

CITY OF KELOWNA
MEMORANDUM

Date: March 28, 2017
File No.: Z17-0014
To: Urban Planning Management (LK)
From: Development Engineering Manager (SM)
Subject: 300 & 310 Dougall Road N RU1 (2 lots) to C4

The Development Engineering Department has the following comments and requirements associated with this rezoning application to facilitate the development of ground level commercial and multiple dwelling housing on the subject properties. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is Jason Ough

1. Domestic Water and Fire Protection

- a) This development is within the service area of the Rutland Waterworks District (RWD). The developer is required to make satisfactory arrangements with the RWD for these items. All charges for service connection and upgrading costs, as well as any costs to decommission existing services are to be paid directly to RWD.
- b) The developer must obtain the necessary permits and have all existing utility services disconnected prior to removing or demolishing the existing structures.

2. Sanitary Sewer

The subject properties are currently serviced with two 100mm sanitary services, 310 at McIntosh Rd and 300 at Dougall Rd. The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal and disconnection of the existing services and the installation of one new larger service if necessary.

3. Storm Drainage

The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the Subdivision, Development and Servicing Bylaw No. 7900. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and / or recommendations for onsite drainage containment and disposal systems. The existing lot is serviced with a 150mm diameter storm service. Only one service will be permitted for this development. The applicant, at his cost, will arrange the installation of one overflow service if required.

4. Road Improvements

- a) The applicant must have a civil engineering consultant submit a design for Dougall Road to be upgraded to an urban standard (SS-R5) along the full frontage of the subject property; including curb and gutter, sidewalk, street lighting, landscaped boulevard, storm drainage system, pavement removal and replacement and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. An estimate for public side works will be required, for bonding purposes, to be submitted by the applicants civil engineering consultant.
- b) McIntosh Road is identified in the Pedestrian and Bicycle Master Plan (PBMP) for inclusion of a multi-use pathway (MUP). The applicant's civil engineering consultant will work with City staff to create a modified SS-R5 cross section to ensure the new curb alignment will match the future active transportation project corridor. One option is to leave a gravel soak away strip on the McIntosh Road frontage and provide a cash in lieu payment for curb and gutter to be constructed as part of the future active transportation project.
- c) A 7.5m of commercial lane will be dedicated and constructed along the southern property line of 300 Dougall Road. This will include 6m corner rounding at both SE and SW corners.

5. Road Dedication and Subdivision Requirements

- a) The subject properties are required to be consolidated as part of this development project.
- b) Approximately 2.5m of road dedication is required along Dougall Road frontage to match the property line at 250-270 Dougall Road.
- c) Approximately 3m of road dedication is required along McIntosh Road frontage to achieve a 20m Right of Way.
- d) A 7.5m of commercial lane dedication is required along the southern property line of 300 Dougall Road.
- e) Grant statutory rights-of-way if required for utility services.

6. Electric Power and Telecommunication Services

All proposed service connections are to be installed underground. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

7. Design and Construction

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Quality Control and Assurance Plans must be provided in accordance with the

Subdivision, Development & Servicing Bylaw No. 7900 (Part 5 and Schedule 3).

- d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

8. Servicing Agreements for Works and Services

- a) A Servicing Agreement is required for all offsite works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

9. Other Engineering Comments

- a) Provide all necessary Statutory Rights-of-Way for any utility corridors as required.
- b) If any road dedication affects lands encumbered by a Utility right-of-way (such as Terasen, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.

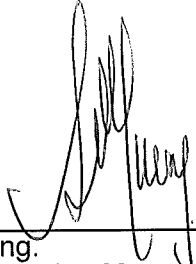
10. Geotechnical Report

- a) Provide a comprehensive geotechnical report prepared by a Professional Engineer competent in the field of hydro-geotechnical engineering to address the items below: **NOTE: The City is relying on the Geotechnical Engineer's report to prevent any damage to property and/or injury to persons from occurring as a result of problems with soil slippage or soil instability related to this proposed development.**
 - Overall site suitability for development.
 - Presence of ground water and/or springs.
 - Presence of fill areas.
 - Presence of swelling clays.
 - Presence of sulphates.
 - Potential site erosion.
 - Provide specific requirements for footings and foundation construction.
 - Provide specific construction design sections for roads and utilities over and above the City's current construction standards

11. Development Permit and Site Related Issues

Access and Manoeuvrability

- (i) Access to the site will be permitted from the lane only.

A handwritten signature in black ink, appearing to read 'Steve Muenz', is written over a horizontal line.

Steve Muenz, P. Eng.
Development Engineering Manager
jo



CITY OF KELOWNA

MEMORANDUM

Date: March 28, 2017
File No.: DP17-0033
To: Urban Planning Management (LK)
From: Development Engineering Manager (SM)
Subject: 300 & 310 Dougall Road N

The Development Engineering comments and requirements regarding this Development Permit application to evaluate form and character and to facilitate the development of ground level commercial and multiple dwelling housing on the subject properties are as follows:

1. **General.**

All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z17-0014.

A handwritten signature in black ink, appearing to read 'Steve Muenz', written over a horizontal line.

Steve Muenz, P. Eng.
Development Engineering Manager

jo



CITY OF KELOWNA

MEMORANDUM

Date: March 28, 2017
File No.: DVP17-0034
To: Urban Planning Management (LK)
From: Development Engineering Manager (SM)
Subject: 300 & 310 Dougall Road N

The Development Engineering comments and requirements regarding this Development Variance Permit application to vary the maximum height from 15m and 4 storeys to 15.5m and 5 storeys to facilitate the development of ground level commercial and multiple dwelling housing on the subject properties are as follows:

1. **General.**

- a) The proposed variance has no impact on existing municipal infrastructure.
- b) All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z17-0014.

A handwritten signature in black ink, appearing to read 'Steve Muenz'.

Steve Muenz, P. Eng.
Development Engineering Manager

jo



Planner
Initials

LK



DOUGALL ROAD MIXED-USE DEVELOPMENT

DOUGALL ROAD KELOWNA, B.C.



ARCHITECTURAL:

NEWTOWN ARCHITECTURE & ENGINEERING
1464 ST. PAUL STREET KELOWNA, B.C. V1Y 2E6
PH. 250-860-8185

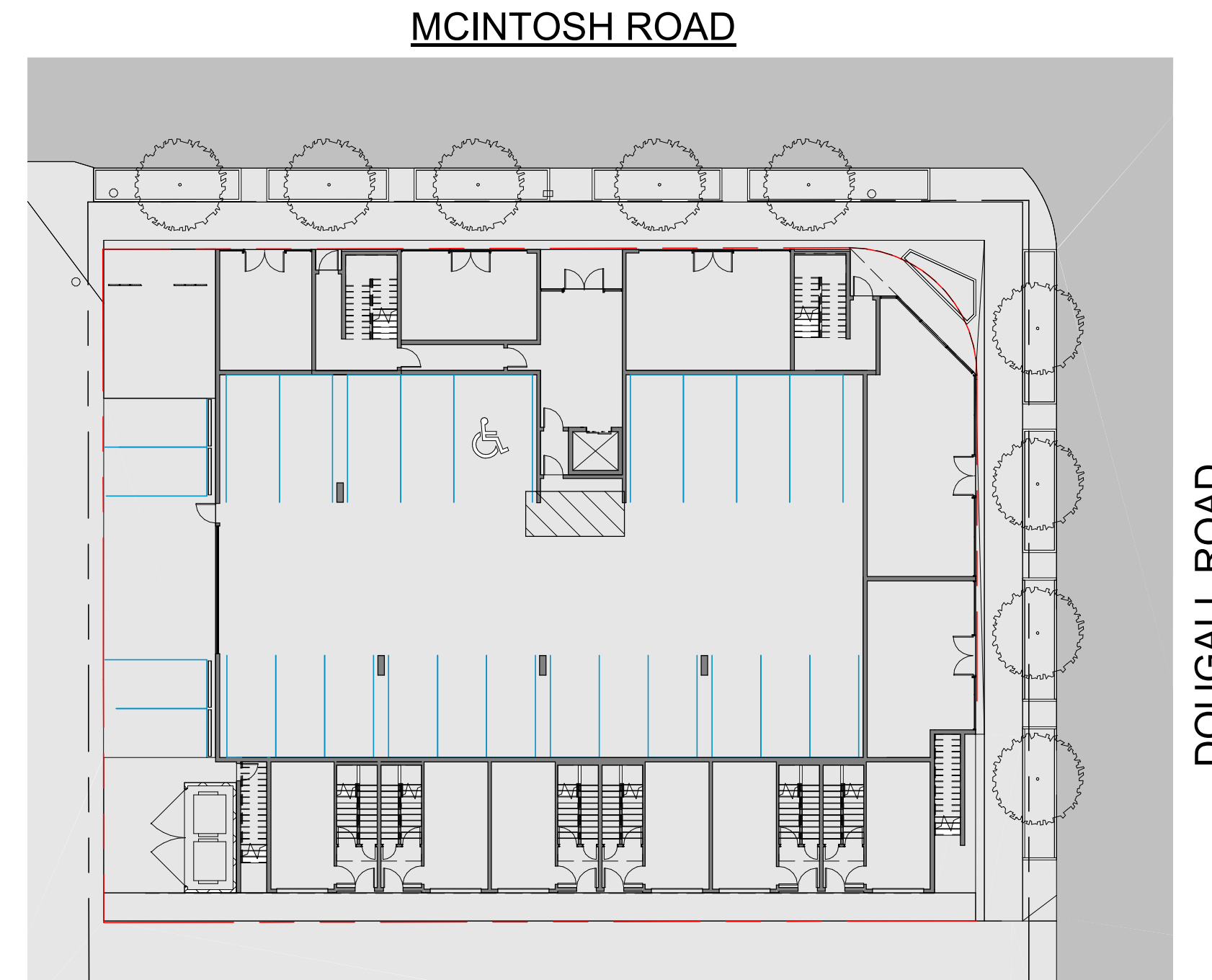
- A0.00 COVER SHEET & DWG LIST
- A1.01 BUILDING IMAGES
- A1.02 BUILDING IMAGES
- A2.00 SITE PLAN
- A3.01 LEVEL 1 FLOOR PLAN
- A3.02 LEVEL 2 FLOOR PLAN
- A3.03 LEVEL 3 FLOOR PLAN
- A3.04 LEVEL 4 FLOOR PLAN
- A3.05 LEVEL 5 FLOOR PLAN
- A3.06 ROOF PLAN
- A3.07 TOWNHOUSE UNIT PLANS
- A3.08 CONDO UNIT PLANS
- A3.09 CONDO UNIT PLANS
- A4.00 BUILDING ELEVATIONS
- A4.01 BUILDING ELEVATIONS
- A4.02 BUILDING ELEVATIONS
- A5.00 BUILDING SECTIONS
- A5.01 BUILDING SECTIONS
- A5.02 BUILDING SECTIONS

CIVIL:

LANDSCAPE:

BUILDING/SITE SUMMARY			
PROPERTY #1			
CIVIC ADDRESS:	300 DOUGALL ROAD, KELOWNA BC		
LEGAL DESCRIPTION:	LOT 20, SECTION 26, TOWNSHIP 26, ODYD, PLAN 5494, PID# 010-362-304		
PROPERTY #2			
CIVIC ADDRESS:	310 DOUGALL ROAD, KELOWNA BC		
LEGAL DESCRIPTION:	LOT 21, SECTION 26, TOWNSHIP 26, ODYD, PLAN 5494, PID# 005-086-108		
SITE AREA: 1,666.92 m² (BEFORE ROAD WIDENING)			
PROPOSED NET FLOOR AREA: 2448.67 m²			
FLOOR AREA RATIO (FAR): 2448.67 / 1659.21 = 1.47			
<u>PRIVATE OPEN SPACE SUMMARY:</u>			
BACHELOR (6.0m² EACH)	1 UNITS	= 6.0m²	
1 BEDROOM (10m² EACH)	1 UNITS	= 10.0m²	
2 BEDROOM (15m² EACH)	21 UNITS	= 315.0m²	
	TOTAL REQUIRED:	= 331.0m²	
<u>PRIVATE OPEN SPACE PROPOSED:</u> = 5329.33 SF (495.11 m²)			
PARKING:			
<u>REQUIRED:</u>			
1 STALL PER DWELLING UNIT:		23 STALLS	
1 STALL FOR EVERY 7 DWELLING UNITS DESIGNATED TO VISITOR PARKING:		3 STALLS	
1.75 STALLS FOR EVERY 100m² GFA OF COMMERCIAL SPACE: 208.12 m² =		4 STALLS	
TOTAL REQUIRED PARKING:		30 STALLS	
<u>PROVIDED:</u>			
25 STALLS IN PARKADE AND 6 STALL IN TOWNHOUSE GARAGES:		31 STALLS	
BICYCLE PARKING:			
<u>REQUIRED:</u>			
APARTMENT -	CLASS I - 0.5 PER DWELLING UNIT:	11.5	
	CLASS II - 0.1 PER DWELLING UNIT:	2.3	
COMMERCIAL -	CLASS I - 0.2 PER 100m² GLA OR 1 PER 10 EMPLOYEES:	0.42	
	CLASS II - 0.6 PER 100m² GLA:	1.25	
TOTAL CLASS I REQUIRED: 12		TOTAL CLASS I PROVIDED: 20	
TOTAL CLASS II REQUIRED: 4		TOTAL CLASS II PROVIDED: 6	

ZONING BYLAW SUMMARY		
	REQUIRED	PROPOSED
ZONE:	C4	C4
PERMITTED USE:	MIXED USE	MIXED USE
MINIMUM LOT AREA:	460m ²	1,666.92 m ²
MINIMUM LOT DEPTH	30 m	44.3 m
MINIMUM LOT WIDTH	13.0 m	37.7 m
MAXIMUM FLOOR AREA RATIO:	1.47	1.3 + 0.17 (PARKING BONUS) = 1.47
MAXIMUM SITE COVERAGE:	75 %	79.8% AFTER WIDENING 63 % BEFORE WIDENING
MAXIMUM HEIGHT:	15 m OR 4 STOREYS	15.5 m OR 5 STOREYS
MINIMUM FRONT SETBACK:	0.0m (DOUGALL RD N)	0.0 m
MINIMUM SIDE SETBACK:	0.0 m (MCINTOSH RD)	0.0 m
MINIMUM SIDE SETBACK:	0.0 m	0.0 m
MINIMUM REAR SETBACK:	0.0 m (TO REAR LANE)	5.3 m



KEYPLAN

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

This drawing is an instrument of service and the property of New Town Services. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled.

