

DEVELOPMENT PERMIT



APPROVED ISSUANCE OF DEVELOPMENT PERMIT NO. DP17-0071

Issued To: McBeetle Holdings Ltd., Inc.No. A0090058
Site Address: 888 Finns Rd
Legal Description: Lot A Section 34 Township 26 ODYD Plan EPP53299 Except Plan EPP64798
Zoning Classification: P3 – Parks and Open Space/ C10 – Service Commercial
Development Permit Area: Comprehensive Commercial

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT Development Permit No. DP17-0071 for Lot A Section 34 Township 26 ODYD Plan EPP53299 Except Plan EPP64798, located at 888 Finns Rd, Kelowna, BC to allow the construction of an automobile dealership be approved subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a Registered Landscape Architect;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property own of the day. Should the Developer carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Developer or his or her designate. There is filed accordingly:

- a) A Certified Cheque in the amount of \$_____ OR
- b) An Irrevocable Letter of Credit in the amount of \$_____.

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. Indemnification

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

5. APPROVALS

Issued and approved by Council on the _____ day of _____, 2017.

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

Date

The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or his or her designates



McBEETLE HOLDINGS LTD.
KELOWNA JLR-VOLVO
888 FINNS ROAD
16-006
DEVELOPMENT PERMIT
2017-03-07

DP ARCHITECTURAL DRAWING LIST	
Sheet Number	Sheet Name
DP0.1	CONTEXT ZONING PLAN/PROJECT STATISTICS
DP0.2	CONTEXT PHOTOS
DP1.1	VICINITY & OVERALL SITE PLAN
DP2.1	MAIN FLOOR PLAN
DP2.2	SECOND FLOOR PLAN
DP2.3	ROOF PLAN
DP4.1	EXTERIOR ELEVATIONS
DP6.0	MATERIAL BOARD

DP CIVIL DRAWING LIST	
Sheet Number	Sheet Name
C1.02	GRADING PLAN
DP LANDSCAPE DRAWING LIST	
Sheet Number	Sheet Name
L-1	LANDSCAPE CONCEPT

