

CONSULTANTS:

ARCHITECTURE:
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 KASLO, B.C., V2Y 4P7
 TEL: 250-860-0278

ENGINEER:
 FERGUSON AND SURVING AND DESIGN
 105 PARKWAY STREET
 KASLO, B.C., V2Y 4P7
 TEL: 250-862-3115

DRAWING INDEX:

DATE: 2017-05-29
CONTRACT: 3332
PROJECT: FINDLAY ROAD MULTIFAMILY
CLIENT: PNC

DP-001 COVER SHEET
 DP-001 BLOCK PLANS - BUILDING 01 AND 02
 DP-002 BLOCK PLANS - BUILDING 03 AND 04
 DP-003 ELEVATIONS - BUILDING 01 AND 02
 DP-004 ELEVATIONS - BUILDING 03 AND 04
 DP-005 ELEVATIONS - BUILDING 01 AND 02
 DP-006 ELEVATIONS - BUILDING 03 AND 04
 DP-007 COLOURED ELEVATIONS (BLOCK 1 AND 2)
 DP-008 COLOURED ELEVATIONS (BLOCK 3 AND 4)
 DP-009 ELEVATIONS - SITE
 DP-010 SECTIONS - BUILDING 01
 DP-011 SECTIONS - SITE

CONTEXT MAP:



AERIAL PHOTOGRAPH:



NOTES:
 1. All drawings are the property of Patrick McGusker Architecture Inc. and shall remain confidential.
 2. No part of these drawings shall be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Patrick McGusker Architecture Inc.
 3. These drawings are to be used for the specific project and site only. Any reuse or modification of these drawings without the prior written consent of Patrick McGusker Architecture Inc. is strictly prohibited.
 4. The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 5. The drawings are to be used for the specific project and site only. Any reuse or modification of these drawings without the prior written consent of Patrick McGusker Architecture Inc. is strictly prohibited.
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ILLUSTRATIONS:



(UNIT ENTRY OFF FINDLAY ROAD)



TYPICAL ELEVATION AT MAIN ENTRY

PROJECT STATISTICS:

Address: 1075 & 1047 Findlay Road, Kelowna B.C.
 Property: 1075 & 1047 Findlay Road, Kelowna B.C.
 Parcel: 1075 & 1047 Findlay Road, Kelowna B.C.

Block	Area (sqm)	Area (sqft)	Volume (m ³)	Volume (ft ³)
1075	1221	13211	1221	13211
1047	1221	13211	1221	13211
TOTAL	2442	26422	2442	26422