Verify all dimensions and datums prior to commencement of work.

Report all errors and omissions to the Architect.



SEAL

Revisions		
No	Date	Description
1	APR 13, 2017	Issued for DP

project
DOUGALL RD MIXED-USE DEVELOPMENT

project address
DOUGALL RD.,
KELOWNA, BC

project no. 4002

file

drawing title
COVER SHEET & DWG LIST

designed _____ scale _____ As Indicated

drawn _____ J.F.

checked _____ R.Y.

drawing no. **A0.00**

plotted NOV 28, 2016



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project
DOUGALL RD MIXED-USE DEVELOPMENT

project address
DOUGALL RD.,
KELOWNA, BC

project no. 4002

file

drawing title
BUILDING IMAGES

designed _____ scale _____

drawn _____ J.F.

checked _____ R.Y.

drawing no. **A1.01**

plote NOV 28, 2016



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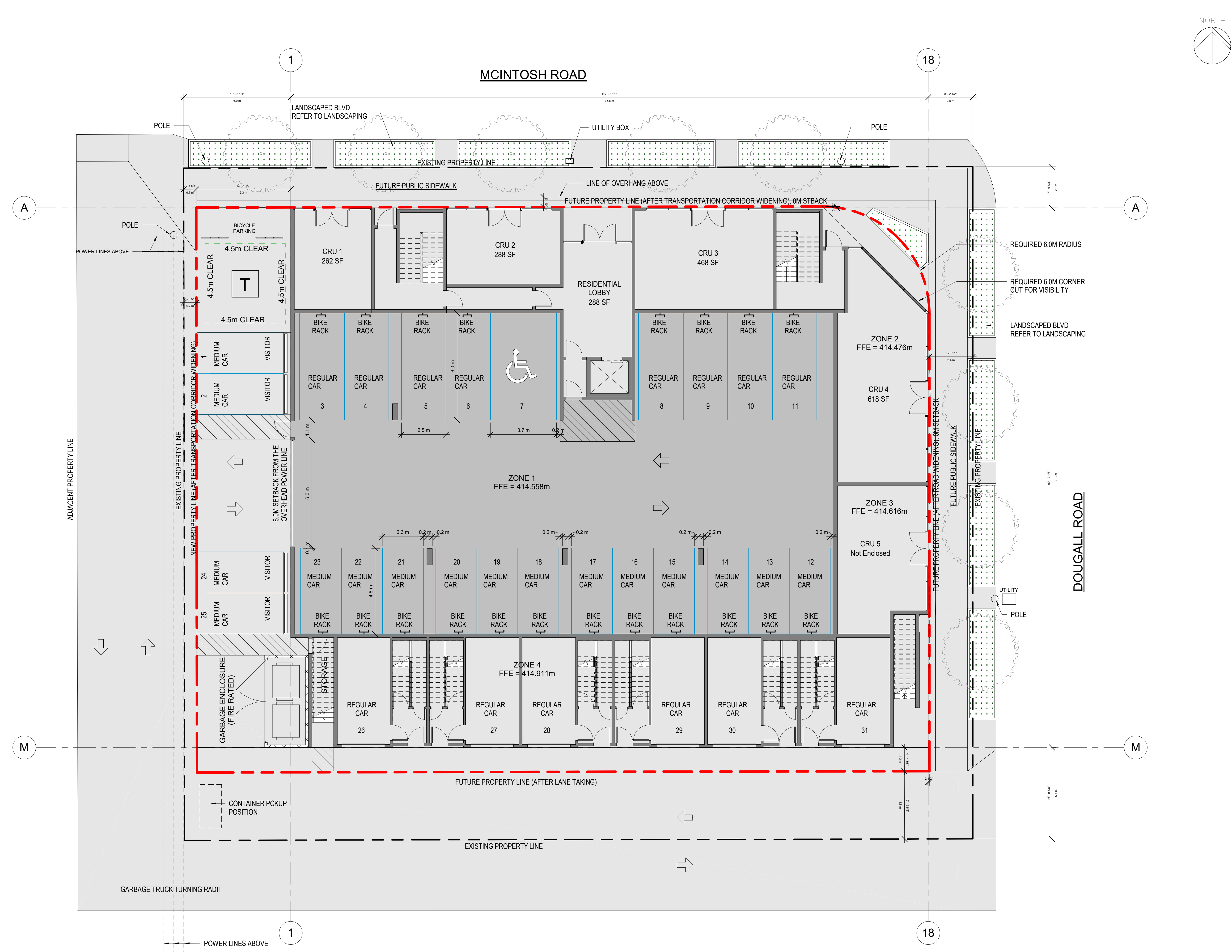
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project	
DOUGALL RD MIXED-USE DEVELOPMENT	
project address	
DOUGALL RD., KELOWNA, BC	
project no.	4002
file	
drawing title	
BUILDING IMAGES	
designed	scale
drawn	J.F.
checked	R.Y.
drawing no.	A1.02
plotted	NOV 28, 2016



1 SITE PLAN
1: 100

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project
DOUGALL RD MIXED-USE DEVELOPMENT

project address
DOUGALL RD.,
KELOWNA, BC

project no. 4002

file

drawing title
SITE PLAN

designed scale 1: 100

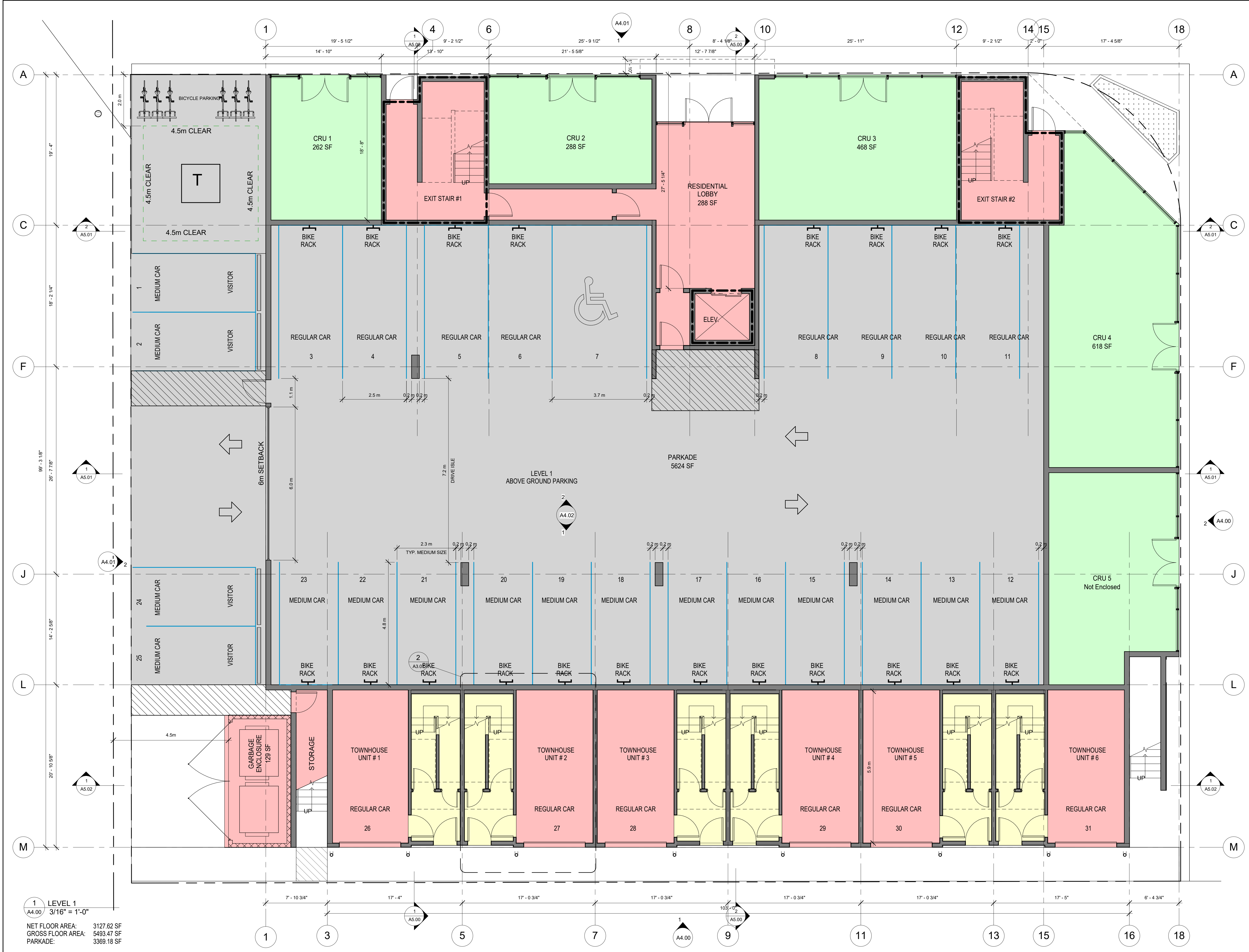
drawn J.F.

checked R.Y.

drawing no.

A2.00

plotted NOV 28, 2016



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project
DOUGALL RD MIXED-USE DEVELOPMENT

project address
DOUGALL RD., KELOWNA, BC

project no. 4002

file

drawing title
LEVEL 1 FLOOR PLAN

designed J.F.
checked R.Y.
drawing no.

scale 3/16" = 1'-0"

plotte NOV 28, 2016

A3.01



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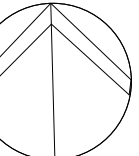
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NORTH



SEAL

Revisions

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project
DOUGALL RD MIXED-USE
DEVELOPMENT

project address
DOUGALL RD.,
KELOWNA, BC

project no. 4002

file

drawing title

LEVEL 2
FLOOR PLAN

designer

scale 3/16" = 1'-0"

drawn J.F.

checked R.Y.

drawing no.

A3.02

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project
DOUGALL RD MIXED-USE
DEVELOPMENT

project address
DOUGALL RD.,
KELOWNA, BC
project no. 4002

file
drawing title
**LEVEL 3
FLOOR PLAN**

designer scale 3/16" = 1'-0"

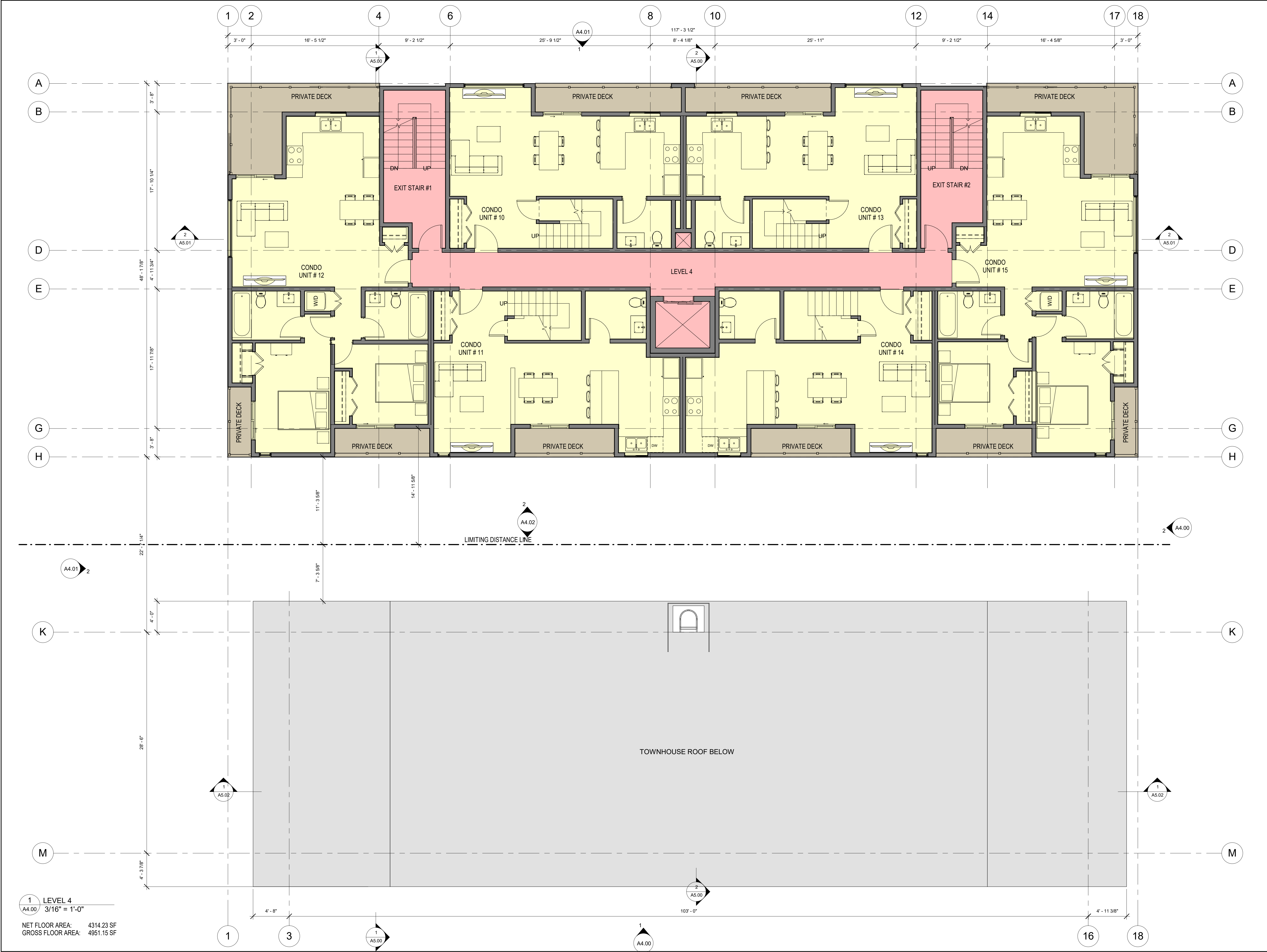
drawn J.F.

checked R.Y.

drawing no.