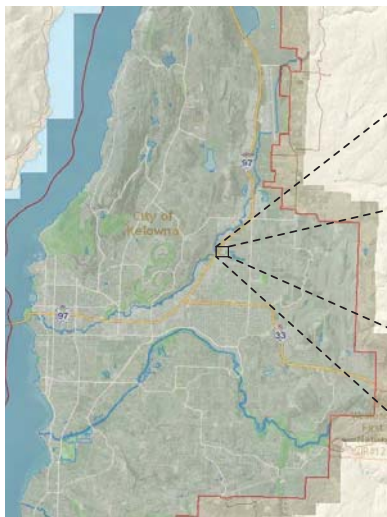
SCHEDULE **A**

This forms part of application
DP17-0071

Planner Initials **EW**

City of **Kelowna**
COMMUNITY PLANNING

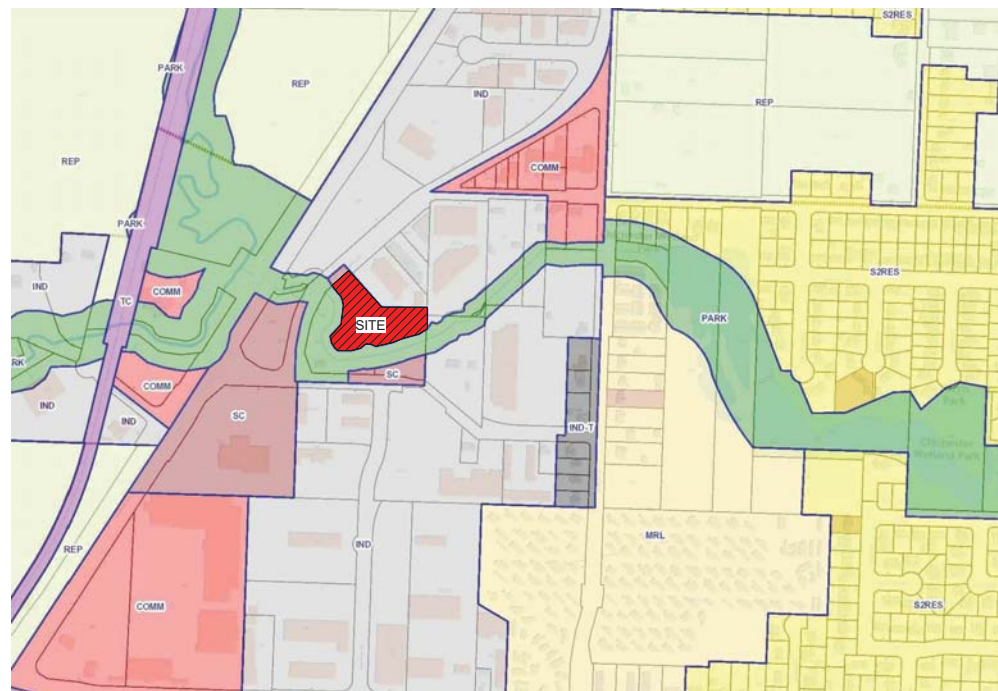




MAP OF CITY OF KELOWNA
SCALE: NTS



SUBJECT LAND & CONTEXT PLAN
SCALE: NTS



CITY OF KELOWNA OCP - FUTURE LAND USE
SCALE: NTS



- Legend**
- Future Land Use Text
 - Future Land Use
 - Agri-Business
 - Commercial
 - Educational/Major Institutional
 - First Nations Reserve
 - Future Urban Reserve
 - Health District
 - Industrial
 - Industrial - Limited
 - Industrial - Transitional
 - Multiple Unit Residential - Cluster Housing
 - Multiple Unit Residential (High Density)
 - Multiple Unit Residential (Medium Density)
 - Multiple Unit Residential (Low Density)
 - Mixed Use (Residential / Commercial)
 - Mixed Use Tourism
 - Major Park/Open Space (public)
 - Public Service/Utilities
 - Private Recreation
 - Resource Protection Area
 - Service Commercial
 - Single / Two Unit Residential - Hillside
 - Sensitive Infill Housing
 - Transportation Corridor
 - Secondary Suites
 - Area Structure Plan
 - Permanent Growth Boundary

PRELIMINARY PROJECT INFORMATION									
PROJECT:	KELOWNA JLR-VOLVO								
CLIENT:	MOBETILE HOLDINGS LTD								
PROJECT NO:	16-008								
CIVIC ADDRESS:	888 FINES ROAD								
LEGAL ADDRESS:	LOT 11, SECTION 34, TOWNSHIP 26, QUES PLAN 226								
CURRENT ZONING:	C19								
PROPOSED USED:	AUTOMOTIVE DEALERSHIP								
ISSUED FOR:	DEVELOPMENT PERMIT								
SUMMARY (ZONING ANALYSIS TABLE)									
SITE DETAILS									
SITE AREA:	MINIMUM				PROPOSED				
	(sqm)	(sqft)	(ac)	(sqm)	(sqft)	(ac)			
	1000.0	10763.9	0.23	2,008	2147.1	0.52	16.81	0	0.00
SITE WIDTH:	MINIMUM			PROPOSED					
	(m)	(ft)		(m)	(ft)				
	30	98.4	0	30	98.4	0	0	0	0
SITE DEPTH:	MINIMUM			PROPOSED					
	(m)	(ft)		(m)	(ft)				
	30	98.4	0	30	98.4	0	0	0	0
SITE COVERAGE (area)	MINIMUM			PROPOSED					
	(sqm)	(sqft)		(sqm)	(sqft)				
	100	1076.4	0.02	2,147.1	2281.6	0.52	16.81	0	0
BUILDING SITE COVERAGE (percentage)	MINIMUM			PROPOSED					
	(%)			(%)					
	10			25.8					
DEVELOPMENT INFORMATION									
BUILDING GROSS FLOOR AREA				PROPOSED					
	(sqm)	(sqft)		(sqm)	(sqft)				
	0	0	0	2024.4	21735				
FLOOR AREA RATIO				MAXIMUM PROPOSED					
				0.85	0.316				
BUILDING HEIGHT (storeys)				MAXIMUM PROPOSED					
				3	2				
BUILDING HEIGHT				MAXIMUM PROPOSED					
	(m)	(ft)		(m)	(ft)				
	12	39	0	9.14	30				
BUILDING SETBACKS (from property line)				REQUIRED PROPOSED					
	(m)	(ft)		(m)	(ft)				
FRONT	(m)	(ft)		2	6.6	0	27	11	88.6
SIDE	(m)	(ft)		0	0	0	1.7	1.7	5.6
REAR	(m)	(ft)		0	0	0	6.5 (MIN)	21	27.5
	(m)	(ft)		0	0	0	27	11	88.6
PARKING STALLS				REQUIRED PROPOSED					
	USE			22	11				
	AUTOMOBILE REPAIR SHOPS - 2 PER SERVICE BAY (15)			36	11				
	SHOWROOM + SALES & SERVICE - 2 PER 100 sqm (1:1000.0)			58	11				
	TOTAL			106	44	87			
	*INVENTORY PARKING NOT INCLUDED IN CALCULATIONS								
LOADING SPACES				REQUIRED PROPOSED					
	COMMERCIAL AND INDUSTRIAL USE - 1 PER 1000 sqm (1:1000.0)			2	1	2			
BICYCLE PARKING				REQUIRED PROPOSED					
	CLASS 1 - 1 PER 10 EMPLOYEES (20 EMPLOYEES MAX.)			2	1	2			
	CLASS 2 - 0.60 PER 100 sqm (1:1666.7)			16	16	16	16	16	16