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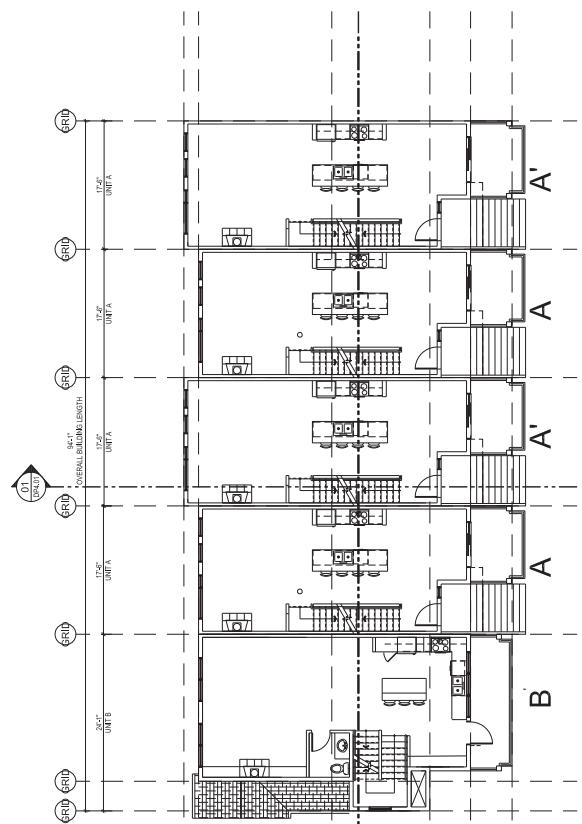
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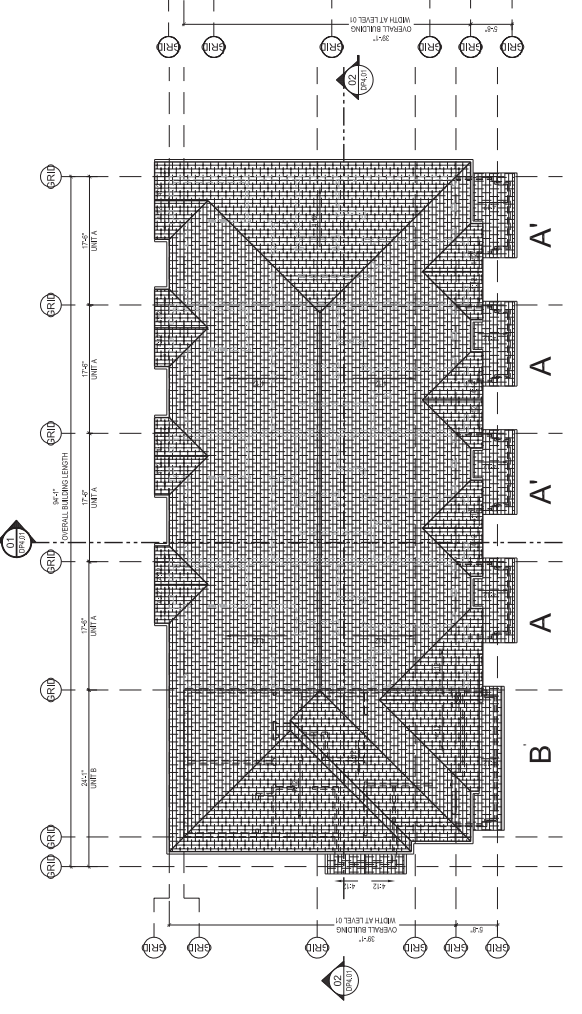
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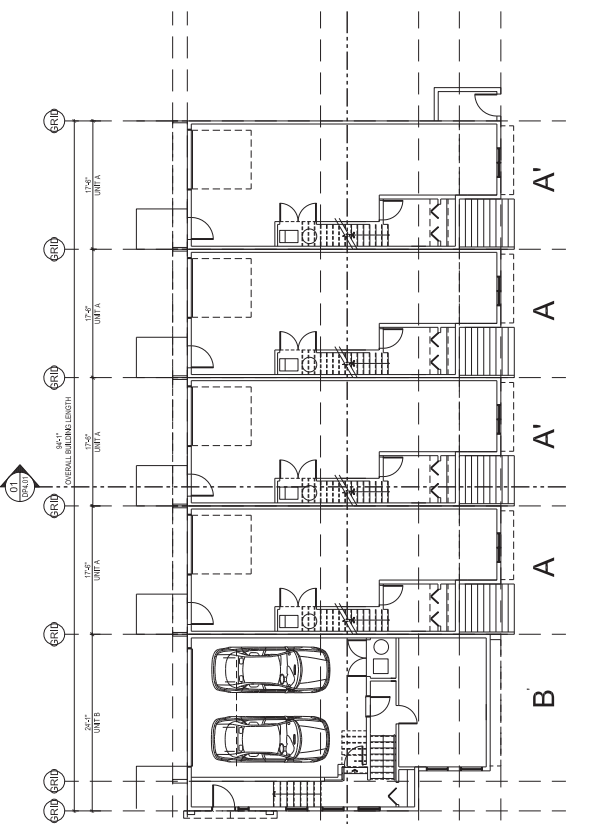
NOTES:
 1. All dimensions are in feet and inches unless otherwise noted.
 2. All dimensions are to the centerline of the wall or column unless otherwise noted.
 3. All dimensions are to the finished floor unless otherwise noted.
 4. All dimensions are to the centerline of the wall or column unless otherwise noted.
 5. All dimensions are to the centerline of the wall or column unless otherwise noted.
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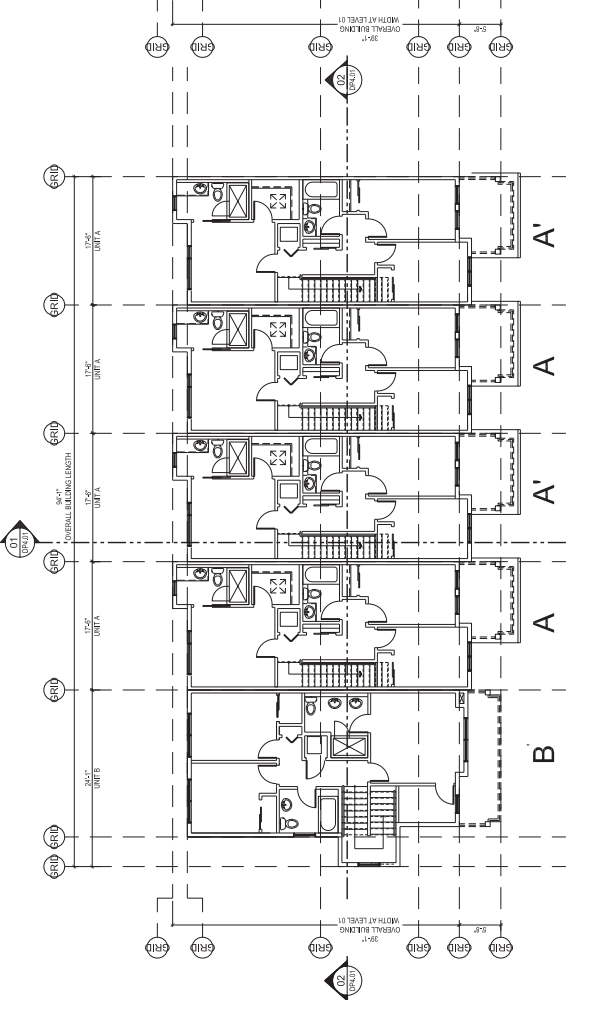
02 LEVEL 02 - BUILDING 01 AND 02
 SCALE: 1/8" = 1'-0"



04 ROOF - BUILDING 01 AND 02
 SCALE: 1/8" = 1'-0"



01 LEVEL 01 - BUILDING 01 AND 02
 SCALE: 1/8" = 1'-0"



03 LEVEL 03 - BUILDING 01 AND 02
 SCALE: 1/8" = 1'-0"

01 2017.05.01 Release to DP
 02 2017.05.01 Release to DP
 03 2017.05.01 Release to DP
 No. Date Description



**PATRICK MCGUSKER
 ARCHITECTURE INC.**
 AIA MAEC MRAC
 3430 BERVOLIN ROAD
 KENNESAW, GA 30144
 PHONE: 770-424-4222
 FAX: 770-424-4222
 WWW: PMAA.COM