A3.03

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1 LEVEL 4
A4.00 3/16" = 1'-0"

NET FLOOR AREA: 4314.23 SF
GROSS FLOOR AREA: 4951.15 SF

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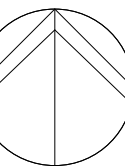
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DEVELOPMENT

project address
DOUGALL RD.,
KELOWNA, BC

project no. 4002

file
drawing title
LEVEL 4
FLOOR PLAN

designer
scale 3/16" = 1'-0"

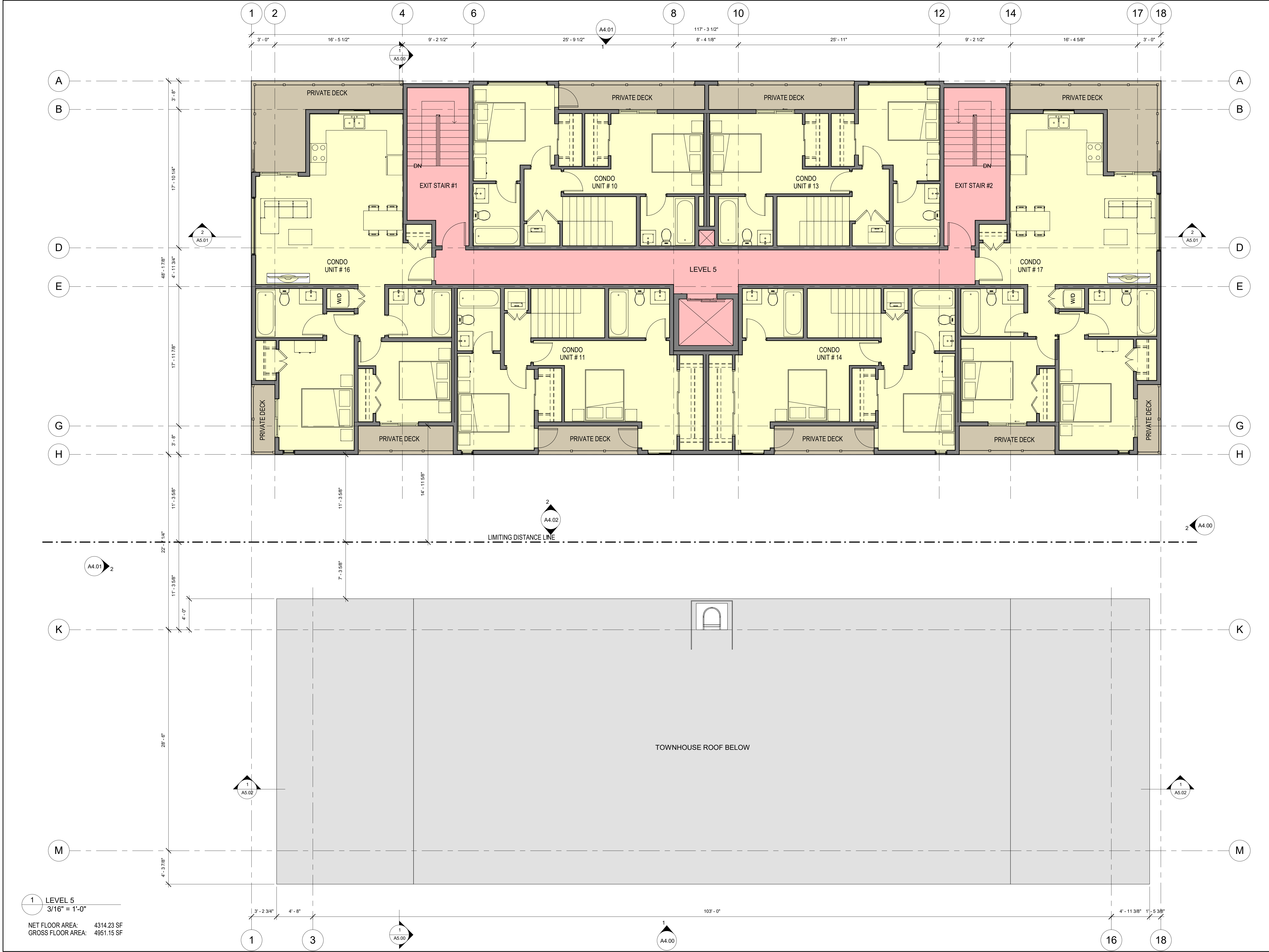
drawn J.F.

checked R.Y.

drawing no.

A3.04

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1 LEVEL 5
3/16" = 1'-0"

NET FLOOR AREA: 4314.23 SF
GROSS FLOOR AREA: 4951.15 SF

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ARCHITECTURE
URBAN PLANNING
CIVIL ENGINEERING
www.newtownservices.ca

SEAL

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project
DOUGALL RD MIXED-USE DEVELOPMENT

project address
DOUGALL RD.,
KELOWNA, BC

project no. 4002

file

drawing title
**LEVEL 5
FLOOR PLAN**

designed scale 3/16" = 1'-0"

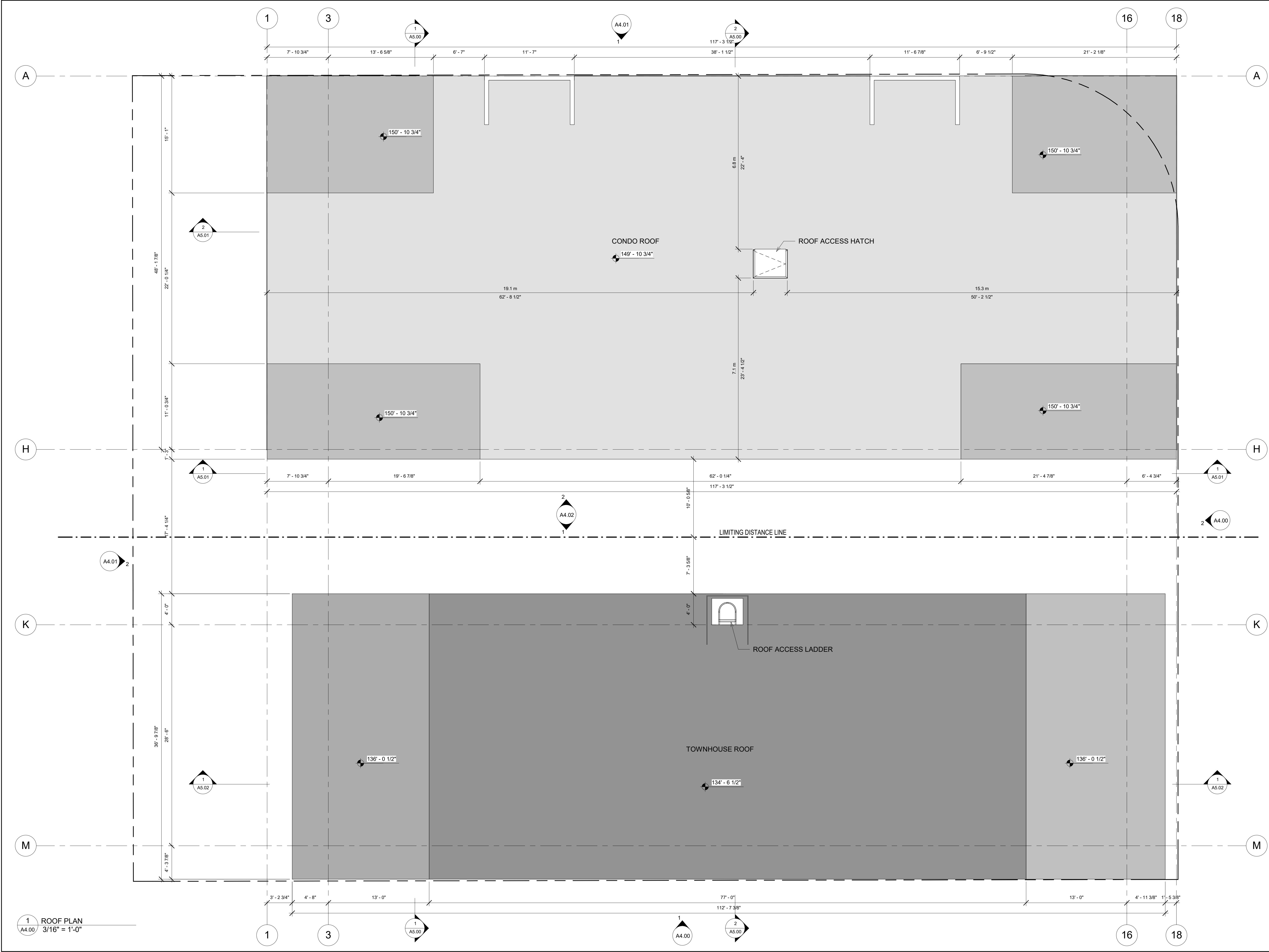
drawn J.F.

checked R.Y.

drawing no.

A3.05

plote NOV 28, 2016



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project
DOUGALL RD MIXED-USE DEVELOPMENT

project address
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KELOWNA, BC

project no. 4002

file

drawing title
ROOF PLAN

designed _____ scale 3/16" = 1'-0"

drawn J.F.

checked R.Y.

drawing no.

A3.06

plote NOV 28, 2016

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project address
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KELOWNA, BC

project no. 4002

file

drawing title
TOWNHOUSE
UNIT PLANS

designed scale 3/8" = 1'-0"

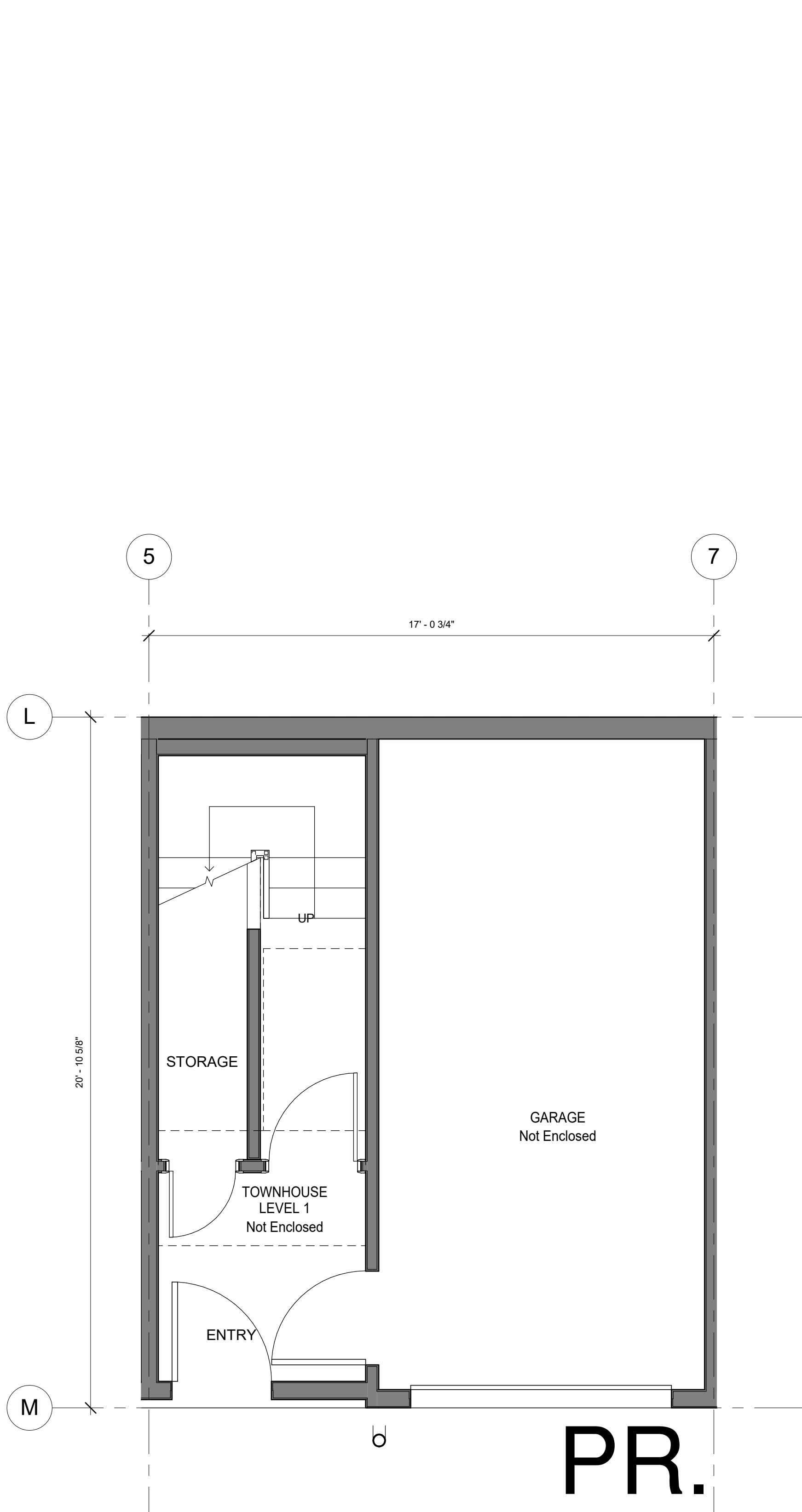
drawn J.F.

checked R.Y.