SCHEDULE A

This forms part of application
DP17-0071

Planner Initials EW

City of Kelowna
COMMUNITY PLANNING

NO.	DATE	DESCRIPTION
1	2016-10-25	CLIENT REVIEW
2	2017-01-23	CLIENT REVIEW
3	2017-03-07	DEVELOPMENT PERMIT
4		
5		
6		
7		
8		
9		

PROJECT
KELOWNA
JLR-VOLVO

DRAWING DESCRIPTION
CONTEXT ZONING
PLAN/PROJECT
STATISTICS

PROJECT NO.	DRAWING NO.
16-008	
PLOT SCALE:	12" = 1" @
DATE ISSUED:	DP.0.1
REVIEWED:	BY: NTS



A VIEW FROM INTERSECTION OF STREMEL RD. AND FINNS RD. LOOKING NORTH EAST



B VIEW FROM INTERSECTION OF STREMEL RD. AND FINNS RD. LOOKING NORTH



C VIEW FROM INTERSECTION OF STREMEL RD. AND FINNS RD. LOOKING EAST



D VIEW FROM THE SOUTH EAST CORNER OF THE SITE LOOKING NORTH WEST



E VIEW FROM FINNS RD. LOOKING EAST



F VIEW FROM THE NORTH WEST CORNER OF THE SITE LOOKING SOUTH EAST



G VIEW FROM STREMEL ROAD LOOKING WEST AT FUTURE PORSCHE LOCATION



KEYPLAN
SCALE: MTS



H ADJACENT PROPERTY ALONG FINNS



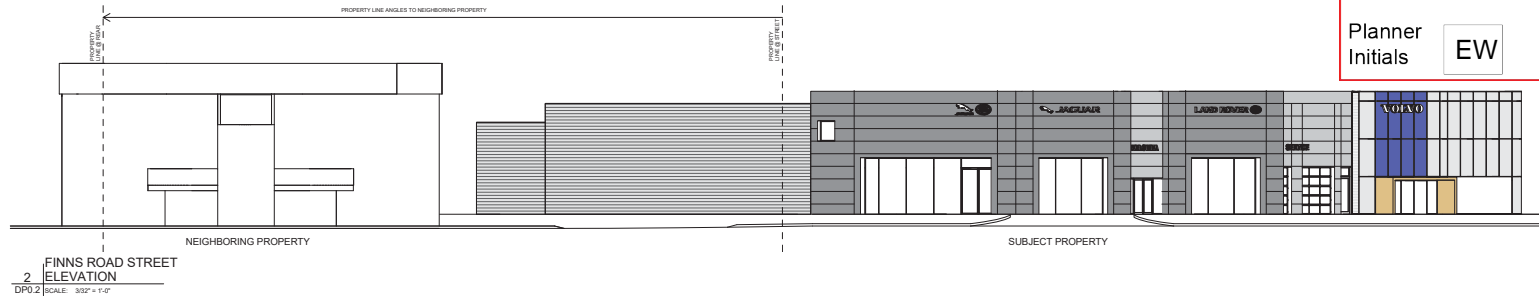
I VIEW FROM STREMEL ROAD LOOKING SOUTH TOWARD ADJACENT PROPERTY



J VIEW OF PROPERTY ON STREMEL ROAD FACING WEST



K VIEW FROM FINNS ROAD LOOKING EAST TOWARD ADJACENT PROPERTY



SCHEDULE
This forms part of application
DP17-0071

Planner
Initials EW



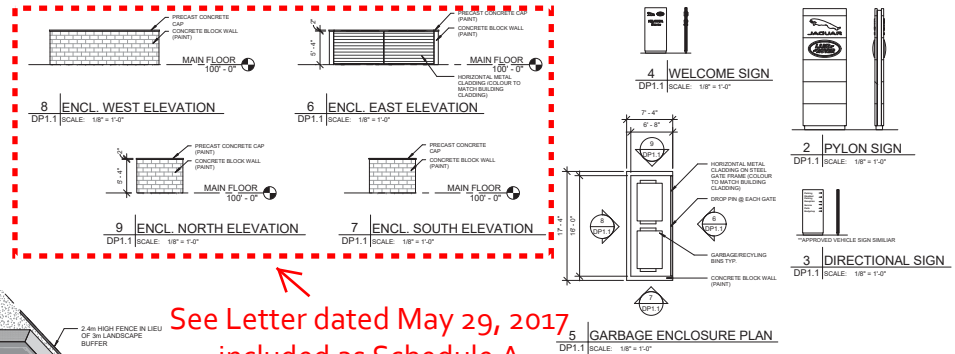
REVISIONS	
NO.	DESCRIPTION
1	2017-01-07 CLIENT REVIEW
2	2017-01-07 CLIENT REVIEW
3	2017-01-07 CLIENT REVIEW
4	2017-01-07 CLIENT REVIEW
5	2017-01-07 CLIENT REVIEW
6	2017-01-07 CLIENT REVIEW

KELOWNA
JLR-VOLVO

DRAWING DESCRIPTION

CONTEXT PHOTOS

PROJECT NO.: 16-001	DRAWING NO.: DP0.2
PLOT SCALE: 1/4" = 1'-0"	
DATE ISSUED: 2017-01-07	
REVIEWED: BY: [Signature]	



See Letter dated May 29, 2017
included as Schedule A

Separate approval for
pedestrian bridge
required. Not included in
DP17-0071.

