
CITY OF KELOWNA

MEMORANDUM

Date: November 29, 2016
File No.: DP16-0275
To: Community Planning (AC)
From: Development Engineer Manager (SM)
Subject: 238 Queensway Ave

The Development Engineering comments and requirements regarding this Development Permit application are as follows:

1. General.

- a) All the offsite infrastructure and services upgrades are addressed in the Development Engineering Report under file Z16-0074.

Steve Muenz, P. Eng.
Development Engineering Manager

SS

ATTACHMENT		A
This forms part of application # DP16-0275		
Planner Initials	AC	 City of Kelowna COMMUNITY PLANNING

CITY OF KELOWNA

MEMORANDUM

Date: November 29, 2016
File No.: DVP16-0276
To: Community Planning (AC)
From: Development Engineer Manager (SM)
Subject: 238 Queensway Ave

The Development Engineering comments and requirements regarding this DVP application are as follows:

The Development Variance Permit to vary the front yard setback does not compromise any municipal services.

Steve Muenz, P. Eng.
Development Engineering Manager

SS

ATTACHMENT		A
This forms part of application		
# DP16-0275		
Planner Initials	AC	 City of Kelowna COMMUNITY PLANNING







SCHEDULE

B

This forms part of application

DP16-0275

Planner Initials

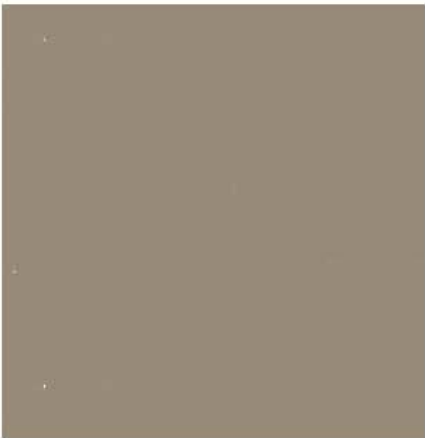
AC

City of Kelowna

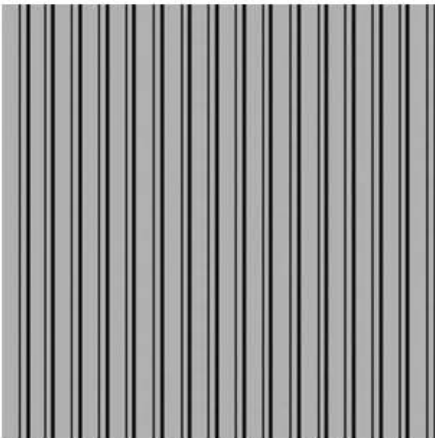
COMMUNITY PLANNING



dark grey



colour concrete



standing seam roof



wood



accent



glulam
beam



charcoal wood panel

ZONING SUMMARY

VISTOR CENTRE TOURISM KELOWNA			
ADDRESS		238 QUEENSWAY AVE.	
LEGAL DESCRIPTION		BLOCK F, DL 1527, O.D.Y.D	
DEVELOPMENT PERMIT AREA		GENERAL COMMERCIAL & INDUSTRIAL DP AREA	
EXISTING ZONING		P1 MAJOR INSTITUTIONAL	
EXISTING LEGAL USE		PARKING LOT	
GRADES		EXISTING AVERAGE - LEVEL	FINISH AVERAGE -LEVEL
NUMBER OF BUILDINGS		1 STOREY BUILDING	
CRITERIA FOR ALL TYPES OF APPLICATION:		P1 MAJOR INSTITUTIONAL	
		ZONING STANDARD	PROPOSAL
SITE AREA (sm)		460 sm	±1405 sm property area (include leased area)
SITE WIDTH (m)		13.0m	±28m
SITE DEPTH (m)		30.0m	±40m
OFF-STREET PARKING		8 stalls min. (see parking calcs)	0 stalls (Cash-in-lieu-of Requested)
HEIGHT OF BUILDING (S)/# OF STOREYS		22.0m / 6 storeys	±7.3m / 1 storeys
SITE COVERAGE OF BUILDING(S) (%)		50% max.	building: ±256sm ±18.2%
SITE COVERAGE INCLUDING BUILDINGS, DRIVEWAYS AND PARKING (%)		N/A	N/A
ADDITIONAL REQUIREMENTS FOR COMMERCIAL, INDUSTRIAL AND MULTIPLE UNIT / INTENSIVE RESIDENTIAL APPLICATIONS:		P1 MAJOR INSTITUTIONAL	
		ZONING STANDARD	PROPOSAL
NUMBER OF BICYCLE PARKING SPACES		Class I: 0.2 per 100sm X 293sm units Total = 1 bikes min. Class II: 0.6 per 100sm x 293sm Total = 2 bikes min.	MIN 3 stall bike racks (see site plan)
NUMBER OF LOADING SPACES		N/A	N/A
DRIVE AISLE WIDTH (m) (IF PROPOSED)		N/A	N/A
SETBACKS TO PARKING (m):			
NORTH (SIDE)		N/A	N/A
SOUTH (SIDE)		N/A	N/A
WEST (FRONT)		N/A	N/A
EAST (REAR)		N/A	N/A
FLOOR AREA NET		± 2810 sm max. net area	± 293 sm
FLOOR AREA RATIO (F.A.R.)		= 2.0 max FAR	± 0.21 FAR
BUILDING (S) SETBACKS (m):			
NORTH (SIDE)		4.5m	±10.0m
SOUTH (SIDE)		4.5m	±10.0m
WEST (REAR)		7.5m	±15.0m
EAST (FRONT)		6.0m	±3.8m variance requested
DAYLIGHT ANGLE (IF A TOWER)		N/A	N/A
PODIUM HEIGHT (IF PROPOSED)		N/A	N/A
FLOOR PLATE SIZE (IF REQUIRED)		N/A	N/A