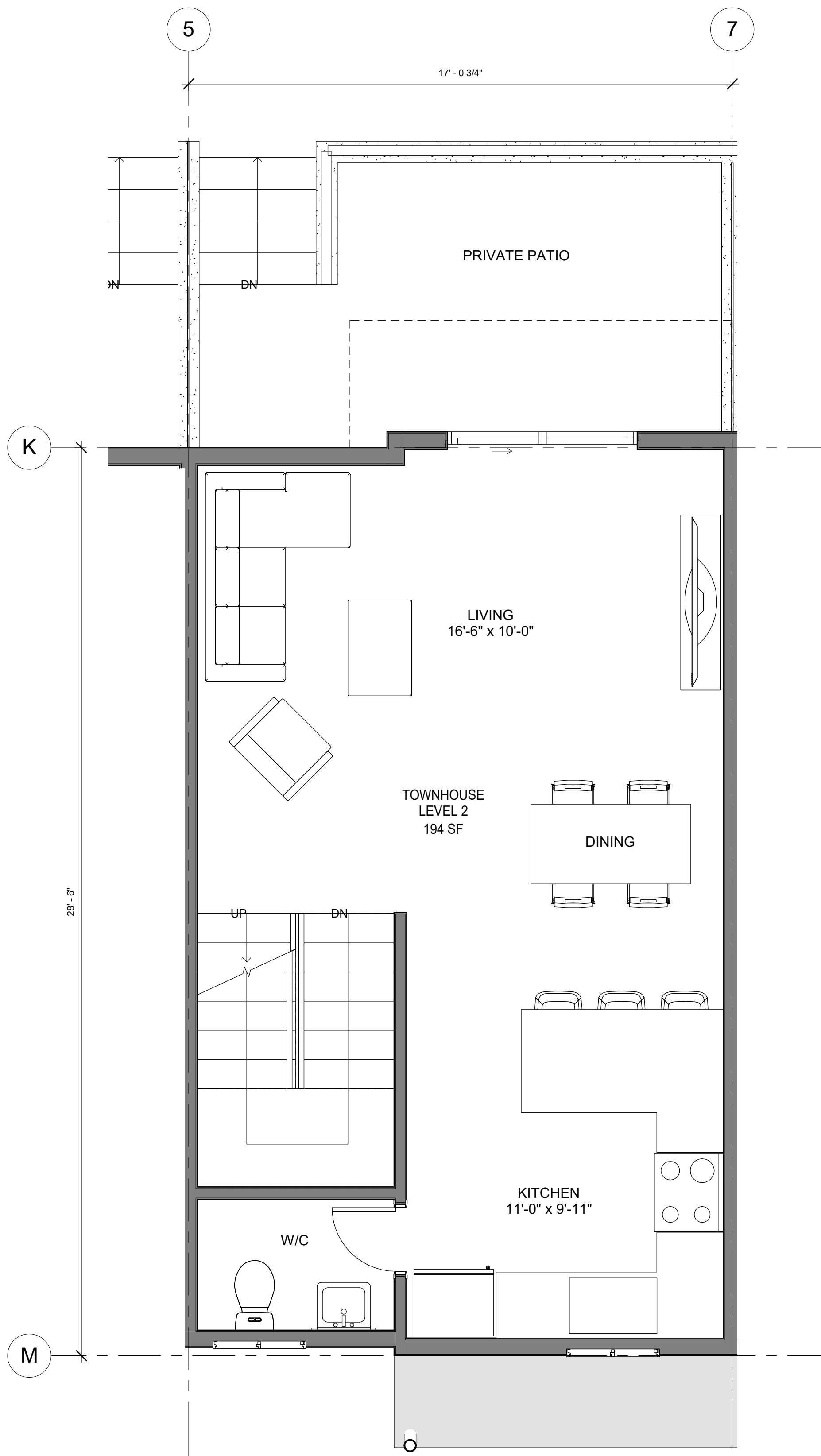
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A3.07

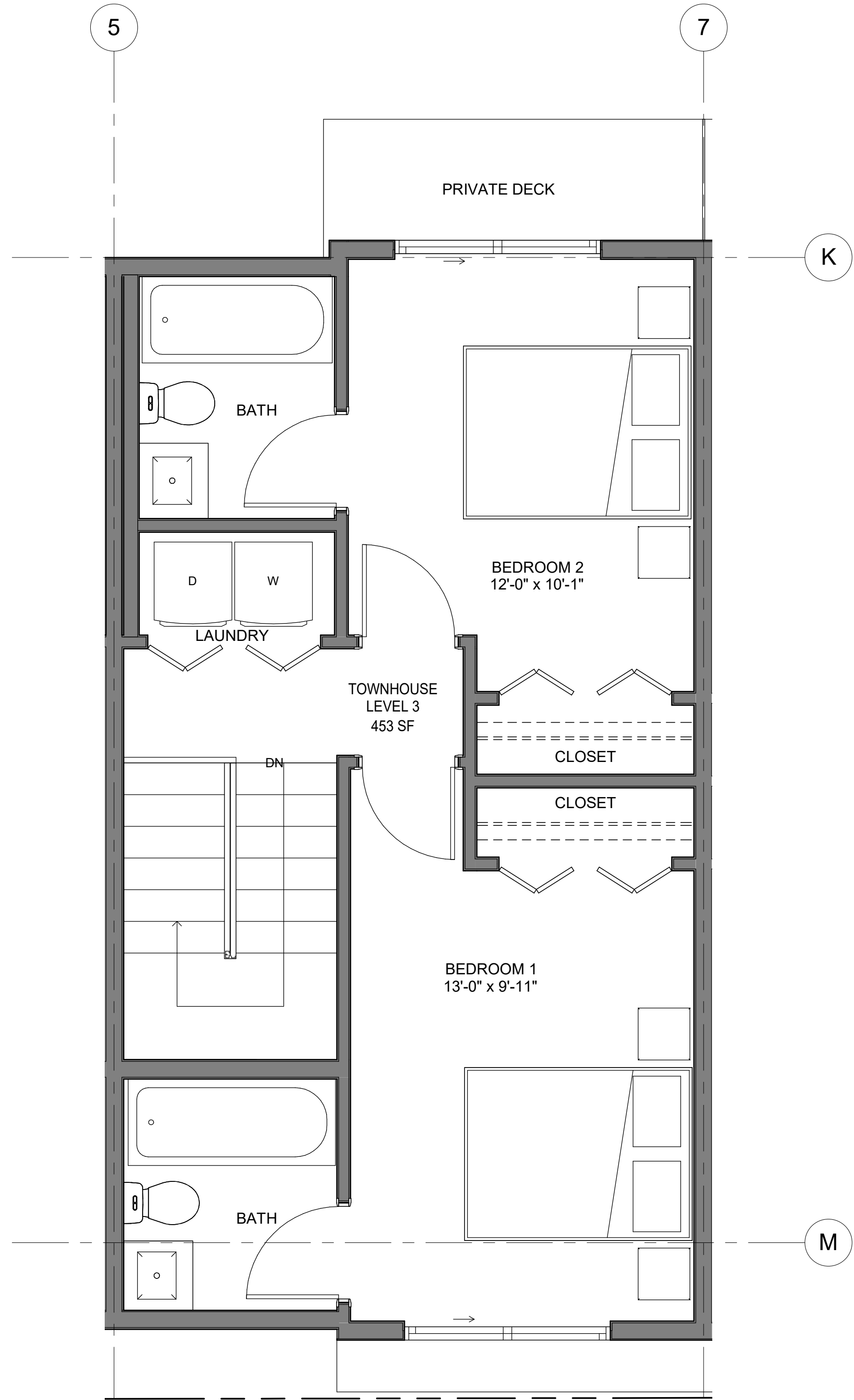
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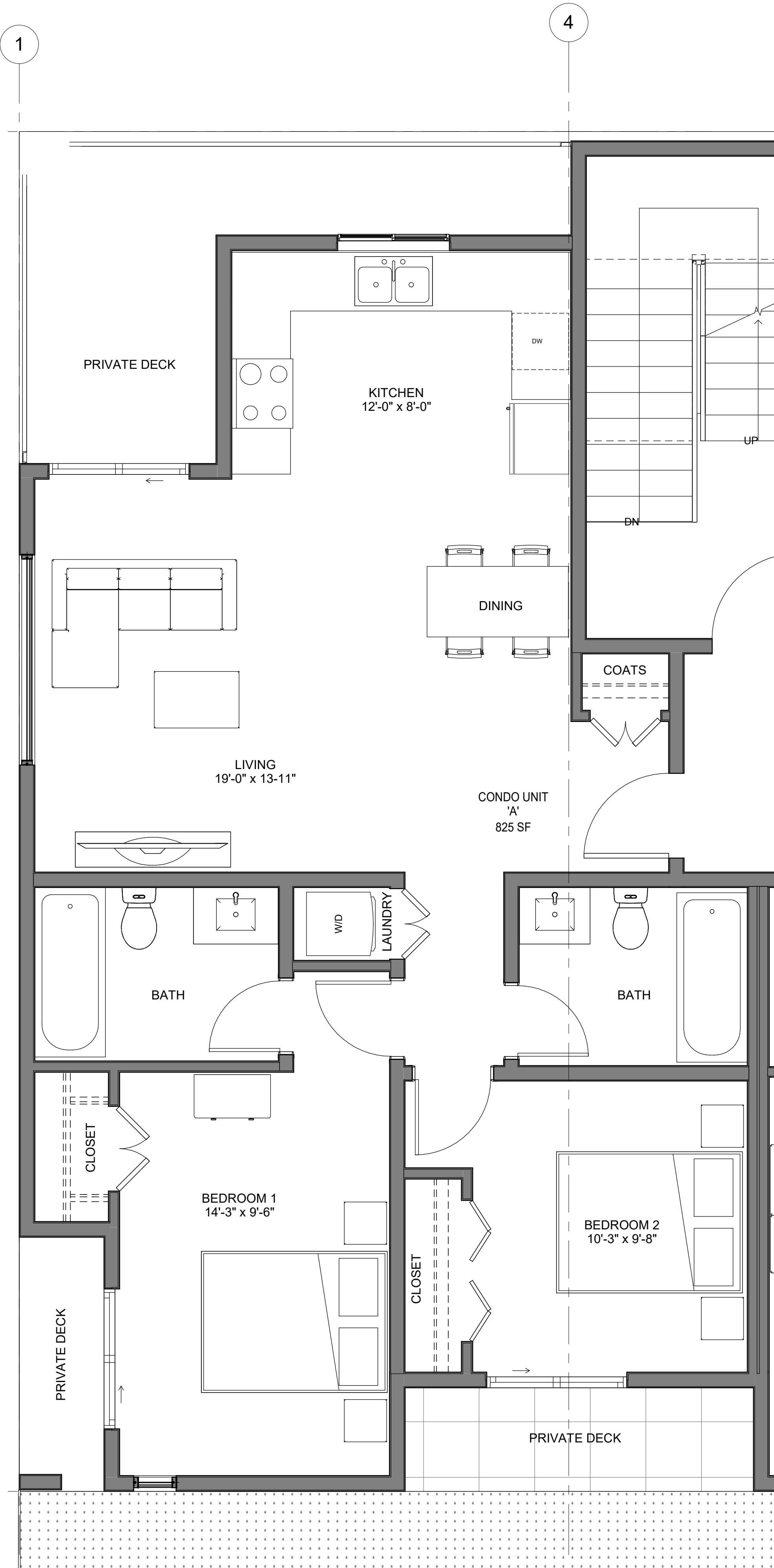
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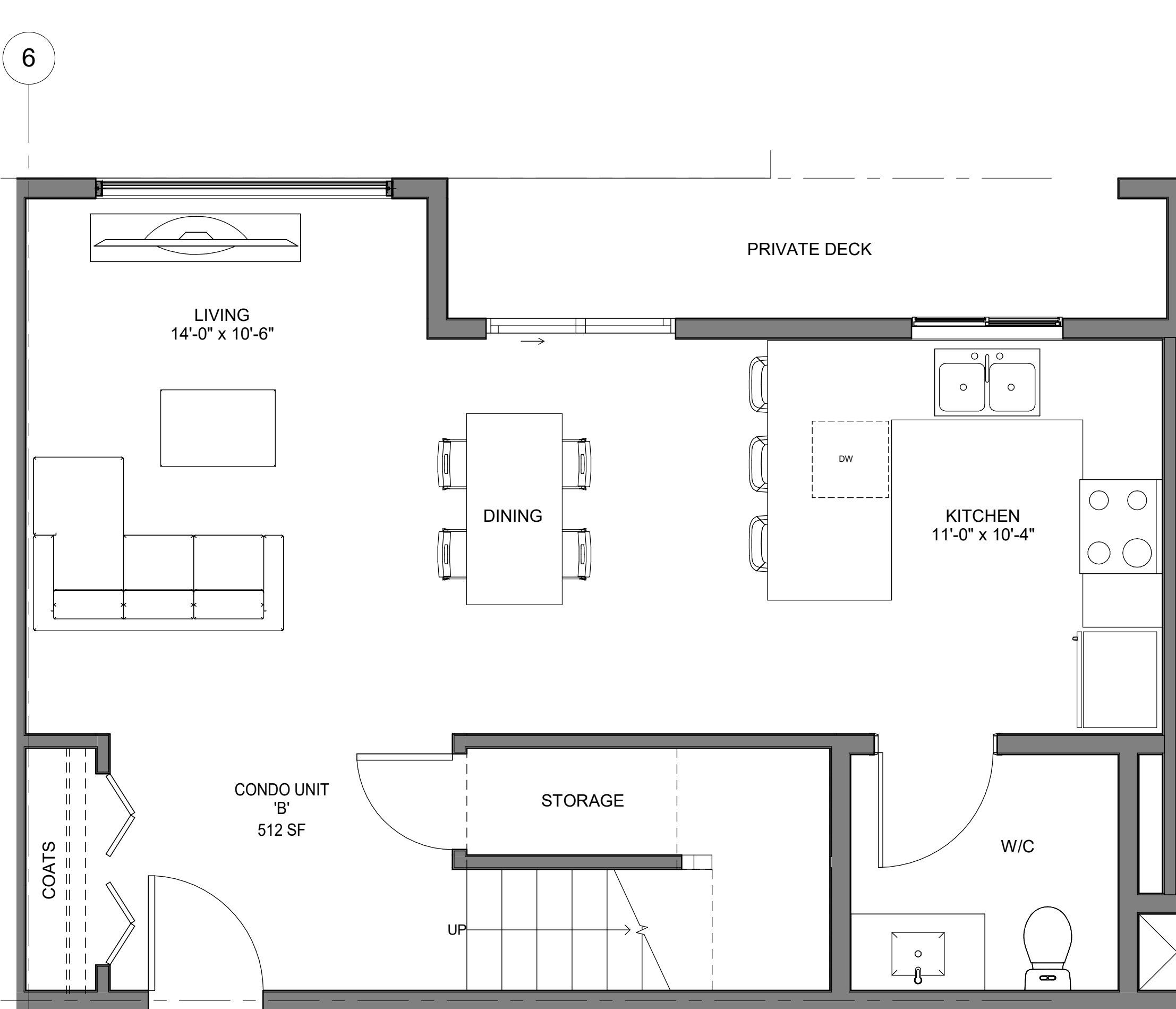
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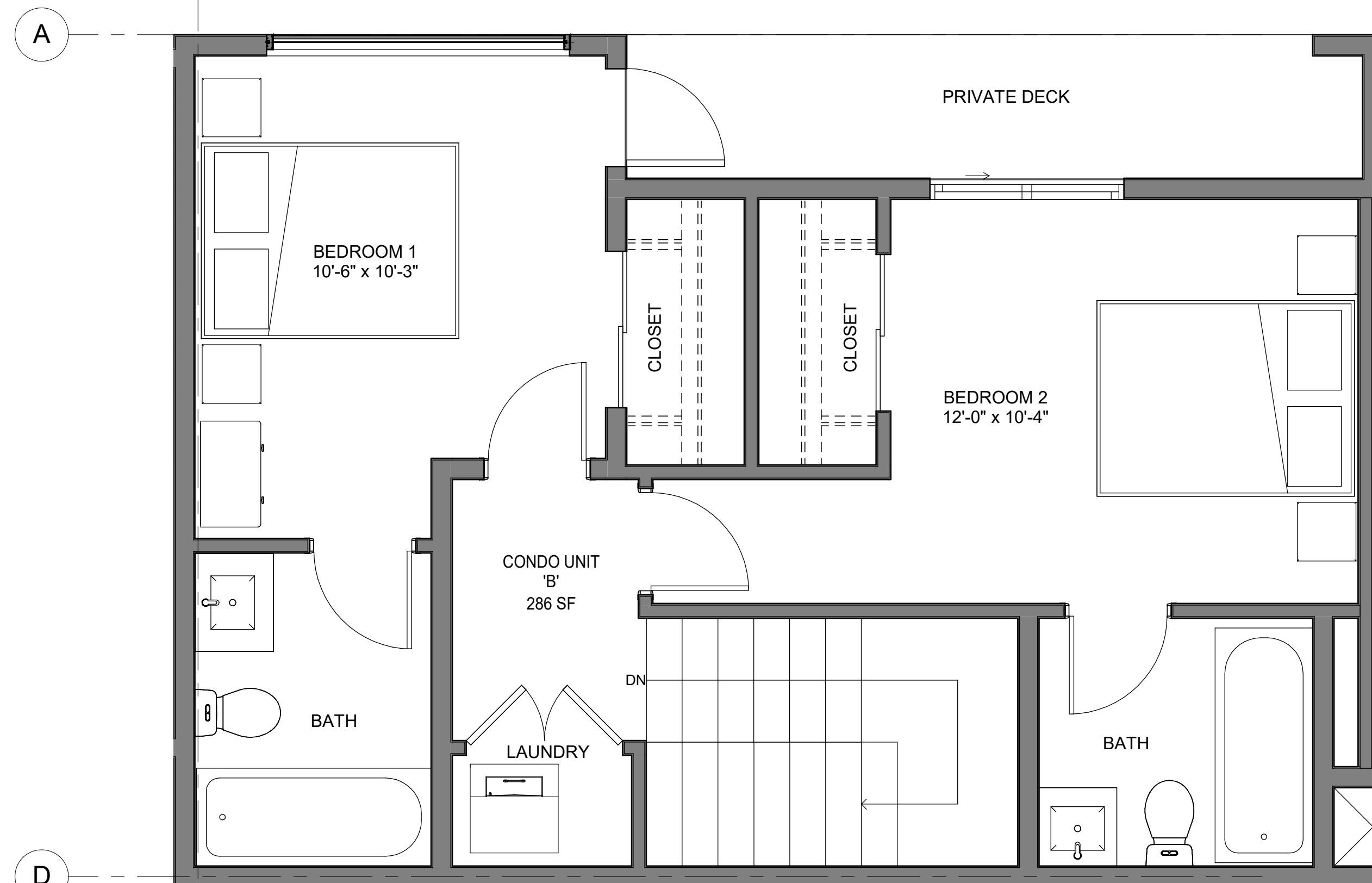
3 TOWNHOUSE UNIT LEVEL 3
A3.03 3/8" = 1'-0"