PROJECT: **FINDLAY ROAD
 MULTIFAMILY**

PROJECT NO.: 3352
 DRAWING NO.: **BLOCK PLANS
 BUILDING 01 AND 02**

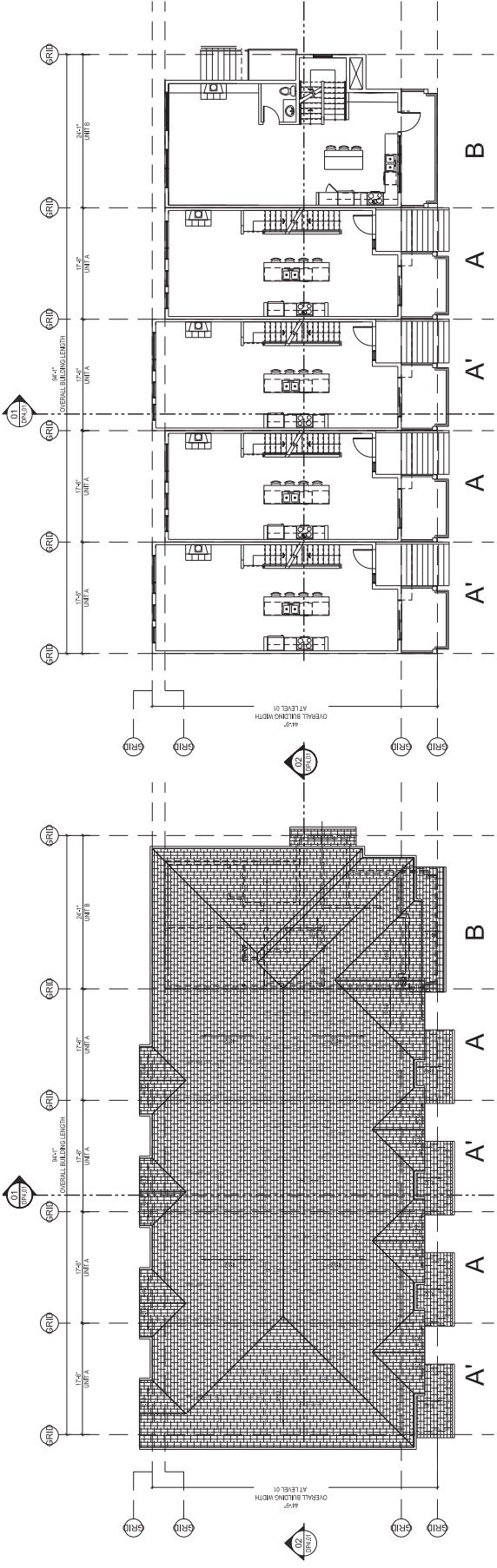
DATE: 05/25/17
 DRAWN BY: JB
 CHECKED BY: PNC
 PROJECT NO.: 3352

DATE: 05/25/17 02:59 PM
DP2.01

FOOTPRINT AREA FOR SITE COVERAGE CALCULATIONS: 3778.9 SQ. FT.

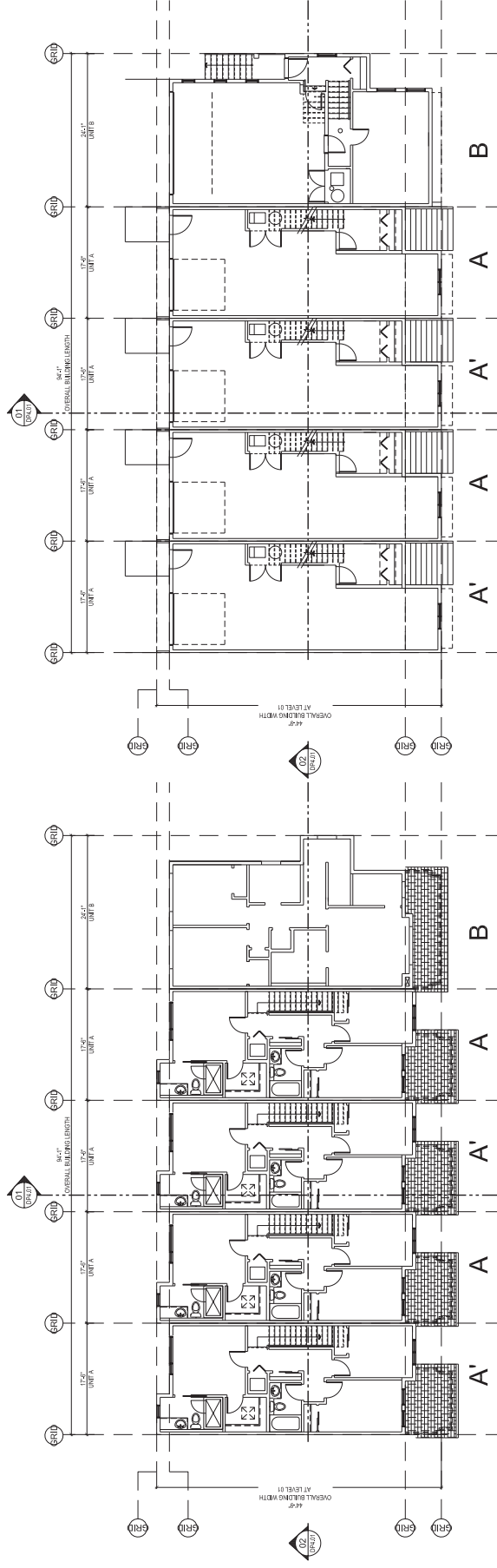
NOTES:
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 10. All dimensions are to the centerline of the wall or column unless otherwise noted.