PARKING CALCULATIONS

STALL SIZE	WIDTH	LENGTH	HEIGHT		
FULL SIZE STALL	8'-3"	2.5m	19'-8"	6.0m	6'-6" 2.0m
MEDIUM SIZE STALL (40% max)	7'-6"	2.3m	15'-9"	4.8m	
COMPACT SIZE STALL (10% max)	6'-6"	2.0m	11'-2"	3.4m	
DISABLED STALL	12'-2"	3.7m	19'-8"	6.0m	
DRIVE AISLES (2-way 90° pkg)	23'-0"	7.0m			
PARKING REQUIREMENTS:					no of stall
	2.5 stalls per 100sm GFA OFFICES X 293sm				8
	TOTAL PARKING REQUIRED:				8
	TOTAL PARKING PROVIDED:				0 stalls (CASH IN LIEU OF REQUESTED)

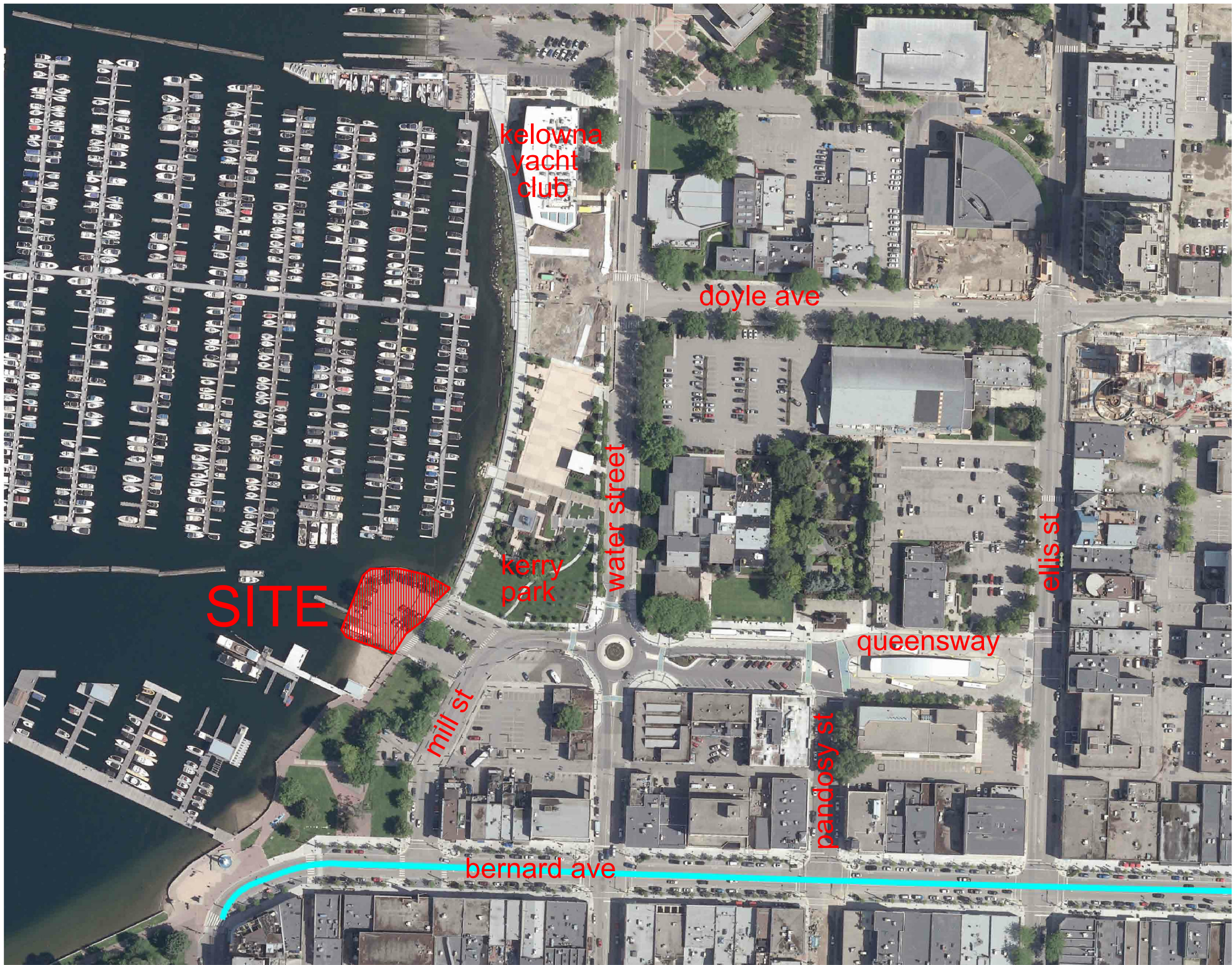
SPATIAL SEPARATION:

3.2.3.1.B

WALL AREA	WINDOW OPENINGS & WALL CONSTRUCTION UN-RESTRICTED. LIMITING DISTANCES EXCEED 9.0m, OR BLDG FACES A STREET IN ACCORDANCE WITH 3.2.3.10	
OPENING AREA		
% PROVIDED		
LIMITING DISTANCE		
% PERMITTED		
CONSTRUCTION TYPE		
CLADDING MATERIAL		
REQUIRED RATINGS		

BUILDING FLOOR AREAS

	GFA ± SF	GFA ± SM
LEVEL1	2750	256
MEZZANINE	400	37
BUILDING FOOTPRINT FOR SITE COVERAGE	2750	256
TOTAL FLOOR AREA FOR FAR:	3150	293



BUILDING CODE REVIEW

OCCUPANCY	GROUP D	
ARTICLE	3.2.2.60	
NO. OF STOREYS	1 STOREY	
NO. OF STREETS FACING	1	
BUILDING ARREAS:	PROPOSED ±256sm	CODE MAXIMUM 1,000sm
CONSTRUCTION TYPE	COMBUSTIBLE	
SPRINKLERED	NO	
ASSEMBLY RATINGS:		
MEZZANINE:	NO RATING	
WALLS / BEARING STRUCTURE	NO RATING	
ROOFS	NO RATING	

FIRE PROTECTION:

3.2.4./ 3.2.5./ 3.2.6.

LOCATION OF HYDRANT TO BUILDING ENTRANCE	90 m MAX.	3.2.5.5.
STANDPIPE/HOSE	NO	3.2.5.8.
SPRINKLERED	NO	
FIRE ALARM SYSTEM	NO	3.2.4.1.(2)(f)
EXIT LIGHTS	YES	
EMERGENCY LIGHTING	YES	

OCCUPANT LOAD

TABLE 3.1.17.1.

LEVEL 1:	9.3sm / PERSON X 293sm	32 PERSONS

ACCESSIBILITY REQUIREMENTS

3.8.

	REQUIRED	PROVIDED
ACCESS TO MAIN ENTRANCES	YES	YES
ACCESS TO ALL FLOORS	N/A	MAIN FLOOR ONLY
ACCESSIBLE WASHROOM	YES	YES

WASHROOM FIXTURES REQUIREMENTS

TABLE 3.7.2.2.(B)

	REQ'D WCS	PROVIDED WCS	REQ'D URINALS	PROVIDED URINALS	REQ'D LAVS	PROVIDED LAVS
NUMBER OF MALES (16)	1	2	-	-	1	2
NUMBER OF FEMALES (16)	1	2	-	-	1	2
UNIVERSAL HC WRM	1	1	-	-	1	1

EXIT FACILITIES

3.1 TO 3.6

REQUIRED EXITS	2 MIN.	
	REQUIRED WIDTHS min. 800mm door width as per 3.4.3.2.(A)	PROVIDED WIDTHS
LEVEL 1	6.1mm/ person X 32 persons = 195mm	4 doors @ 3'-0" = 12'-0" (3658mm)
EXIT THROUGH LOBBY	N/A	3.4.4.2.
PANIC HARDWARE REQ'D	NO	3.4.6.16.(2)
EXIT EXPOSURE	OK	3.2.3.13.
MAX. TRAVEL DISTANCE	30m	3.4.2.5.(1)
EXIT RATINGS REQUIRED:		
STAIR SHAFTS	N/A	3.4.4.1.
CORRIDORS	N/A	3.3.2.6.(4)

REQUIRED FIRE SEPARATIONS

3.1.3.1.