SCHEDULE A

This forms part of application
DP17-0071

Planner
Initials **EW**

City of
Kelowna
COMMUNITY PLANNING



STREML ROAD

1 SITE PLAN
DP1.1 SCALE: 1:200

PROJECT
**KELOWNA
JLR-VOLVO**

DRAWING DESCRIPTION
**VICINITY &
OVERALL SITE
PLAN**

PROJECT NO.: 16-008
FLUT SCALE: As indicated
DATE ISSUED: 2017-03-23
REVIEWED: BY: KOB

DP1.1

Emily Williamson
City of Kelowna
1435 Water Street
Kelowna, BC V1Y 1J4

May 29, 2017

Re: 888 Finns Rd. – Circulation comments (DP17-0071)

Dear Emily,



In response to the circulation comments received May 23, 2017 please refer to the following:

Building & Permitting Department

We have reviewed the Mill Creek flood plain bylaw and it appears that this site is not within the bylaw area.

Signage was indicated in the package submitted, but a separate signage permit will be applied for once finalized.

The balance of these comments do not affect the form and character and will be addressed through the building permit process.

Fire Department

The new addressing this will be updated upon completion of the current subdivision application.

The garbage enclosure will be revised to be 2.0m high and moved east to meet the 3m clearance requirement. The relocation of the enclosure will not compromise the circulation or parking stalls indicated. We agree that you should red line this on the submission and we will follow up on our issued for construction drawings.

The balance of these comments will be addressed through the building permit process.

If you have any questions please feel free to contact me. We look forward to the submission of your report to council.

Sincerely,

A handwritten signature in black ink, appearing to read 'Neil Bolton'.

Neil Bolton
Manager, Projects
Faction Architecture Inc.