Sheet



02 LEVEL 02 - BUILDING 03 AND 04
 SCALE: 1/8" = 1'-0"

04 ROOF - BUILDING 03 AND 04
 SCALE: 1/8" = 1'-0"



01 LEVEL 01 - BUILDING 03 AND 04
 SCALE: 1/8" = 1'-0"

03 LEVEL 03 - BUILDING 03 AND 04
 SCALE: 1/8" = 1'-0"

01 2017.05.01 Released for DP
 02 2017.05.01 Released for DP
 03 2017.05.01 Released for DP
 No. Date Description



PATRICK MCGUSKER
 ARCHITECTURE INC.
 AAA MAEC MRAIC
 3430 REVOLUTION ROAD
 KENNESAW, GA 30144-4222-4115
 PH: 770.424.4222
 FAX: 770.424.4222
 P: 404.233.4115
 WWW: WWW.PMARCHITECT.COM

PROJECT: FINDLAY ROAD
 MULTIFAMILY

PROJECT NO.: 3352
 SHEET NO.:

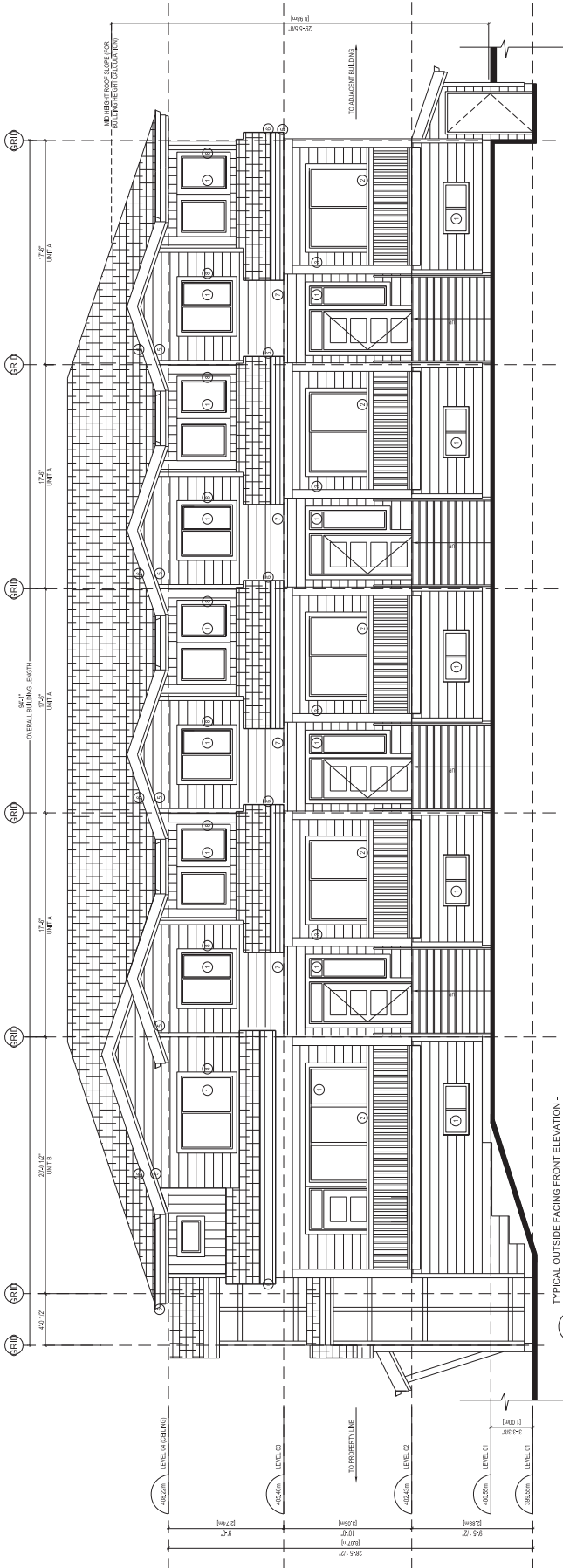
OWNER: BIR
 BLOCK PLANS
 BUILDING 03 AND 04

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BY:	JB		
CHECKED BY:	PHIC		
DATE:			

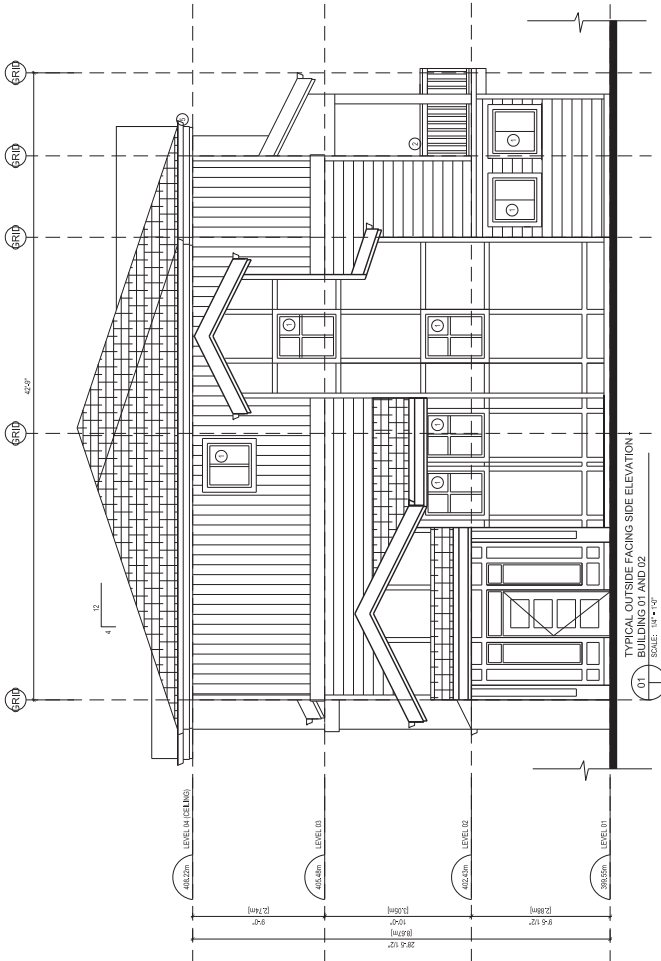
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 MAY 29, 2017 02:59 PM