TENANTS / MAJOR OCCUPANCIES		
SERVICES ROOMS	NO RATING	3.6.2.
JANITOR ROOM	1 HR RATED	

BUILDING FIRE SAFETY

SOFFIT PROTECTION	N/A	3.2.3.16.
FLAME SPREAD RATINGS	COMPLY WITH	3.1.13.2
METAL DECK ASSEMBLIES	N/A	3.1.14.2.
ROOF COVERING CLASSIFICATION	CLASS "A"	3.1.15.2.
ATTIC FIRESTOPS	YES	3.1.11.
MAX. ATTIC AREA	300 sm	3.1.11.5.
MAX. CRAWLSPACE AREA	N/A	3.1.11.6.
CONCEALED FLOOR AREA	N/A	3.1.11.5.

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KELOWNA
Okanagan Valley, BC

2017-05-10

update

DP

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No.	Date	Revision
01	2016-11-04	DP SUBMISSION
02	2017-05-10	update DP SUBMISSION

Project Title

VISITOR CENTRE
TOURISM KELOWNA

238 QUEENSWAY AVE KELOWNA

Drawing Number

A1.01

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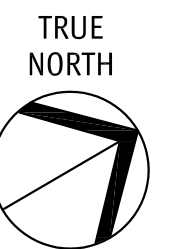
Drawing Title

ZONING
CODE REVIEW
LOCATION PLAN

Date	2017-05-10
Job No.	m+m 15-1648
Scale	AS SHOWN
Drawn	SN
Checked	JM

2017-05-10
update

DP



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01	2016-11-04	DP SUBMISSION
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Project Title

VISITOR CENTRE
TOURISM KELOWNA

238 QUEENSWAY AVE KELOWNA

Drawing Number

A2.01

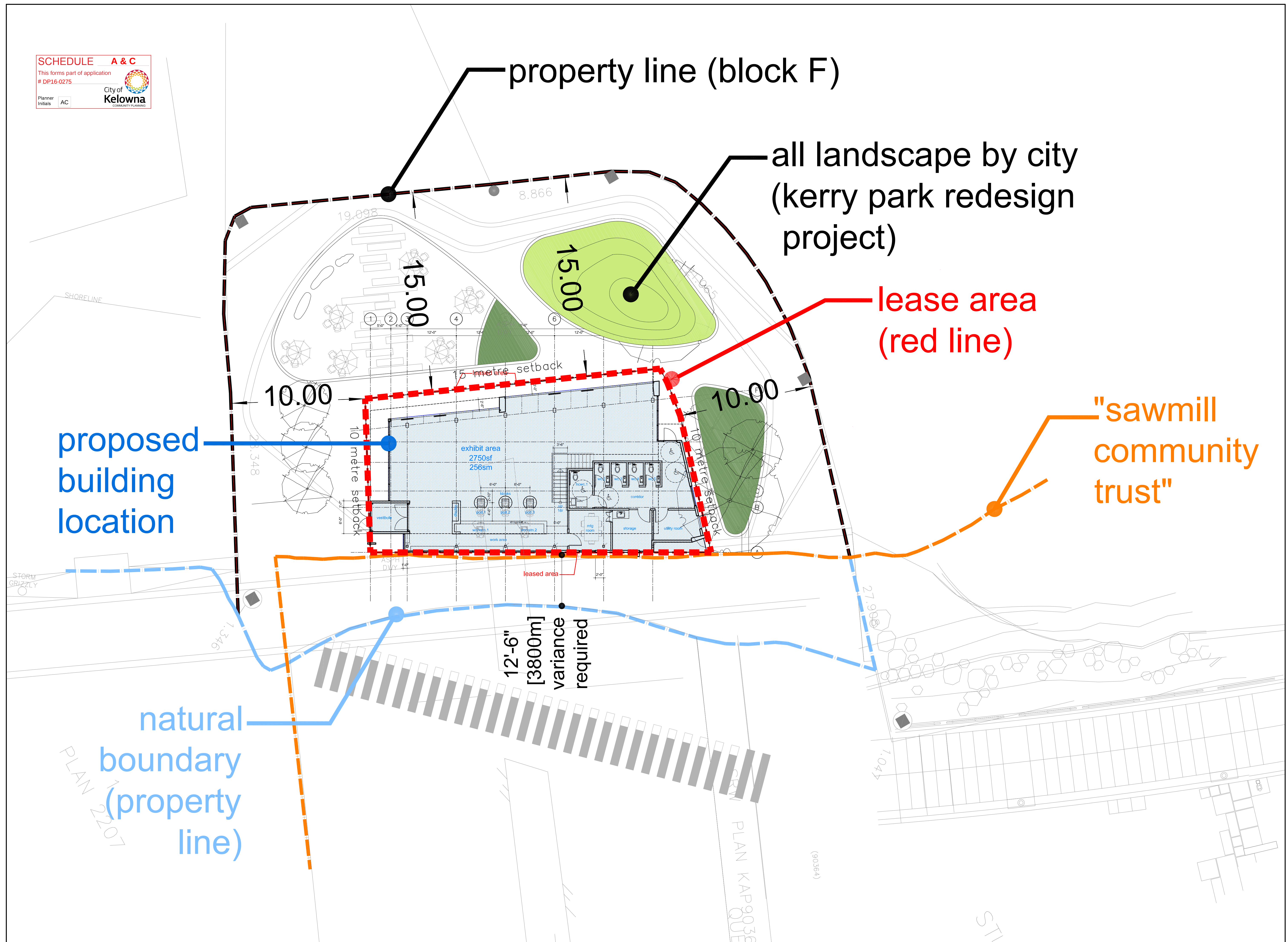
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Drawing Title