1 CONDO UNIT 'A'
A3.02 3/8" = 1'-0"



2 CONDO UNIT 'B'
A3.02 3/8" = 1'-0"



3 CONDO UNIT 'B'
A3.03 3/8" = 1'-0"

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA

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SEAL

Revisions

No	Date	Description
1	APR 13, 2017	Issued for DP

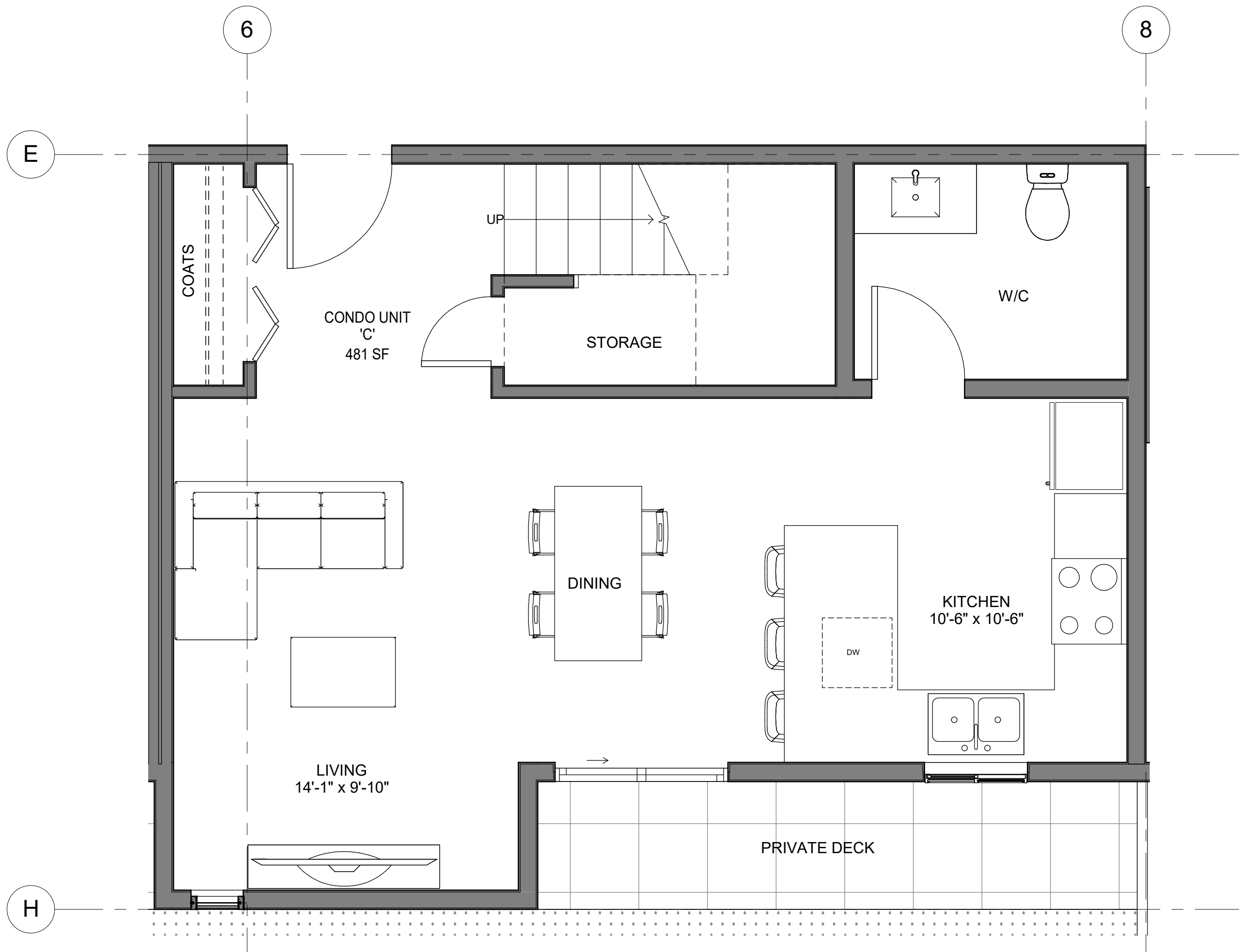
project
DOUGALL RD MIXED-USE
DEVELOPMENT

project address
DOUGALL RD.,
KELOWNA, BC
project no. 4002

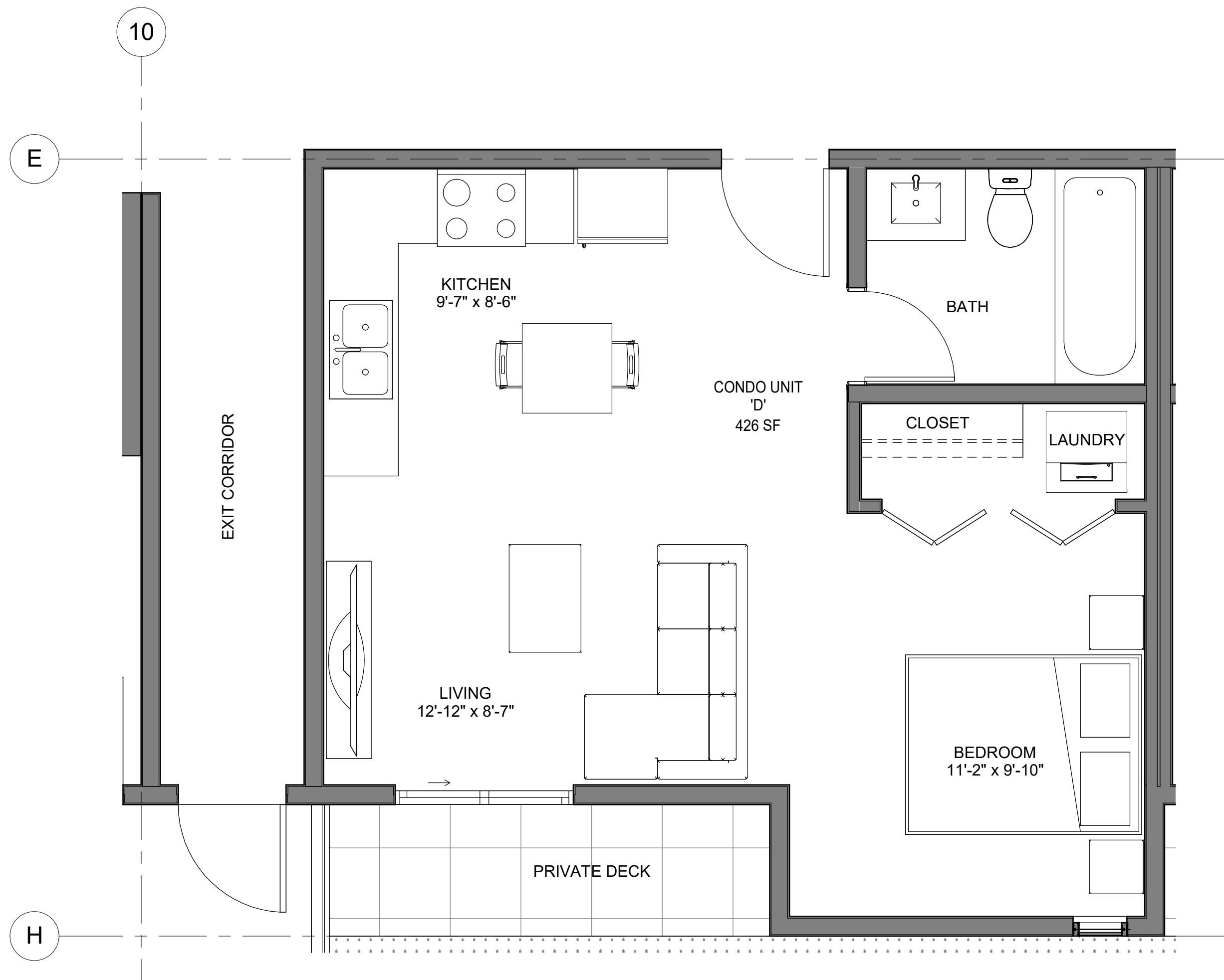
drawing title
CONDO UNIT
PLANS

designed scale 3/8" = 1'-0"
drawn J.F.
checked R.Y.
drawing no.