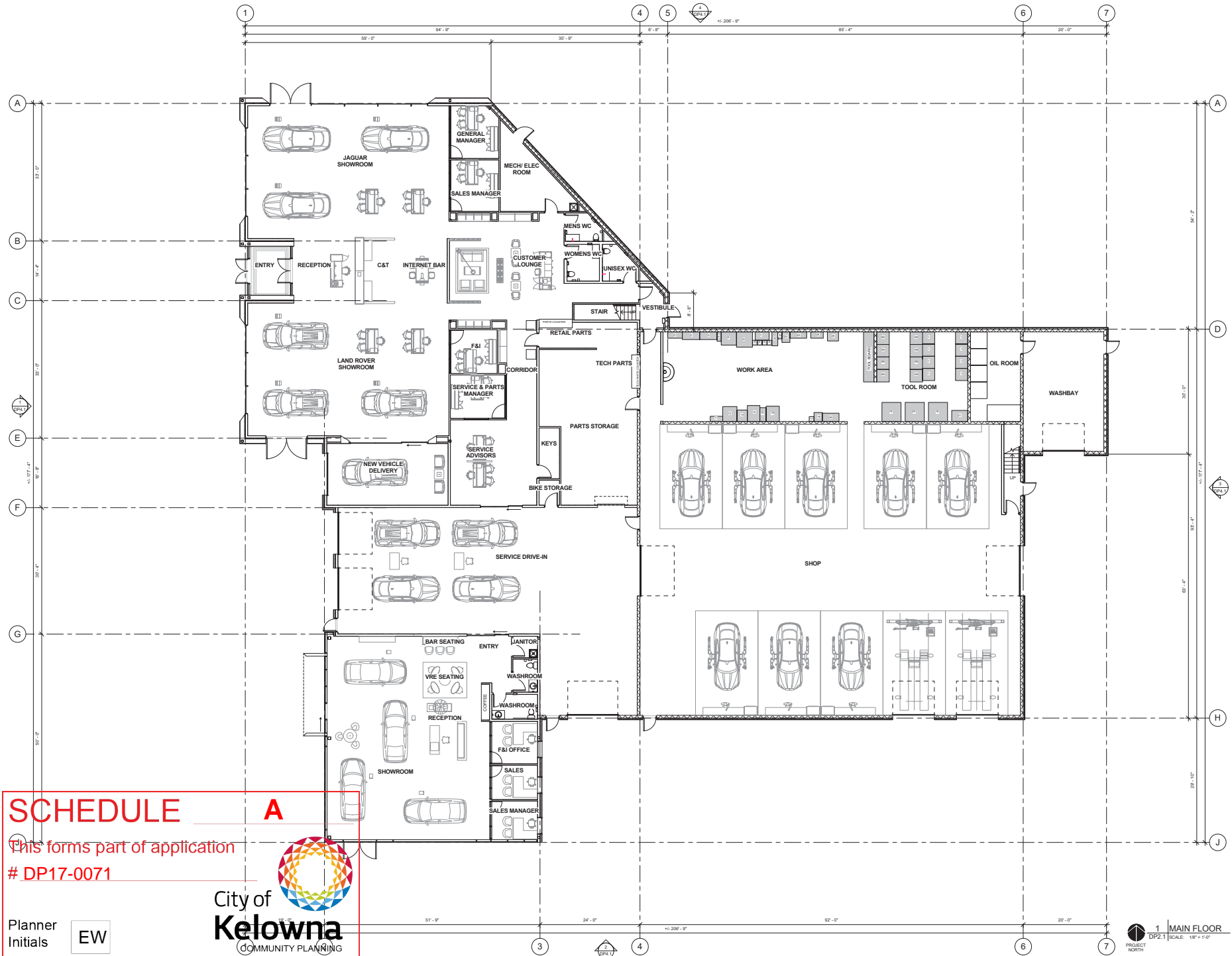
DEVELOPMENT MANAGEMENT

ARCHITECTURE

CONSTRUCTION

*AIBC Certificate of Practice - Faction Architecture Inc.
Timothy J. McLennan Architect AIBC*

**T 250-980-4510 F 250-764-2116 201-3935 Lakeshore Rd, Kelowna BC V1W 1V3
www.factionprojects.com**



SCHEDULE

A

This forms part of application
DP17-0071

Planner
Initials **EW**



1 MAIN FLOOR
DP2.1 SCALE: 1/8" = 1'-0"

NO.	DATE	DESCRIPTION
1	2016-10-25	CLIENT REVIEW
2	2017-03-23	CLIENT REVIEW
3	2017-03-07	DEVELOPMENT PERMIT

CONSULTANTS:

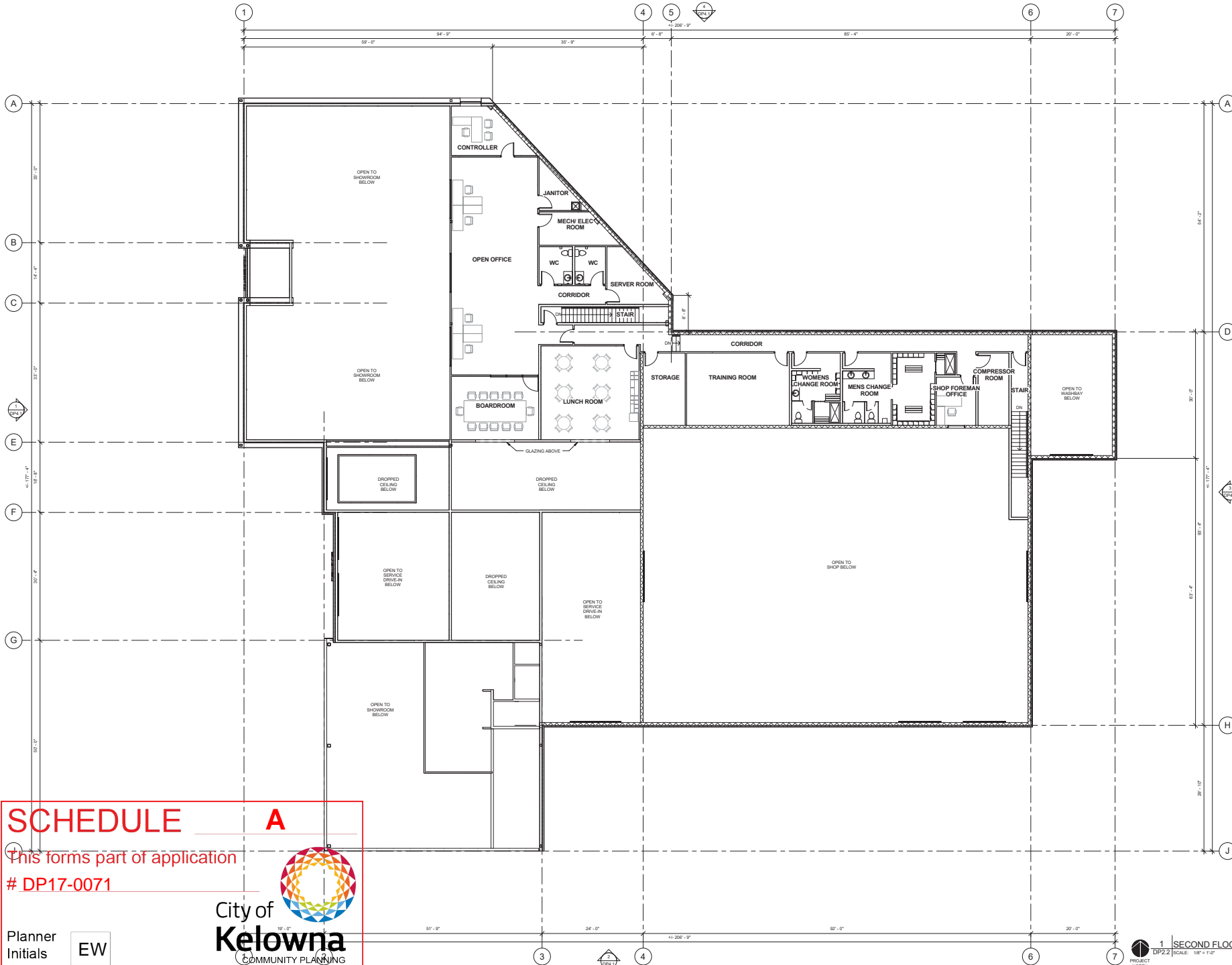
PROJECT
**KELOWNA
JLR-VOLVO**

DRAWING DESCRIPTION

MAIN FLOOR PLAN

PROJECT NO.: 16-088	DRAWING NO.:
DATE ISSUED: 2017-03-07	DATE: 2017-03-07
REVIEWED: 2017-03-07	BY: [Signature]
CHECKED: 2017-03-07	BY: [Signature]

DP2.1



SCHEDULE

A

This forms part of application
DP17-0071

Planner
Initials

EW

City of
Kelowna

COMMUNITY PLANNING

SEAL:

REVISION		
NO.	DATE	DESCRIPTION
1	2016-10-25	CLIENT REVIEW
2	2017-03-23	CLIENT REVIEW
3	2017-03-07	DEVELOPMENT PERMIT

CONSULTANTS:

PROJECT:
**KELOWNA
JLR-VOLVO**

DRAWING DESCRIPTION:
**SECOND FLOOR
PLAN**

PROJECT NO.: 16-008	DRAWING NO.: DP2.2
FLUT SCALE: 1/8" = 1'-0"	
DATE ISSUED: 2017-03-07	BY: [Signature]
REVIEWED: 2017-03-07	CHECKED: [Signature]