site plan

$$1'' = 10'$$

Date	2017-05-10
Job No.	m+m 15-1648
Scale	AS SHOWN
Drawn	SN
Checked	JM



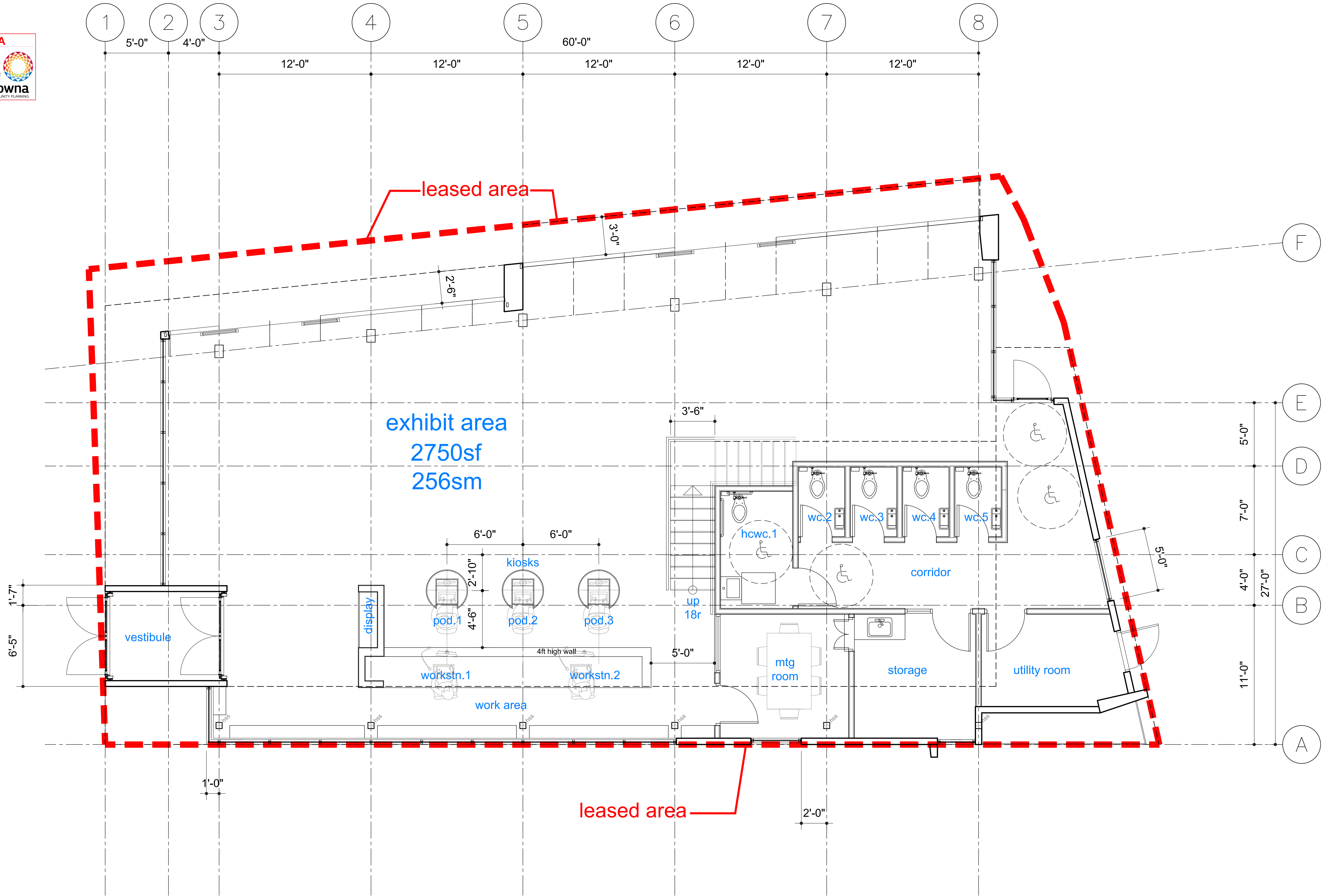
SCHEDULEA

This forms part of application
DP16-0275

Planner
Initials AC

City of Kelowna

COMMUNITY PLANNING



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KELOWNA
Okanagan Valley, BC

2017-05-10
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VISITOR CENTRE
TOURISM KELOWNA

238 QUEENSWAY AVE KELOWNA
Drawing Number

A3.01

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Drawing Title
floor plan

1/4"=1'-0"