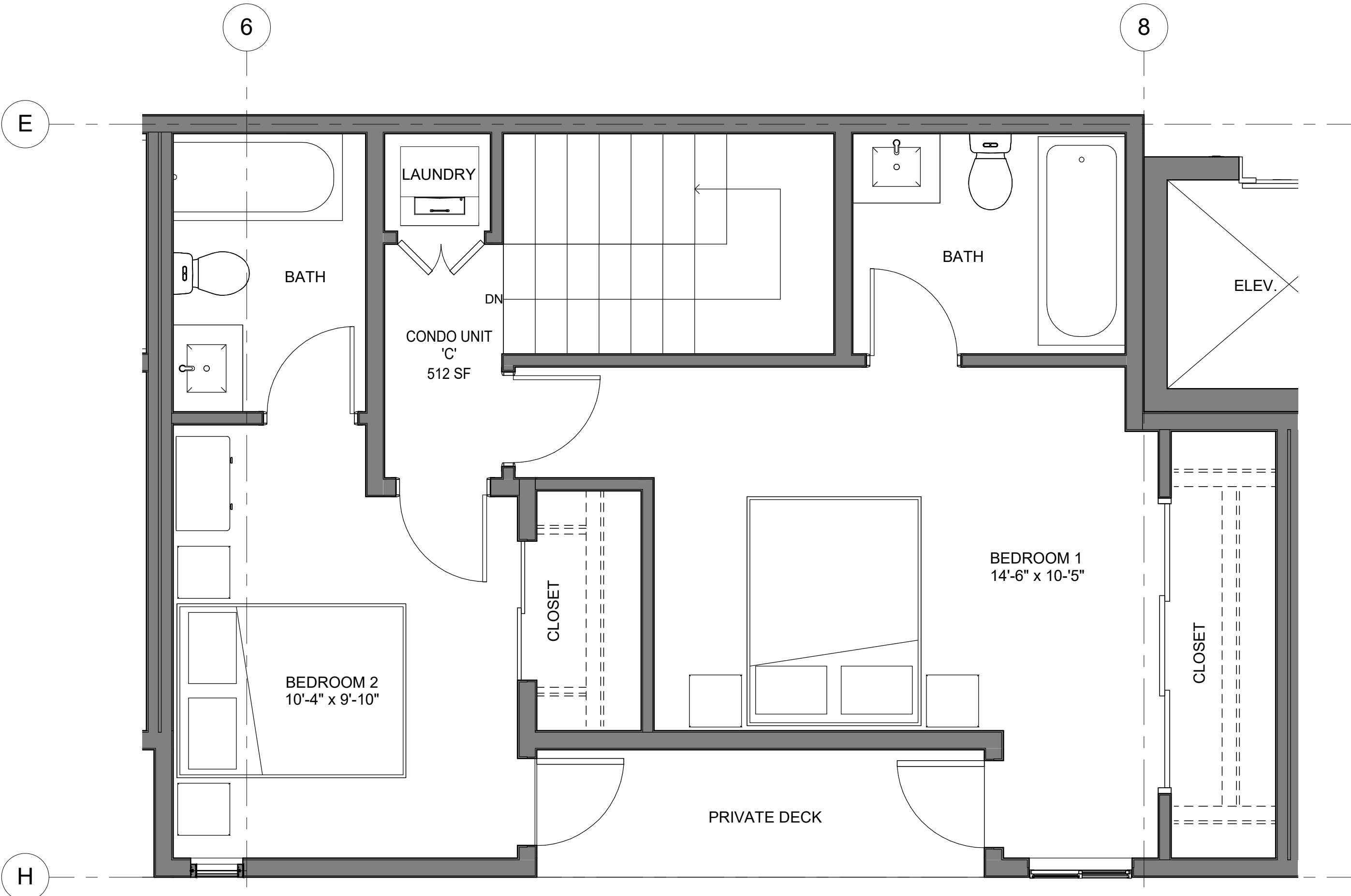
A3.08
plotted NOV 28, 2016



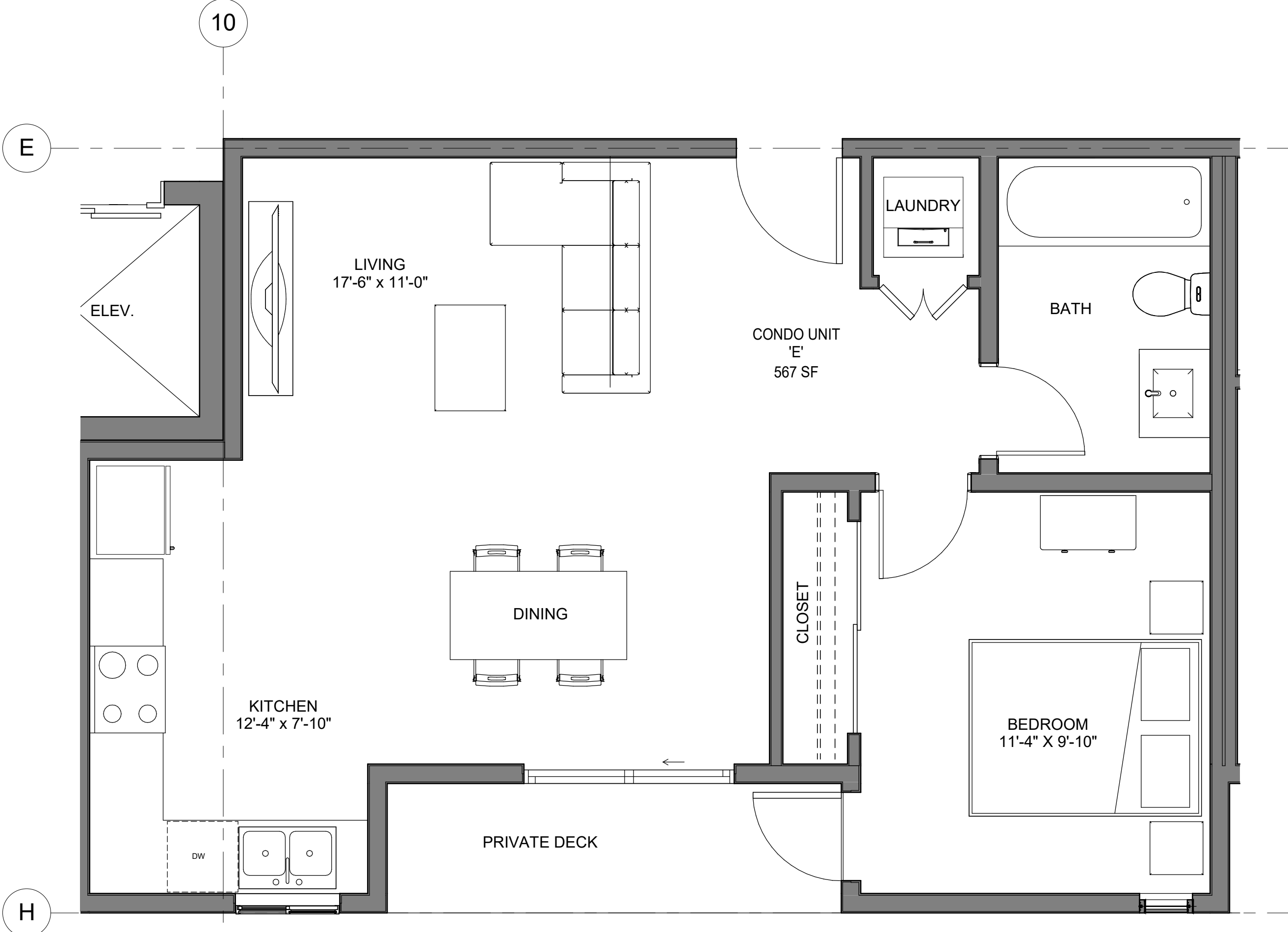
1 CONDO UNIT 'C'
A3.02 3/8" = 1'-0"



4 CONDO UNIT 'D'
A3.02 3/8" = 1'-0"



2 CONDO UNIT 'C'
A3.03 3/8" = 1'-0"



3 CONDO UNIT 'E'
A3.03 3/8" = 1'-0"

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project
DOUGALL RD MIXED-USE
DEVELOPMENT

project address
DOUGALL RD.,
KELOWNA, BC
project no. 4002

drawing title
CONDO UNIT
PLANS

designed scale 3/8" = 1'-0"

drawn J.F.

checked R.Y.

drawing no.

A3.09
plotte NOV 28, 2016

EXTERIOR MATERIAL LEGEND

- STUCCO - DARK GREY
COLOUR: TBD
- STUCCO - BROWN
COLOUR: TBD
- STUCCO - LIGHT GREY
COLOUR: TBD
- CEMENT FIBER BOARD - SOLID WHITE
COLOUR: TBD
- PARGED CEMENT WALL
COLOUR: MED GREY
- PREFINISHED METAL FLASHING - WHITE
COLOUR: TO MATCH WHITE FIBER CEMENT BOARD
- PREFINISHED METAL FLASHING - MEDIUM GREY
COLOUR: TO MATCH CONCRETE

EXTERIOR MATERIAL LEGEND

1.

STUCCO - DARK GREY
2.

STUCCO - BROWN
3.

STUCCO - LIGHT GREY
4.

CEMENT FIBER BOARD - SOLID WHITE
5.

WINDOWS - STYLE / MANUFACTURE TO BE CONFIRMED
6.

SLIDING GLASS PATIO DOOR
7.

ALUMINUM STORFRONT - GLAZING AND DOORS
8.

PAINTED METAL DOORS
9.

GLASS GUARDRAILS
10.

WOOD GUARDRAILS
11.

PREFINISHED METAL FLASHINGS
12.

PARGED CONCRETE WALLS
13.

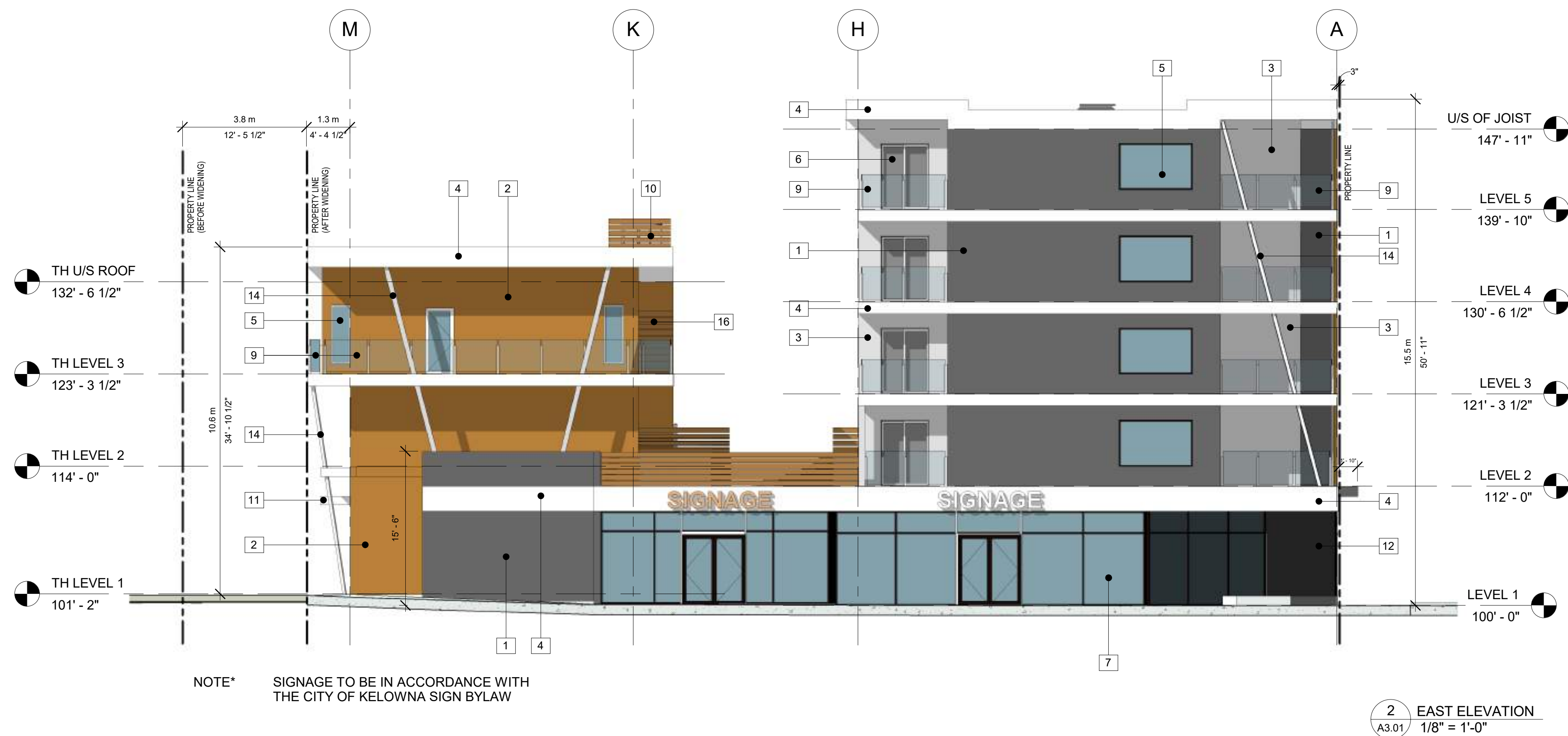
FINISHED WOOD TRELLIS
14.

EXPOSED STRUCTURAL SUPPORT - PAINTED
15.

CONCRETE STAIRS / RAMPS
16.

WOOD SCREENING
17.

OVERHEAD PREFINISHED GARAGE DOOR



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project
DOUGALL RD MIXED-USE
DEVELOPMENT

project address
DOUGALL RD.,
KELOWNA, BC
project no. 4002

file

drawing title
**BUILDING
ELEVATIONS**

designed scale As indicated

drawn J.F.

checked R.Y.




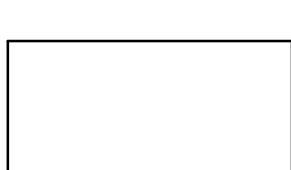

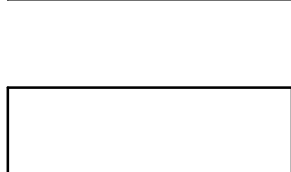
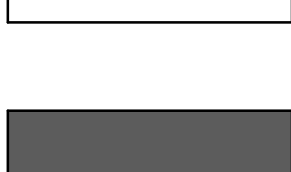
drawing no.

