitchen facilities on site. It is understood that the principal water usage will be from washrooms and dishwashers for the wine tasting. It is estimated that the maximum daily flow requirements will be 1.9 – 3.2 lps (30 – 50 USgpm). Based on these assumptions, the demand can be supplied by the Hydraulic Creek source and the existing distribution system.

3. The District currently supplies the lot with three services; of which there is a 19mm diameter domestic service for the southern building, supplied from the 350mm AC watermain along Pooley Road. The service is not sufficiently sized to supply the required flows; the proposed development requires a new 50 mm service to supply the building. The existing service to the property must be removed and the corporation stop shut off at the main. In addition, a 25 mm positive displacement meter complete with remote readout and backflow prevention device should be installed in the mechanical room of the building. Design drawings for the mechanical room and meter installation must be reviewed and approved by the District.
4. Through discussions with CTQ, it has been confirmed that there is no sprinkler system or fire wall proposed. Therefore, the estimated fire flow requirement for the building is 9,000 lpm (2,378 USgpm) for a 2.0 hour duration in accordance with the Fire Underwriters Survey Guidelines (see attached sheet). Two hydrants will be necessary to disperse this flow as design standards limit a single hydrant to 95 lps (1500 USgpm). The water supply review for the 2014 expansion erroneously stated that the hydrants must be within 300 m of the building. This distance is a standard that is used for rural residential properties requiring less volume, and not commercial operations. The City of Kelowna standard distance for commercial buildings is 90 m.

There are currently no hydrants within 90 m of the southern building. Two new hydrants will be required and can be located on Pooley Road. With these two hydrants, the water system will be capable of supplying the required fire flow for the southern building.

5. The Capital Expenditure Charges (CEC) estimated for the building addition are usually based on the additional floor area only. However, what was actually built in 2014 differs from the CEC's charged. The drawings by KH Designs (dated November 3, 2013) show a crawl space and single storey addition only, with a deck on the upper floor. The new 2016 drawings show that an upper floor loft was built instead, and therefore, the additional area (52 m²) will be added to the CEC's. The CEC's and additional costs are as follows:

Commercial Building with No Sprinkler System:

1. Ground Floor Area:	104 m ²
Main Floor Area:	291 m ²
Second Floor Area:	172 m ²
<u>Additional Area (2014):</u>	<u>52 m²</u>
TOTAL AREA:	619 m²

First 250 m ² (Minimum Charge)	\$	5,000
Over 250 m ² (Remaining 369 m ² at \$30/m ²)	\$	11,070
Total CEC	\$	16,070

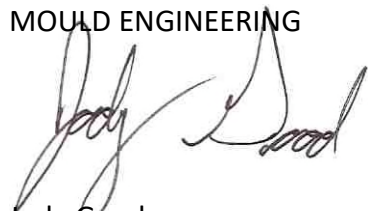
Plus Additional Costs:

2. Fire Hydrant Assembly and Installation (2 at \$8,500 ea)	\$	17,000
3. 19 mm Service Removal & New 50 mm Service Installation	\$	\$4,000
4. 25 mm Positive Displacement Meter c/w Touch Pad	\$	600
Total Additional Costs	\$	21,600

To be Collected by the District \$ **\$ 37,670**

The District should not have any concerns with the development permit application, subject to the above comments and charges being addressed. If there are any questions, or if further information is required, please contact our office at (250) 868-2072.

Regards,
MOULD ENGINEERING



Jody Good
JG/sf
Enclosures



EXISTING OKANAGAN VILLA



2
3240
PLAN 3379

PROPOSED EXPANSION

EXISTING SERVICE TO BE
REMOVED, CORP CLOSED & NEW
50mm SERVICE INSTALLED

EXISTING BUILDING



POOLEY RD.

PROPOSED HYDRANTS

ROSE RD.

ADAPTER

Mould Engineering

SOUTH EAST KELOWNA IRRIGATION DISTRICT

3420 POOLEY RD
WATER SERVICING – VIBRANT VINES

SCALE: NTS

APRIL 2017

Mould Engineering

Fire Flow Estimate

(in accordance with Fire Underwriters Survey Guidelines)

District: South East Kelowna Irrigation District

Date: February 28, 2017

Address: 3240 Pooley Road

Description: Proposed Commercial Development - Vibrant Vine Expansion
Fire Flow Required as per drawings

1. Type of Construction: Wood Frame C = 1.5

Ground Floor Area:

Basement Gross Floor Area: 60 m²
Main Floor Gross Floor Area: 565 m²
Upper Floor Gross Floor Area: 385 m²
Total Floor Area: 1,010 m²

No. of Stories: 3

Note: Estimated From Architectural Drawings

Fire Flow (F) from Table: F = 220 x C √Area
F = 10,488 lpm Use: 10,000 lpm (A)

2. Occupancy: Non-Combustible (Low Hazard) Add/Subtract -25% -2,500 lpm
Sub-Total 7,500 lpm (B)

3. Automatic Sprinklers: No Add/Subtract 0% 0 lpm

4. Exposure:

	Distance			Add	
1. Front (North)	200	m	(Existing House)	0%	
2. Side (East)	6	m	(Farm Area)	20%	
3. Side (West)	60	m	(Farm Area)	0%	
4. Rear (South)	60	m	(Pooley Road)	0%	
			Total	20%	x (B) 1,500 lpm
				Total	9,000 lpm

Total Fire Flow Required 9,000 lpm
1,980 Imp gpm
2,378 USgpm

5. Fire Flow Duration: 2 hours

Notes: - Exposures estimated from Site Plan and City of Kelowna aerial photographs



Interior Health
Every person matters

March 7, 2017

Melanie Steppuhn
Planning & Development
City of Kelowna
1435 Water Street
Kelowna, BC V1Y 1J4
planninginfo@kelowna.ca

Dear Melanie Steppuhn:

RE: File # DP17-0046 – 3240 Pooley Rd, Kelowna

Thank you for the opportunity to provide comments regarding the development permit application for the modifications to the winery building.

A review from the healthy built environment perspective has been completed and no health impacts from this perspective have been identified. However, depending on the scenario, the following regulations may apply:

- [Food Premises Regulation](#)
- [Regulated Activities Regulation - Division 2 - Public Sanitary Facilities and Toilets](#)
- [Sewerage System Regulation](#)

Plans and specification for any changes to a food premise must be submitted and approved by an Environmental Health Officer prior to construction. Therefore, we request the City of Kelowna Building Inspection and Business Licensing programs coordinate with Interior Health – Health Protection Program to ensure all approvals have been achieved. It is recommended the applicant contact Ms. Liz Nelson, Environmental Health Officer at (250) 469 – 7070 ext 12285 soon to review their proposed alterations and understand any applicable legislation.

Sincerely,

Anita Ely, CPHI(C)
Environmental Health Officer
Healthy Built Environment Team

cc. Ed Grifone, CTQ Consultants Ltd egrifone@ctqconsultants.ca
Liz Nelson, EHO liz.nelson@interiorhealth.ca

Bus: (250) 833-4114 Fax: (250) 833-4117
Anita.Ely@interiorhealth.ca
www.interiorhealth.ca

HBE TEAM – POPULATION HEALTH
851-16th St. NE, Box 627
Salmon Arm, BC, V1E 4N7