Date	2017-05-10
Job No.	m+m 15-1648
Scale	AS SHOWN
Drawn	SN
Checked	JM

SCHEDULE

A

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Planner

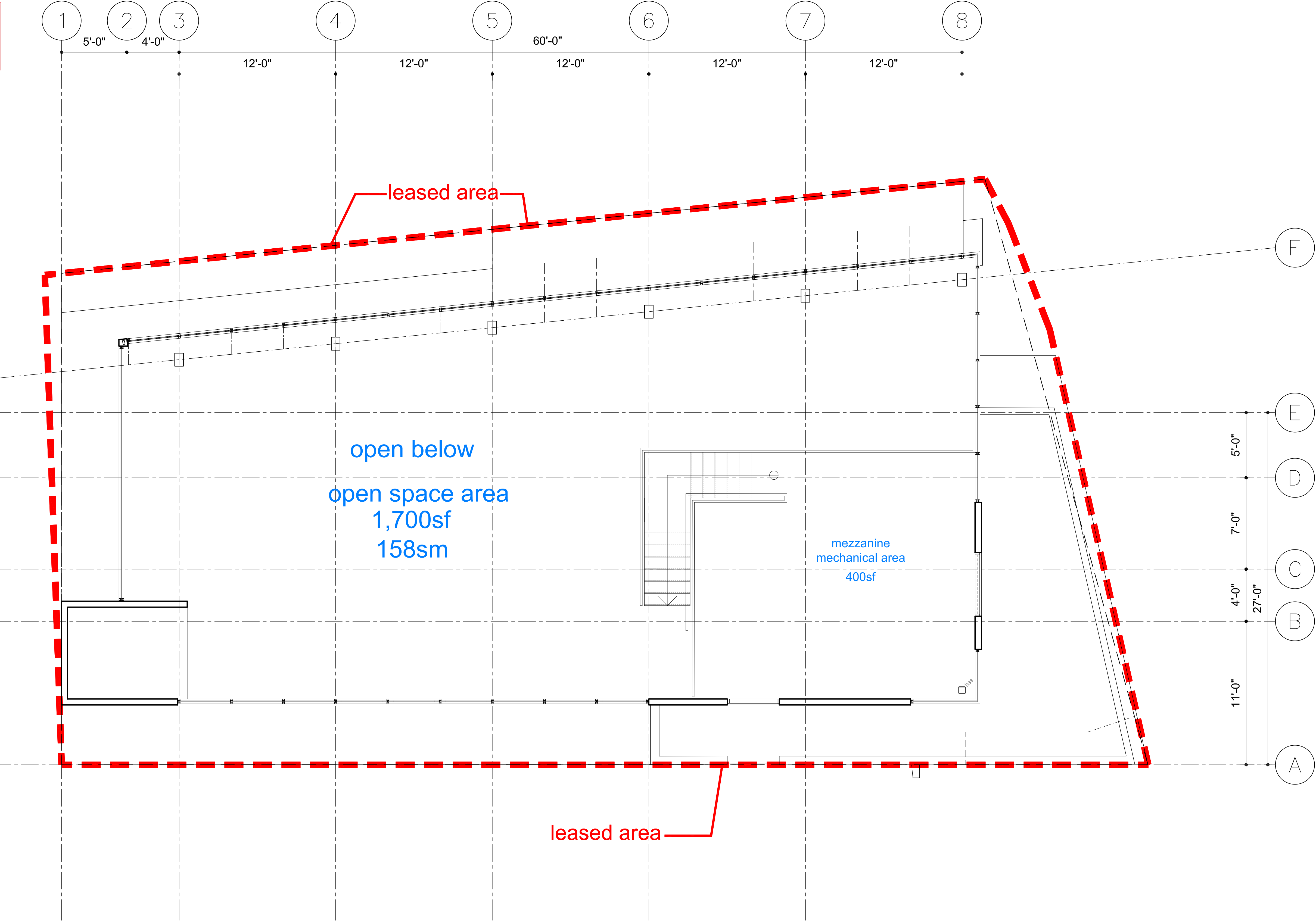
Initials

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City of

Kelowna

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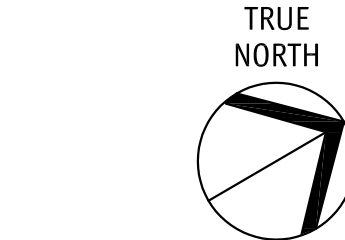


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Project Title