A4.00
plotte NOV 28, 2016

EXTERIOR MATERIAL LEGEND

1. STUCCO - DARK GREY
2. STUCCO - BROWN
3. STUCCO - LIGHT GREY
4. CEMENT FIBER BOARD - SOLID WHITE
5. WINDOWS - STYLE / MANUFACTURE TO BE CONFIRMED
6. SLIDING GLASS PATIO DOOR
7. ALUMINUM STORFRONT - GLAZING AND DOORS
8. PAINTED METAL DOORS
9. GLASS GUARDRAILS
10. WOOD GUARDRAILS
11. PREFINISHED METAL FLASHINGS
12. PARGED CONCRETE WALLS
13. FINISHED WOOD TRELLIS
14. EXPOSED STRUCTURAL SUPPORT - PAINTED
15. CONCRETE STAIRS / RAMPS
16. WOOD SCREENING
17. OVERHEAD PREFINISHED GARAGE DOOR

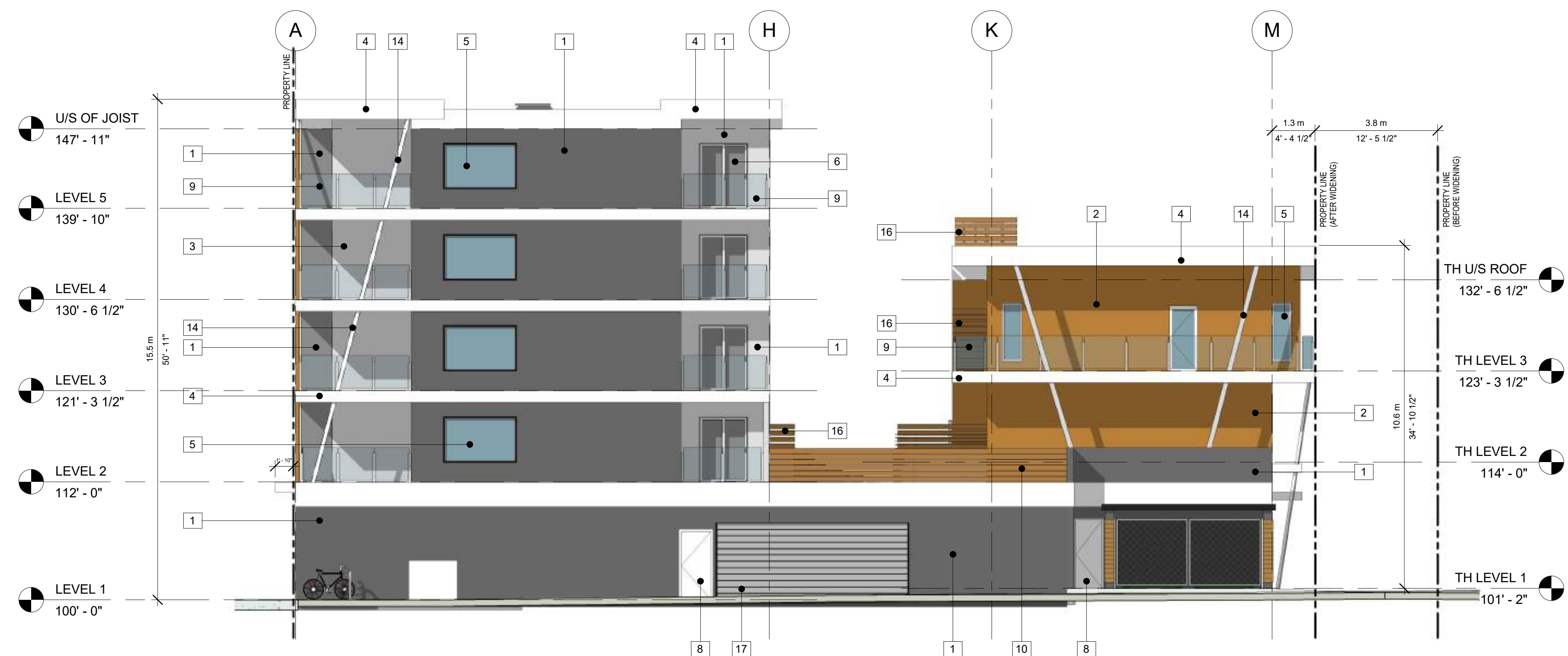
EXTERIOR MATERIAL LEGEND

-  STUCCO - DARK GREY
COLOUR: TBD
-  STUCCO - BROWN
COLOUR: TBD
-  STUCCO - LIGHT GREY
COLOUR: TBD
-  CEMENT FIBER BOARD - SOLID WHITE
COLOUR: TBD
-  PARGED CEMENT WALL
COLOUR: MED GREY
-  PREFINISHED METAL FLASHING - WHITE
COLOUR: TO MATCH WHITE FIBER CEMENT BOARD
-  PREFINISHED METAL FLASHING - MEDIUM GREY
COLOUR: TO MATCH CONCRETE



NOTE* SIGNAGE TO BE IN ACCORDANCE WITH THE CITY OF KELOWNA SIGN BYLAW

1 NORTH CONDO ELEVATION
A3.01 1/8" = 1'-0"



2 WEST ELEVATION
A3.01 1/8" = 1'-0"

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ARCHITECTURE
URBAN PLANNING
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SEAL

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project

DOUGALL RD MIXED-USE DEVELOPMENT

project address

**DOUGALL RD.,
KELOWNA, BC**

project no.

4002

file

drawing title

**BUILDING
ELEVATIONS**

designed

scale

As Indicated

drawn

J.F.

checked

R.Y.

drawing no.

A4.01

plotte

NOV 28, 2016

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project
DOUGALL RD MIXED-USE DEVELOPMENT

project address
DOUGALL RD.,
KELOWNA, BC
project no. 4002

drawing title
BUILDING ELEVATIONS

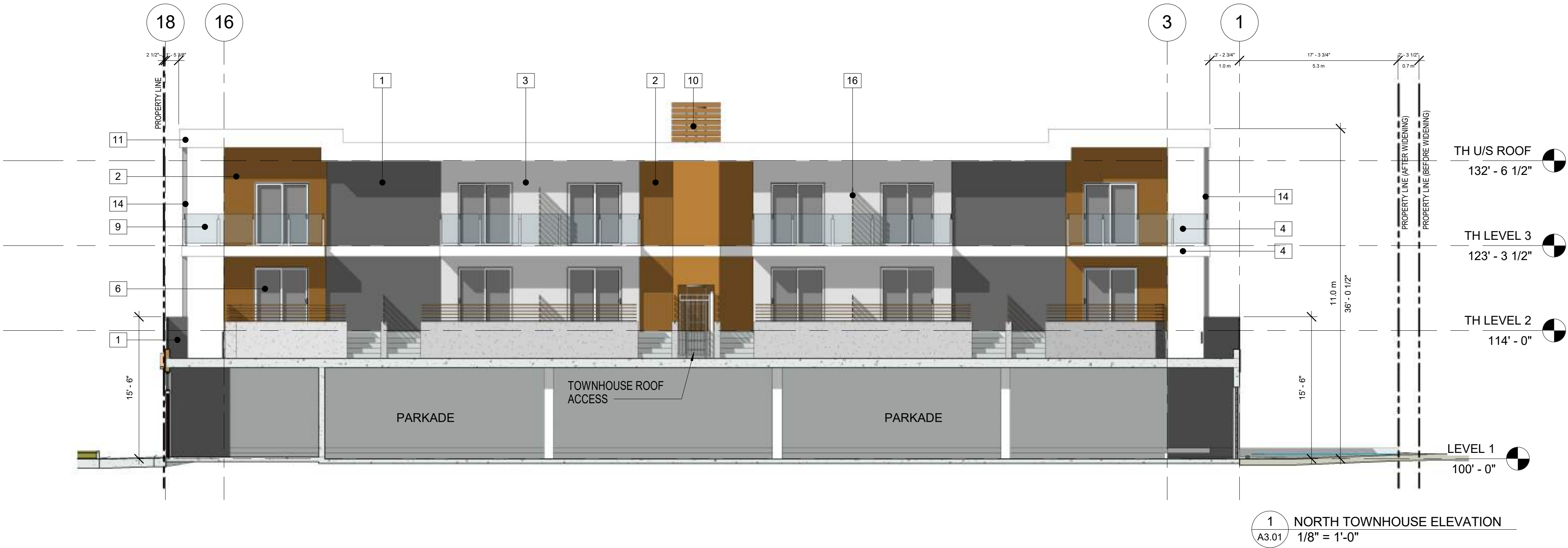
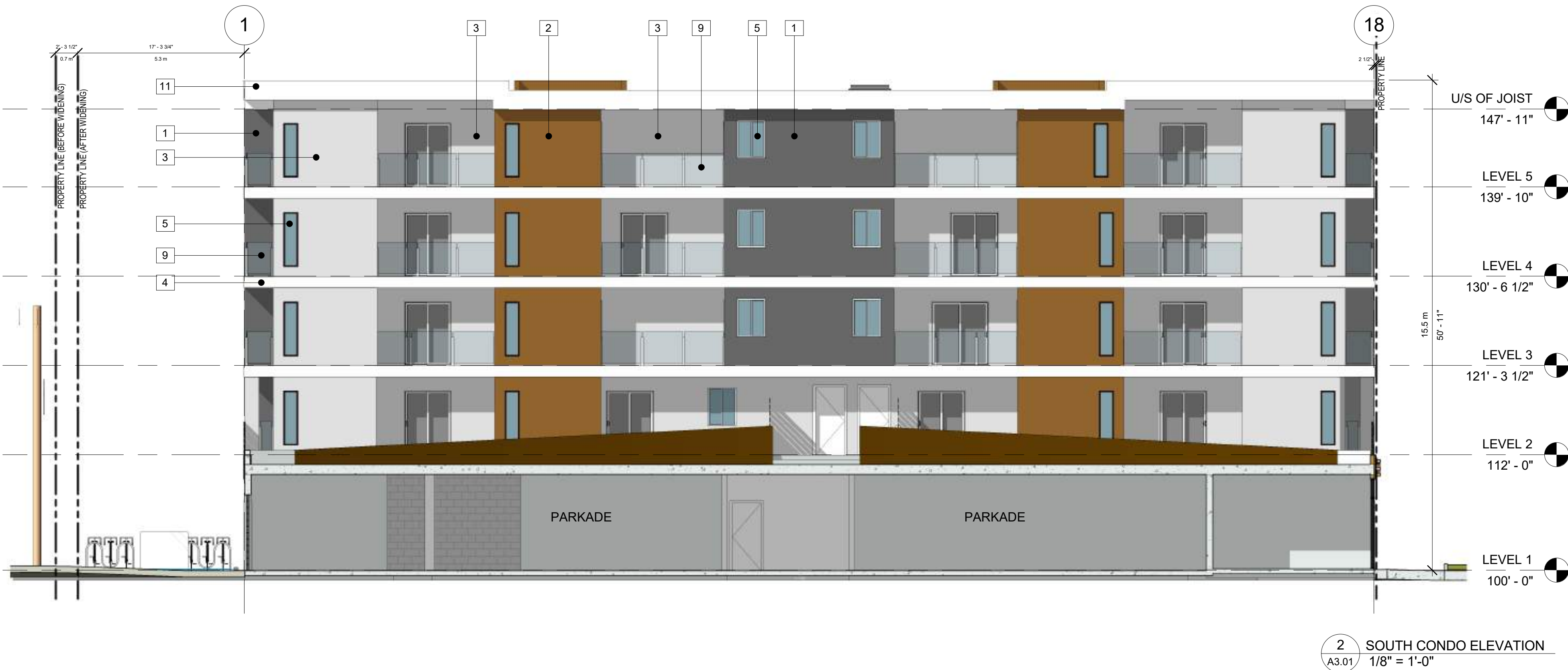
designed	scale	As indicated
drawn	J.F.	
checked	R.Y.	
drawing no.	A4.02	
plotted	NOV 28, 2016	