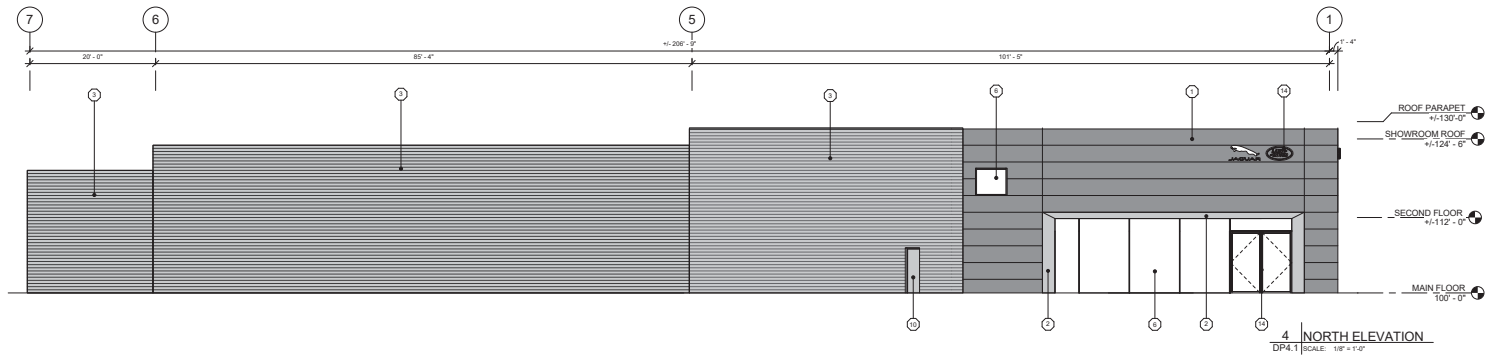
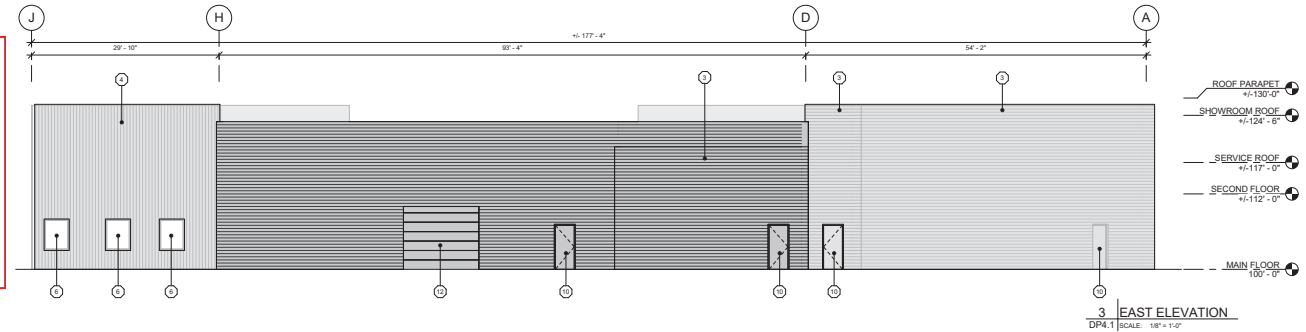
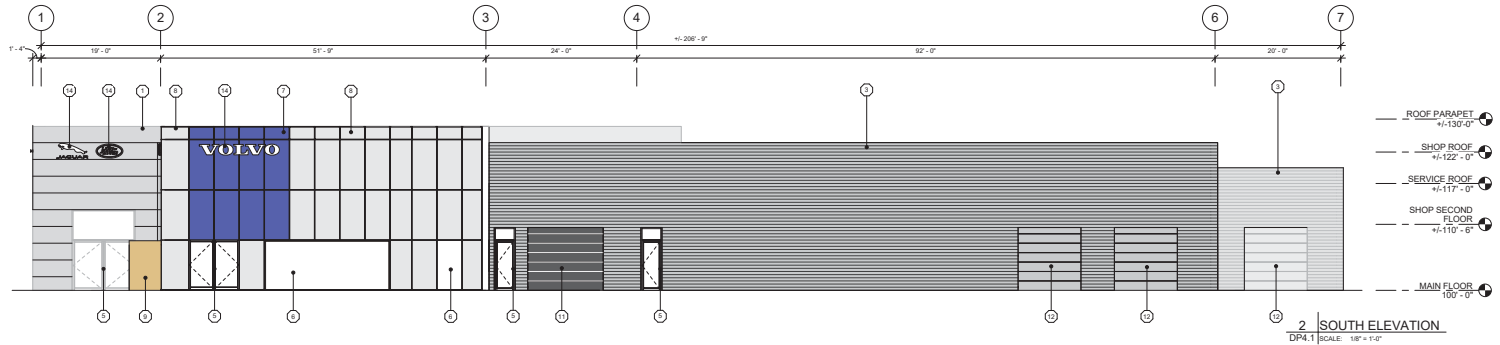
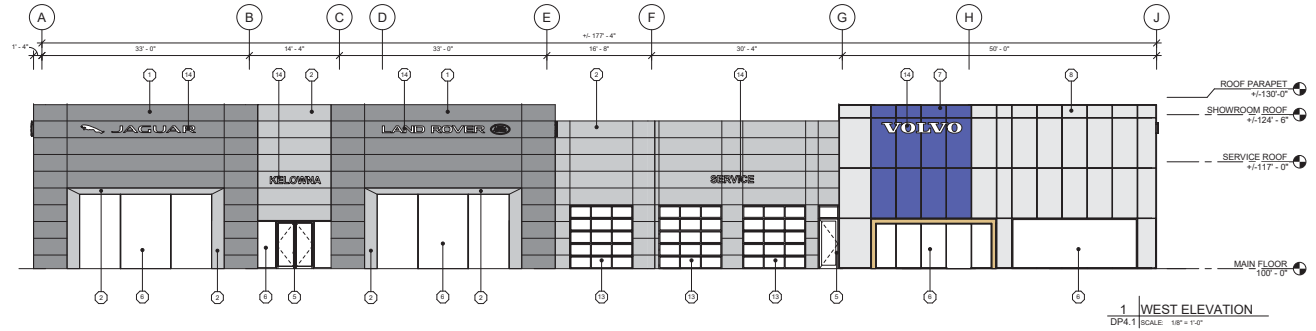
1 SECOND FLOOR
DP2.2 SCALE: 1/8" = 1'-0"
PROJECT NORTH

NO.	DATE	DESCRIPTION
1	2016-10-25	CLIENT REVIEW
2	2017-03-23	CLIENT REVIEW
3	2017-03-07	DEVELOPMENT PERMIT

All drawings and related documents are the property and copyright of Faction Architecture Inc. Reproduction by any means, in whole or in part, is prohibited without the Architect's prior consent.
DRAWINGS ARE NOT TO BE SCALED: Confirm all dimensions on site. Any apparent discrepancies in the drawings shall be brought to the Architect's attention with time being of the essence.