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TOURISM KELOWNA

238 QUEENSWAY AVE KELOWNA

Drawing Number

A3.02

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Drawing Title

mezz plan

1/4"=1'-0"

Date	2017-05-10
Job No.	m+m 15-1648
Scale	AS SHOWN
Drawn	SN
Checked	JM

SCHEDULE

B

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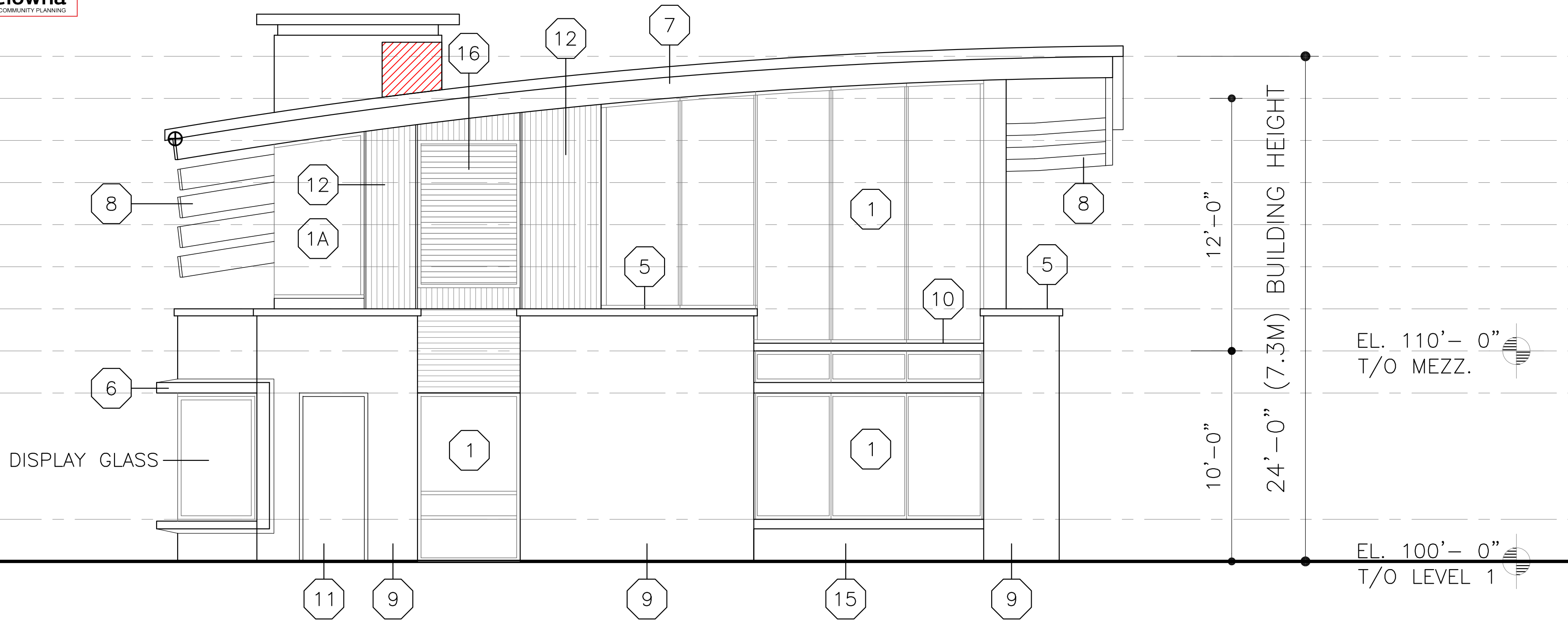
Planner