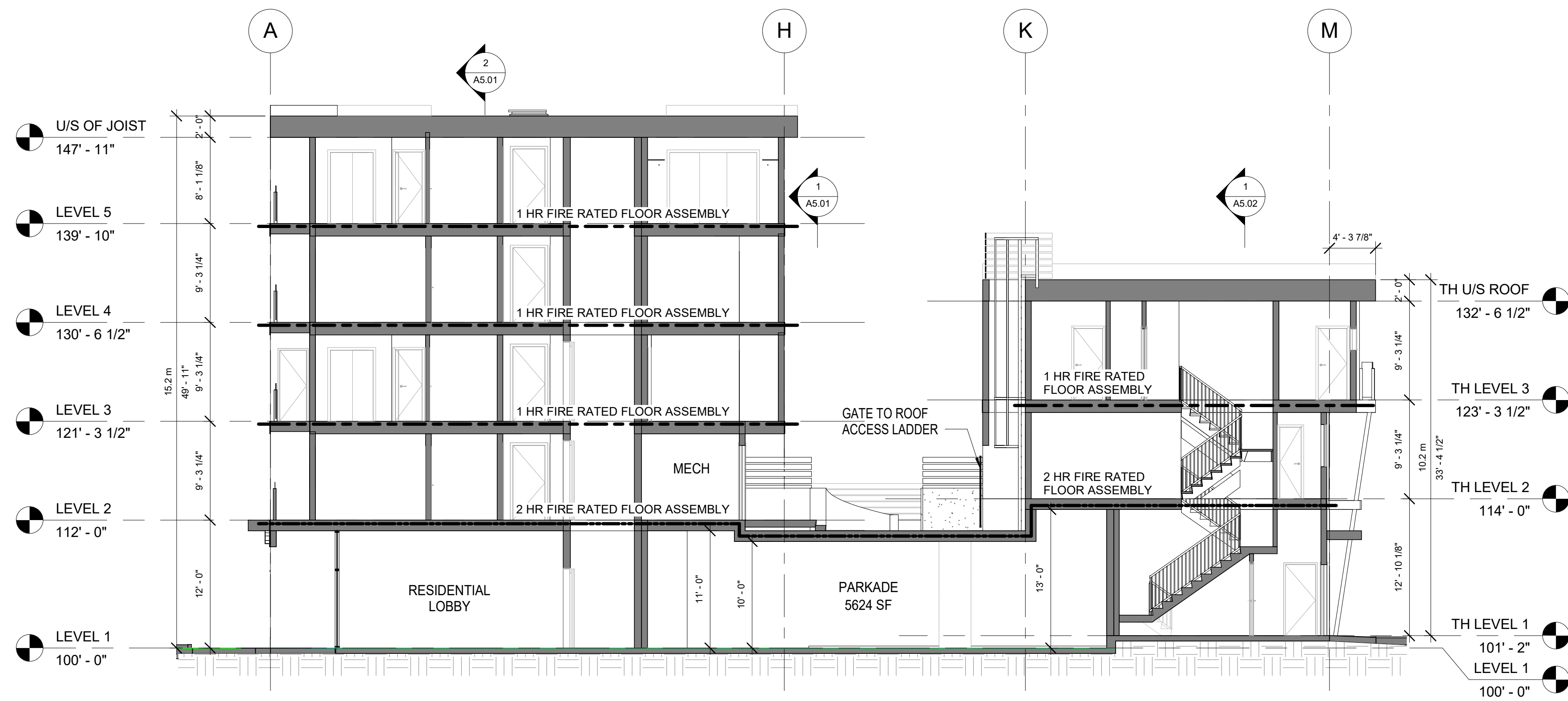
EXTERIOR MATERIAL LEGEND

- STUCCO - DARK GREY
COLOUR: TBD
- STUCCO - BROWN
COLOUR: TBD
- STUCCO - LIGHT GREY
COLOUR: TBD
- CEMENT FIBER BOARD - SOLID WHITE
COLOUR: TBD
- PARGED CEMENT WALL
COLOUR: MED GREY
- PREFINISHED METAL FLASHING - WHITE
COLOUR: TO MATCH WHITE FIBER CEMENT BOARD
- PREFINISHED METAL FLASHING - MEDIUM GREY
COLOUR: TO MATCH CONCRETE

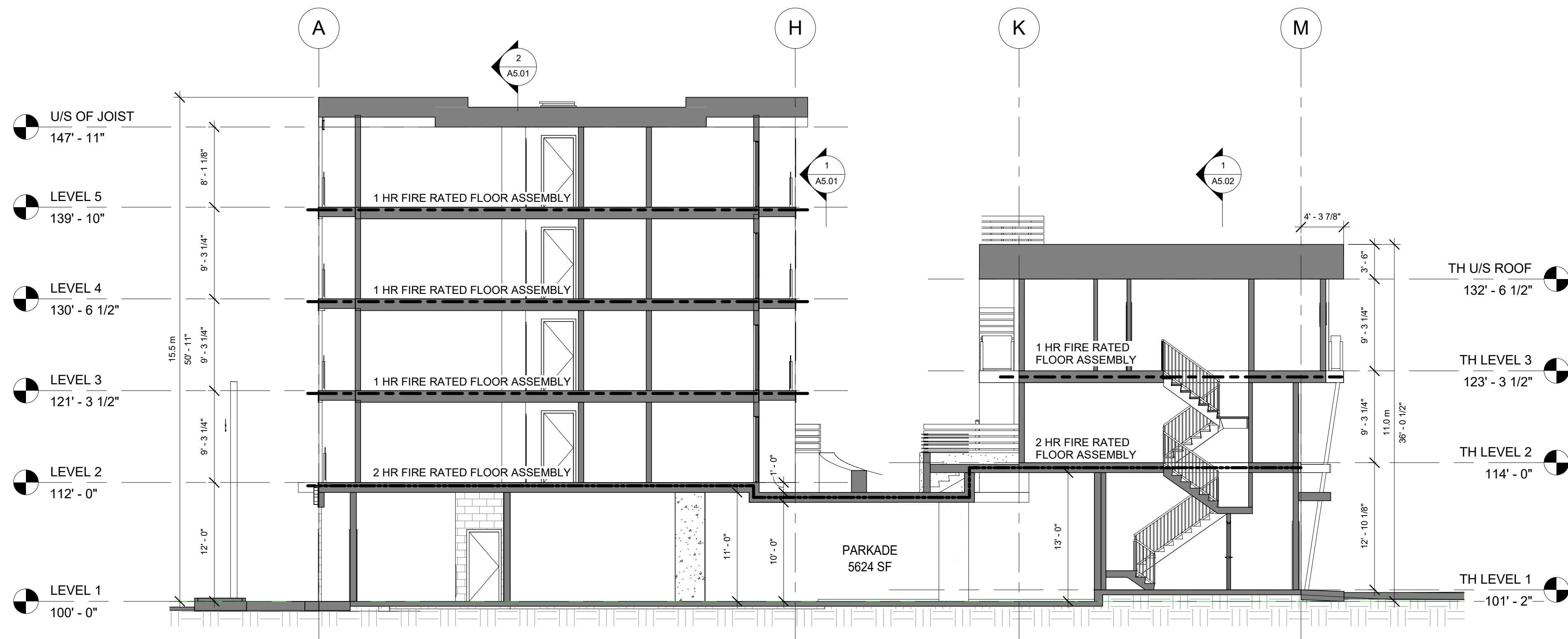
EXTERIOR MATERIAL LEGEND

1. STUCCO - DARK GREY
2. STUCCO - BROWN
3. STUCCO - LIGHT GREY
4. CEMENT FIBER BOARD - SOLID WHITE
5. WINDOWS - STYLE / MANUFACTURE TO BE CONFIRMED
6. SLIDING GLASS PATIO DOOR
7. ALUMINUM STORFRONT - GLAZING AND DOORS
8. PAINTED METAL DOORS
9. GLASS GUARDRAILS
10. WOOD GUARDRAILS
11. PREFINISHED METAL FLASHINGS
12. PARGED CONCRETE WALLS
13. FINISHED WOOD TRELLIS
14. EXPOSED STRUCTURAL SUPPORT - PAINTED
15. CONCRETE STAIRS / RAMPS
16. WOOD SCREENING
17. OVERHEAD PREFINISHED GARAGE DOOR





2 BUILDING SECTION @ ELEVATOR
1/8" = 1'-0"



1 BUILDING SECTION @ STAIRS
1/8" = 1'-0"

FIRE SEPARATION LEGEND	
---	1 HR FRR
---	2 HRS FRR

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project

DOUGALL RD MIXED-USE
DEVELOPMENT

project address

DOUGALL RD.,
KELOWNA, BC

project no.

4002

file

drawing title

BUILDING
SECTIONS

designed

scale

As indicated

drawn

J.F.

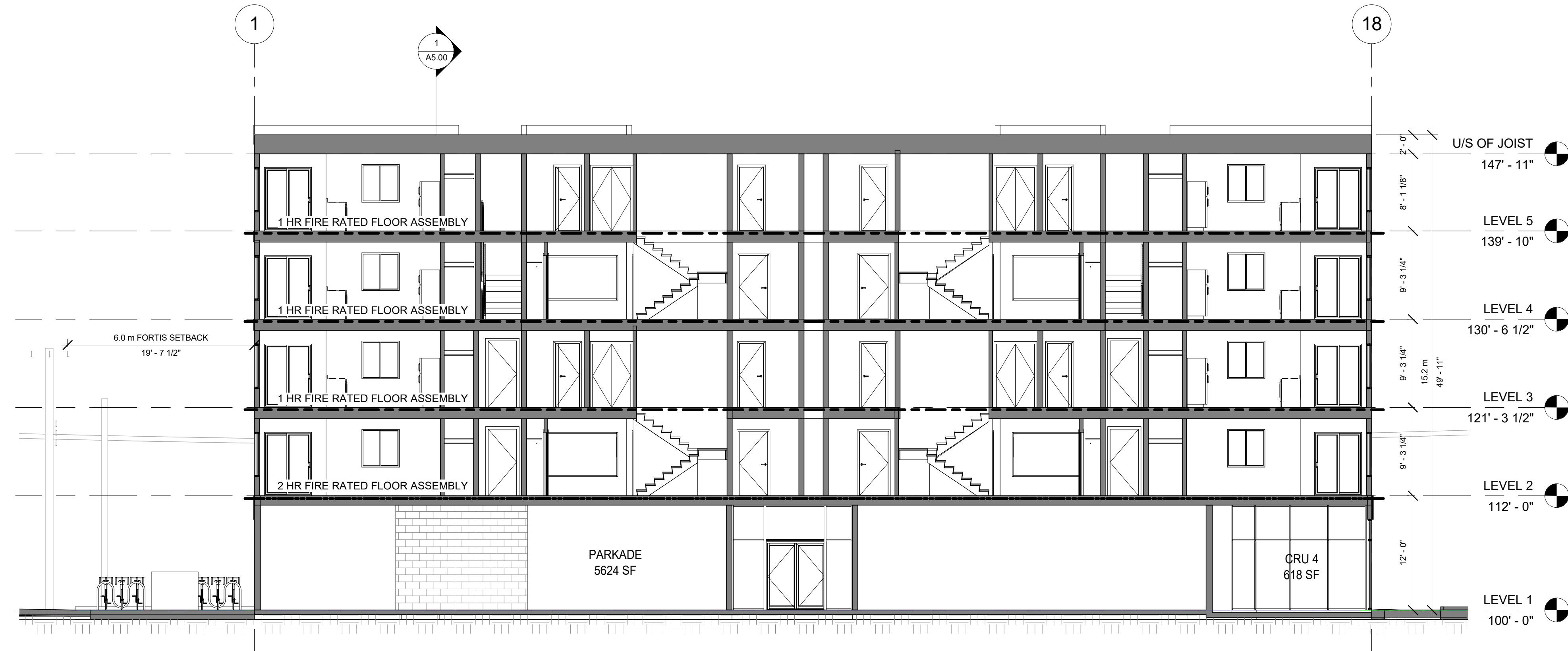
checked

R.Y.

drawing no.

A5.00

plotted NOV 28, 2016



2 BUILDING SECTION @ CONDO
A3.01 1/8" = 1'-0"



1 BUILDING SECTION @ PARKADE
A3.01 1/8" = 1'-0"

FIRE SEPARATION LEGEND	
---	1 HR FRR
---	2 HRS FRR

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project
DOUGALL RD MIXED-USE DEVELOPMENT

project address
DOUGALL RD.,
KELOWNA, BC

project no. 4002

file

drawing title
BUILDING SECTIONS

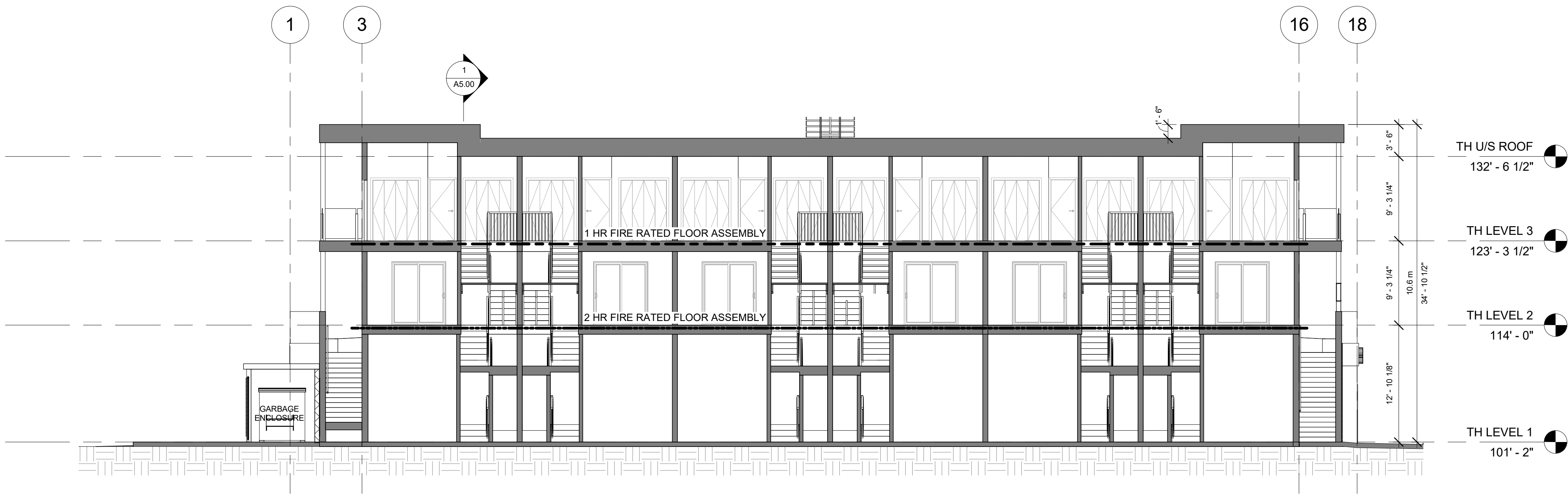
designed _____ scale As indicated

drawn _____ J.F.

checked _____ R.Y.

drawing no. **A5.01**

plotted NOV 28, 2016



1 BUILDING SECTION @ TOWNHOUSE
A1 1/8" = 1'-0"

FIRE SEPARATION LEGEND

- 1 HR FRR
2 HRS FRR

SEAL

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project

DOUGALL RD MIXED-USE DEVELOPMENT

project address

DOUGALL RD., KELOWNA, BC

project no.

4002

file

drawing title

BUILDING SECTIONS

designed

scale

As indicated

drawn

J.F.

checked

R.Y.

drawing no.

A5.02

plotted

NOV 28, 2016

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