NOTES:
 1. ELEVATIONS SHALL BE SHOWN AS SHOWN UNLESS OTHERWISE NOTED.
 2. FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHALL BE IN FEET AND INCHES UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS SHALL BE TO CENTERLINE UNLESS OTHERWISE NOTED.
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Sheet



02 TYPICAL OUTSIDE FACING FRONT ELEVATION - BUILDING 01 AND 02
 SCALE: 1/4" = 1'-0"



01 TYPICAL OUTSIDE FACING SIDE ELEVATION - BUILDING 01 AND 02
 SCALE: 1/4" = 1'-0"

01 2017.05.01 Released for DP
 02 2017.05.08 Released for GP
 03 2017.05.15 Released for CP
 No. Draw Description



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 ARCHITECTURE INC.
 AIA MAIBC MRAC
 3430 BENVOLUNT ROAD
 KENOSHA, WI 53141-4822
 PH: 931.779.4444 FAX: 931.779.4444
 P: 931.779.4444
 WWW.PMAA.COM

PROJECT: FINDLAY ROAD
 MULTIFAMILY

PROJECT NO.: 3352

OWNER: SHS
 ELEVATIONS
 BUILDING 01 AND 02

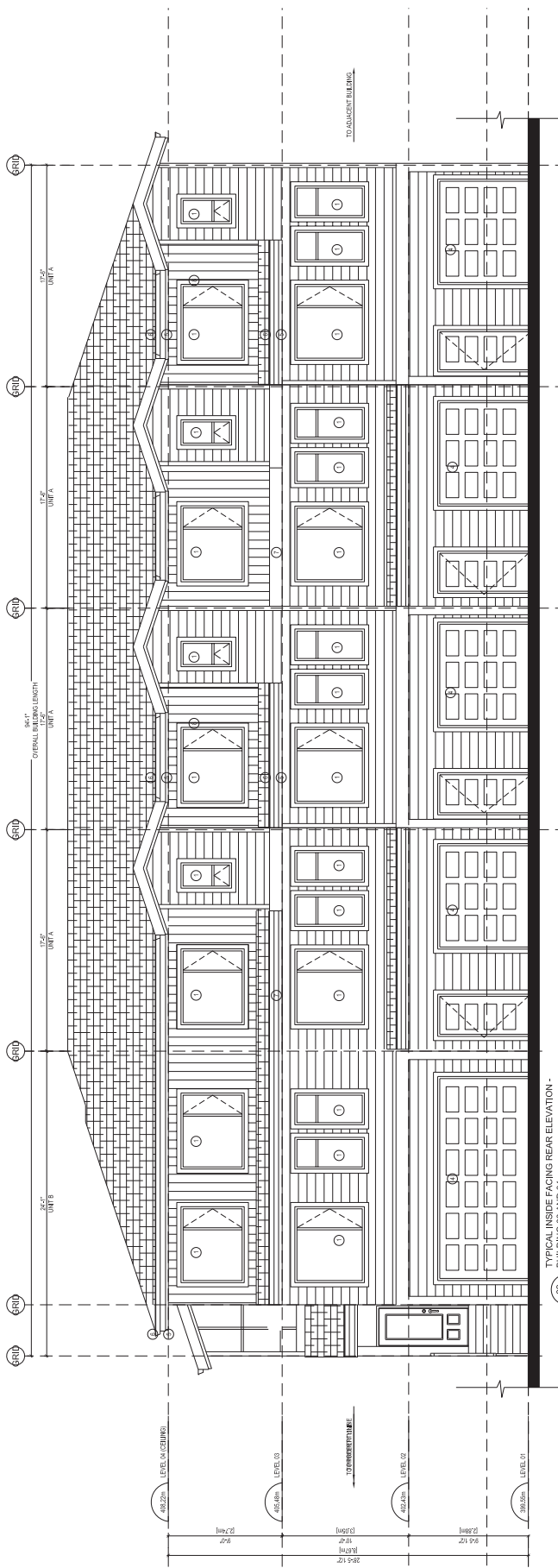
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2017.05.08	JP	
2017.05.15	CP	

DP3.02
 MAY 29, 2017 08:29 PM

- MATERIALS LEGEND:**
- BRICK LAMINATE
 - BRICK
 - HORIZONTAL SIDING
 - VERTICAL SIDING
 - 1 - 2" x 4" BRICK
 - 2 - 2" x 4" BRICK
 - 3 - 2" x 4" BRICK
 - 4 - 2" x 4" BRICK
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 - 6 - 2" x 4" BRICK
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NOTES:
 1. All dimensions are in feet and inches unless otherwise noted.
 2. All elevations are shown in black lines on a white background.
 3. All materials and finishes are to be as shown on the drawings.
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Sheet