NOTES

EXTERIOR FINISH LEGEND	
1	METAL PANEL - GREY
2	METAL PANEL - LIGHT GREY
3	HORIZONTAL METAL CLADDING - LIGHT GREY
4	VERTICAL METAL CLADDING - LIGHT GREY
5	GLAZING FRAME - CLEAR ANODIZED
6	CLEAR GLAZING
7	BLUE GLAZING
8	TRANSLUCENT WHITE GLAZING
9	COMPOSITE WOOD CLADDING
10	MAN DOOR - LIGHT GREY
11	OVERHEAD DOOR - GLASS - BLACK
12	OVERHEAD DOOR - LIGHT GREY
13	OVERHEAD DOOR - GLASS/ALUMINUM - CLEAR ANODIZED
14	POTENTIAL SIGNAGE LOCATIONS



SCHEDULE

B

This forms part of application
DP17-0071

Planner
Initials **EW**



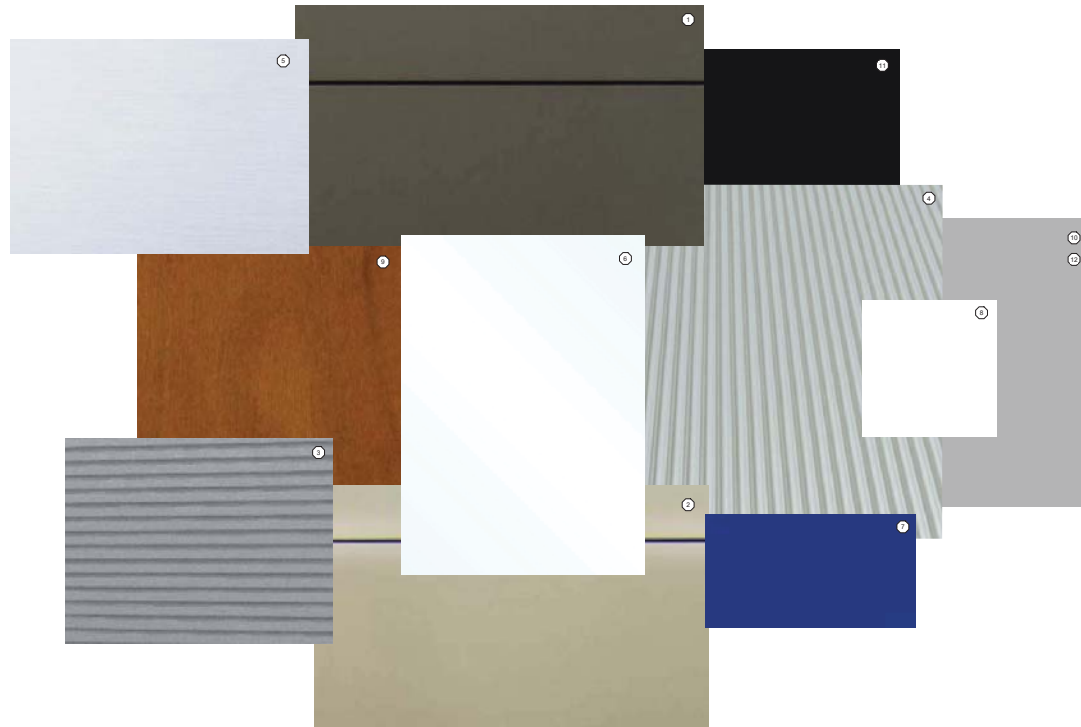
REVISIONS	
NO.	DESCRIPTION
1	2017-03-07 DEVELOPMENT PERMIT

CONSULTANTS

PROJECT
**KELOWNA
JLR-VOLVO**

DRAWING DESCRIPTION
EXTERIOR ELEVATIONS

PROJECT NO.: 16-008	DRAWING NO.: DP4.1
PLAT SCALE: As indicated	
DATE ISSUED: 2017-03-07	
REVISIONS: 2017-03-07	
2017-03-07	Check



EXTERIOR FINISH LEGEND	
1	METAL PANEL - GREY
2	METAL PANEL - LIGHT GREY
3	HORIZONTAL METAL CLADDING - LIGHT GREY
4	VERTICAL METAL CLADDING - LIGHT GREY
5	GLAZING FRAME - CLEAR ANODIZED
6	CLEAR GLAZING
7	BLUE GLAZING
8	TRANSLUCENT WHITE GLAZING
9	COMPOSITE WOOD CLADDING
10	MAN DOOR - LIGHT GREY
11	OVERHEAD DOOR - GLASS - BLACK
12	OVERHEAD DOOR - LIGHT GREY
13	OVERHEAD DOOR - GLASS/ALUMINUM - CLEAR ANODIZED
14	POTENTIAL SIGNAGE LOCATIONS

1 COLOUR BOARD
DP6.0 SCALE: 1/2" = 1'-0"

SCALE:

ISSUED FOR		
NO	DATE	DESCRIPTION
1	2017-03-07	DEVELOPMENT PERMIT

CONSULTANTS:

SCHEDULE

This forms part of application
DP17-0071

Planner
Initials

EW

B

City of Kelowna

COMMUNITY PLANNING

PROJECT	
KELOWNA JLR-VOLVO	
DRAWING DESCRIPTION	
MATERIAL BOARD	
PROJECT NO.: 16-008	DRAWING NO.: DP6.0
PLAT SCALE: 1/2" = 1'-0"	
DATE ISSUED: 2017-03-07	
REVISED: 2017-03-07	By: [Signature]