02 TYPICAL INSIDE FACING REAR ELEVATION - BUILDING 03 AND 04
 SCALE: 1/4" = 1'-0"

01 TYPICAL OUTSIDE FACING SIDE ELEVATION - BUILDING 03 AND 04
 SCALE: 1/4" = 1'-0"

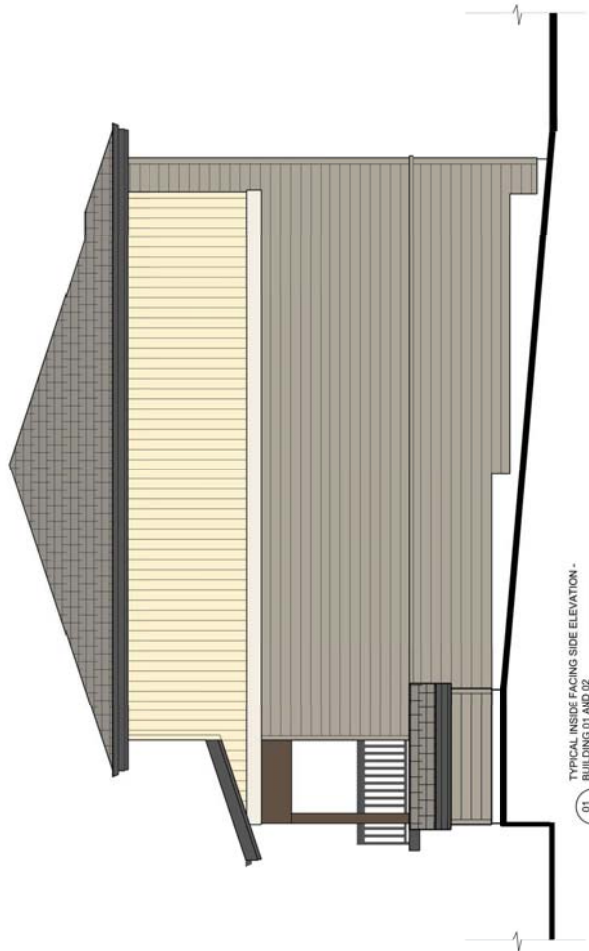
- MATERIALS LEGEND:**
- 1 - BRASS LAMINATE
 - 2 - BRASS LAMINATE
 - 3 - BRASS LAMINATE
 - 4 - BRASS LAMINATE
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 - 6 - BRASS LAMINATE
 - 7 - BRASS LAMINATE
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Notes:
 1. All work shall be in accordance with the current edition of the National Building Code of Canada (NBC) and all applicable codes and standards.
 2. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.
 3. The contractor shall be responsible for ensuring that all work is completed in accordance with the approved drawings and specifications.
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Sheet



TYPICAL INSIDE FACING REAR ELEVATION -
 02 BUILDING 01 AND 02
 SCALE: 1/8"=1'-0"



TYPICAL INSIDE FACING SIDE ELEVATION -
 01 BUILDING 01 AND 02
 SCALE: 1/8"=1'-0"

03 2017.05. Reissued for DP
 02 2017.03.28. Reissued for DP
 01 2017.11.15. Reissued for DP
 00 2017.04.04. Reissued for DP
 00 2017.04.04. Reissued for DP



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 444 - MAIRIE - MIRACI
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 WILLOWDALE, ONTARIO M2H 3B5
 TEL: 416-491-1111
 WWW.PMARCHITECTURE.COM

Project Name: FINDLAY ROAD
 MULTIFAMILY

Project No.: 3302

Drawing Title: ELEVATIONS (COLOURED)
 BUILDING 01 AND 02

Author: PNC	Scale: 1/8"=1'-0"
Checker: JB	
Printer: PNC	
Plotter: PNC	

DP3.11
 May 25, 2017 09:36 AM

MATERIALS LEGEND:

- 1 DOUBLE GLAZED THERMALLY BROKEN ALUMINUM CLADDING
- 2 EXTENSION PANELING - ALUMINUM CLADDING AND POCKETS
- 3 BUILT-UP COLLAR
- 4 INSULATED METAL SECTIONAL HANGING DOOR
- 5 FASCIA
- 6 1/2" PRE-FINISHED ALUMINUM ANGLE CUTTER BY PRE-FINISHED ALUMINUM DOWN SPOUTS
- 7 BILT BOARD
- 8 1/4" WINDOW AND DOOR TRIM

COLOUR LEGEND:

- A HEATHER GREY (BENJAMIN MOORE)
- B VIVID CREAM (BENJAMIN MOORE)
- C RED (BENJAMIN MOORE)
- D RED (BENJAMIN MOORE)

Notes:
 1. All drawings are prepared by the Architect and are not to be used for construction purposes without the Architect's approval.
 2. All dimensions are in millimeters unless otherwise stated.
 3. All materials and finishes are to be as specified in the schedule of materials.
 4. All work is to be in accordance with the current edition of the National Building Code of Canada (NBC) and the Ontario Building Code (OBC).
 5. The Architect is not responsible for the structural design of the building.
 6. The Architect is not responsible for the design of the mechanical, electrical, plumbing, and fire protection systems.
 7. The Architect is not responsible for the design of the landscape architecture.
 8. The Architect is not responsible for the design of the interior design.
 9. The Architect is not responsible for the design of the signage.
 10. The Architect is not responsible for the design of the furniture and fixtures.
 11. The Architect is not responsible for the design of the lighting.
 12. The Architect is not responsible for the design of the acoustics.
 13. The Architect is not responsible for the design of the security.
 14. The Architect is not responsible for the design of the accessibility.
 15. The Architect is not responsible for the design of the sustainability.

Sheet



TYPICAL OUTSIDE FACING FRONT ELEVATION -
 BUILDING 01 AND 02
 SCALE: 1/4"=1'-0"



TYPICAL OUTSIDE FACING SIDE ELEVATION -
 BUILDING 01 AND 02
 SCALE: 1/4"=1'-0"

03 2017.06. Revised for DP
 02 2017.03.28. Revised for DP
 01 2017.11.15. Revised for DP
 00 2017.04.04. Approved
 16.04.2017



PATRICK M. CUSKER
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 SUITE 100
 SCARBOROUGH, ONTARIO M1S 5V6
 TEL: (416) 291-1111
 WWW.PMAARCHITECT.COM

Project Name: FINDLAY ROAD MULTIFAMILY

Project No.: 3352

Drawing Title: ELEVATIONS (COLOURED) BUILDING 01 AND 02

Author	PNC	Scale	1/4"=1'-0"
Checker	JB		
Designer	PNC		

DP3.12
 May 25, 2017 09:30 AM

- MATERIALS LEGEND:**
- ① FIBREGLAS LAMINATE SPINDLES
 - ② HORIZONTAL LINE SIDING
 - ③ VERTICAL WVL SIDING
 - ④ DOUBLE GLAZED THERMALLY BROKEN ALUMINUM CASUALS AND PROJECTS
 - ⑤ EXTENSION PANELS - ALUMINUM CASUALS AND PROJECTS
 - ⑥ 3/4" x 1/4" COLUMNS
 - ⑦ INSULATED METAL SECTIONAL FINISHED DOOR
 - ⑧ FASCIA
 - ⑨ 2" PINE FINISHED ALUMINUM ANGLE CUTTER WITH FINISHED ALUMINUM DOWNSPUTS
 - ⑩ MET BOARDS
 - ⑪ 1" x 1" WINDOW AND DOOR TRIMS

COLOR LEGEND:

A WEATHER GREY (BENJAMIN MOORE)
 B VINTAGE CREAM (BENJAMIN MOORE)
 C RED (BENJAMIN MOORE)



CHICHESTER WETLAND PARK

CONTRACT INTENT: THIS DRAWING AND DESIGN IS TO BE USED BY THE OWNER OF THIS PROJECT AND NOT LOANED TO ANY OTHER PROJECT WITHOUT THE CONTRACTOR'S WRITTEN CONSENT.

NO.	DATE	DESCRIPTION
6	DEC 2016	ISSUED FOR DP
5	SEPT 2016	ISSUED FOR DP
4	SEPT 2016	ISSUED FOR REVIEW
3	SEPT 2016	ISSUED FOR REVIEW
2	AUG 2016	ISSUED FOR REVIEW
1	JULY 2016	ISSUED FOR REVIEW



BENCH
SITE DESIGN
1 800 886 4444 ext. 4444 (before 5:00 PM PST)
1 250 868 8078

CLIENT:
0725353 BC LTD.
KELOWNA, B.C.

PROJECT:
1297 FINDLAY ROAD
KELOWNA, B.C.

SHEET TITLE:
LANDSCAPE PLAN

DESIGN BY: SD
DRAWN BY: SD
CHECKED BY: AN
PROJECT NO.: 16-004
SCALE: 1:125

SHEET NO:
L-1

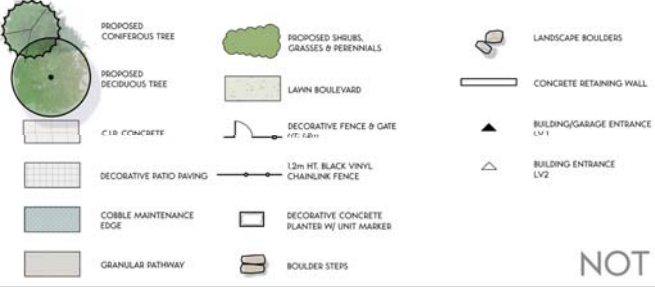
DEVELOPMENT PERMIT NOTES:

- A PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE LATEST EDITION OF THE B.C. LANDSCAPE STANDARDS, PUBLISHED BY B.C.L.N.A. AND B.C.S.L.A. AS WELL AS THE CITY OF KELOWNA LANDSCAPE STANDARDS IN BYLAW 7900.
- B THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM CITY OF KELOWNA FORM AND CHARACTER REQUIREMENTS.
- C PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY AT THE TIME OF CONSTRUCTION.
- D TREES SHALL BE INSTALLED IN DEFINED SOIL RITS OR PLANTING BED AREAS. ADEQUATE SOIL VOLUME SHALL BE PROVIDED BASED ON THE SPECIFIED TREE SPECIES AND LOCATION.
- E ORNAMENTAL SHRUB, GRASS AND PERENNIAL CLUSTERS ARE TO BE PLACED WITHIN DEFINED PLANTING BEDS. ALL PLANTING BEDS SHALL HAVE A MIN. OF 300mm (12") IMPORTED GROWING MEDIUM AND FORM (3") OF COMPOSITE MULCH OR APPROVED EQUAL.
- F DECORATIVE ROCK AREAS SHALL HAVE A MIN. OF 75mm (3") OF 50mm DIA. DECORATIVE ROUND ROCK. LANDSCAPE FABRIC SHALL BE INSTALLED BELOW ALL DECORATIVE ROCK AREAS. LANDSCAPE FABRIC SHALL BE NEXLX 4543 OR APPROVED EQUAL.
- G TURF AREAS SHALL BE LOW WATER USE NO. 1 PREMIUM SOO WITH A MIN. OF 150mm (6") IMPORTED GROWING MEDIUM.
- H A HIGH EFFICIENCY IRRIGATION SYSTEM SHALL BE INSTALLED FOR ALL ORNAMENTAL LANDSCAPE AREAS AND SHALL CONFORM TO THE CITY OF KELOWNA'S IRRIGATION STANDARDS IN BYLAW 7900.

PLANT LIST:

TREES	SHRUBS	PERENNIALS	GRASSES
Botanical Name <i>Acer rubrum 'Armstrong'</i>	Botanical Name <i>Rosa Glow</i>	Botanical Name <i>Alchemilla mollis</i>	Botanical Name <i>Calamagrostis acutiflora 'Overdam'</i>
Common Name Armstrong maple	Common Name Rose Glow	Common Name Lady's mantle	Common Name Winged seed grass
Size/Spacing 6cm Cal.	Size/Spacing #03 Cont./1.0m O.C.	Size/Spacing #01 Cont./10.0m O.C.	Size/Spacing #01 Cont./10.0m O.C.
Root B&B	Root Plotted	Root Plotted	Root Plotted
Botanical Name <i>Cornus alba 'Winter Flame'</i>	Botanical Name <i>Hydrangea paniculata 'Limelight'</i>	Botanical Name <i>Coreopsis verticillata 'Moonbeam'</i>	Botanical Name <i>Deschampsia cespitosa 'Goldbar'</i>
Common Name Katsura tree	Common Name Limelight hydrangea	Common Name Moonbeam coreopsis	Common Name Gold bar tufted hair grass
Size/Spacing 6cm Cal.	Size/Spacing #03 Cont./1.0m O.C.	Size/Spacing #01 Cont./10.0m O.C.	Size/Spacing #01 Cont./10.0m O.C.
Root B&B	Root Plotted	Root Plotted	Root Plotted
Botanical Name <i>Magnolia stellata 'Royal Star'</i>	Botanical Name <i>Platanus 'Wholeheart'</i>	Botanical Name <i>Rudbeckia fulgida 'Goldstrum'</i>	Botanical Name <i>Miscanthus sinensis 'Sensational'</i>
Common Name Royal Star magnolia	Common Name Showerhead rose	Common Name Goldstrum coneflower	Common Name Purple cone grass
Size/Spacing 6cm Cal.	Size/Spacing #03 Cont./1.0m O.C.	Size/Spacing #01 Cont./10.0m O.C.	Size/Spacing #01 Cont./1.0m O.C.
Root B&B	Root Plotted	Root Plotted	Root Plotted
Botanical Name <i>Quercus palustris 'Pingreen'</i>	Botanical Name <i>Salvia nemorosa 'East Freeland'</i>	Botanical Name <i>Sedum spectabile</i>	Botanical Name <i>Sedum spectabile</i>
Common Name Green Pillar oak	Common Name East Freeland meadow sage	Common Name Autumn moor grass	Common Name Autumn moor grass
Size/Spacing 6cm Cal.	Size/Spacing #01 Cont./10.0m O.C.	Size/Spacing #01 Cont./10.0m O.C.	Size/Spacing #01 Cont./10.0m O.C.
Root B&B	Root Plotted	Root Plotted	Root Plotted

LEGEND:



NOT FOR CONSTRUCTION



CITY OF KELOWNA

MEMORANDUM

Date: January 18, 2017
File No.: Z16-0083
To: Urban Planning Management (TB)
From: Development Engineering Manager (SM)
Subject: 1287 and 1297 Findlay Road RU1 to RM3

The Development Engineering Department has the following comments and requirements associated with this rezoning application for the properties at 1287 and 1297 Findlay Road to accommodate development of a 20-unit townhome complex. The road and utility upgrading requirements outlined in this report will be requirements of this development.

The Development Engineering Technologist for this project is Jason Ough

1. **General**

These Development Engineering comments and requirements are subject to review and or revision for approval by the Ministry of Transportation (MOTI) Infrastructure.

2. **Domestic Water and Fire Protection**

- a) This development is within the service area of the Black Mountain Irrigation District (BMID). The developer is required to make satisfactory arrangements with the BMID for these items. All charges for service connection and upgrading costs, as well as any costs to decommission existing services are to be paid directly to BMID.
- b) The developer must obtain the necessary permits and have all existing utility services disconnected prior to removing or demolishing the existing structures.

3. **Sanitary Sewer**

- a) The subject property is currently within the sanitary Sewer Specified Area # 20 and is serviced by the municipal sanitary sewer collection system. The developer will be responsible to cash commute the specified area charges for this development. The charge is currently set at \$ 2,458.33 per Equivalent Dwelling Unit (EDU). The total charge is \$24,583.30 (20 x 0.50 = 10 EDU x \$ 2,458.33).
- b) Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service. The applicant's consulting mechanical engineer will determine the requirements of the proposed development and establish the service needs. Only one service per lot will be permitted for this development. If required, the applicant will arrange for the removal and disconnection of the existing service and the installation of one new larger service at the applicants cost. Contact Jason Ough (250 469 4519) for service work estimate.

SCHEDULE		A
This forms part of application # Z16-0083		
Planner Initials	TB	 City of Kelowna COMMUNITY PLANNING

4. **Storm Drainage**

- a) The developer must engage a consulting civil engineer to provide a storm water management plan for these sites which meets the requirements of the City Subdivision Development and Servicing Bylaw 7900. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.
- b) The subject development must include the design of a piped drainage system for Findlay Road fronting the subject lots and the lane, including road improvement construction. The cost of the work is included in the road design calculations.

5. **Road Improvements**

- a) Findlay Road is identified in the 2030 OCP Transportation Servicing Plan as the future Hollywood Road active transportation corridor.
- b) Findlay Road must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, sidewalk, drainage system including catch basins, manholes and pavement removal and replacement and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. Estimate provided as cash in lieu levy for frontage improvements.

6. **Subdivision and Dedication**

- a) The developer is required to consolidate the two subject properties.
- b) Dedicate 5m width along the full frontage of Findlay Road to match the property line north of 1297 Findlay Road.
- c) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.

7. **Development Permit and Site Related Issues**

- a) Direct the roof drains into on-site rock pits or splash pads.
- b) An MSU standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles movements should also be illustrated on the site plan.

8. **Electric Power and Telecommunication Services**

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.



respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.


9. Bonding and Levy Summary

a)	<u>Cash in Lieu:</u> future road improvement project	
	Storm Drainage	\$ 9,238.00
	Roadway Frontage Improvements	\$ 8,970.00
	Sidewalk	\$ 5,750.00
	Curb and gutter	\$ 4,600.00
	Boulevard Landscape	\$ 2,300.00
	Street Lighting	\$ 1,553.00
	Total frontage improvement Levy:	<u>\$ 32,411.00</u>
b)	<u>Sewer Specified Area # 20 fee:</u>	<u>\$ 24,583.30</u>

10. Geotechnical Report

As a requirement of this application the owner must provide a geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics.
- (b) Site suitability for development, unstable soils, etc.
- (c) Drill and / or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.



 Steve Muenz, P. Eng.
 Development Engineering Manager