Initials

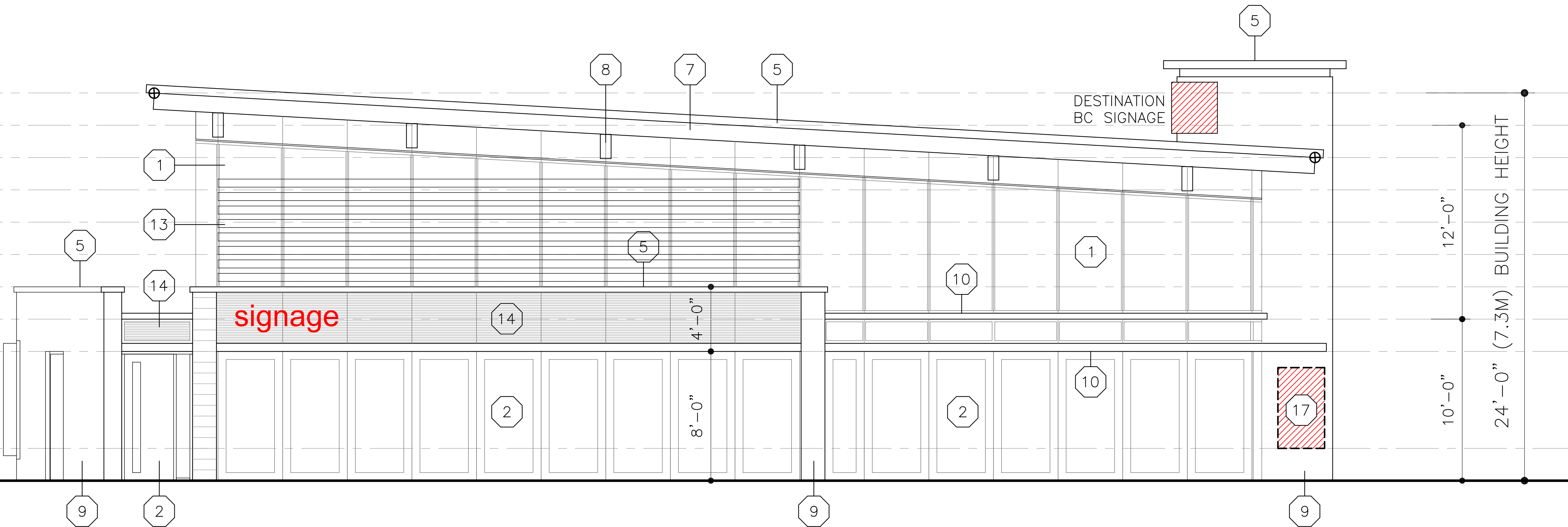
AC

City of Kelowna

COMMUNITY PLANNING



Bldg Elev 1



Bldg Elev 2

ELEVATION KEY NOTES LEGEND
ALL COLOURS TO BE CHOSEN BY ARCHITECT FROM APPROVED PRODUCT MANUF.'S STANDARD LINE OF COLOURS.
(PROVIDE SAMPLES OF ALL MATERIALS FOR COLOUR SELECTIONS/FINISHES)

- 1 ALUM CURTAIN WALL C/W CLEAR GLAZING
- 1A CLEAR GLASS/CURTAIN WALL C/W STRUCTURE SILICONE CORNER
- 2 ALUM WINDOWS
- 3 PREFINISHED STANDING SEAM ROOFING
- 4 WOOD SOFFIT
- 5 PREFINISHED METAL FLASHING
- 6 PREFINISHED METAL TRIM AROUND WINDOWS
- 7 GLULAM FASCIA/TRIM
- 8 CURVED GLULAM BEAM
- 9 COLOURED CEMENT
- 10 ALUM FRAME CANOPY
- 11 PAINTED METAL DOOR
- 12 VERTICAL WOOD CLADDING
- 13 STAINED WOOD TRELLIS
- 14 HORIZONTAL CORRUGATED METAL
- 15 CONCRETE BASE
- 16 PREFINISHED METAL LOUVRE/VENT
- 17 MAP

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a

m+m

MEikleJOHN ARCHITECTS INC.

KELOWNA

Okanagan Valley, BC

2017-05-10

update

DP

TRUE NORTH

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Project Title

VISITOR CENTRE
TOURISM KELOWNA

238 QUEENSWAY AVE KELOWNA

Drawing Number

A4.01

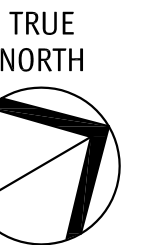
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Drawing Title

bldg elev

1/4"=1'-0"

Date	2017-05-10
Job No.	m+m 15-1648
Scale	AS SHOWN
Drawn	SN
Checked	JM



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Project Title
**VISITOR CENTRE
TOURISM KELOWNA**

238 QUEENSWAY AVE KELOWNA

Drawing Number

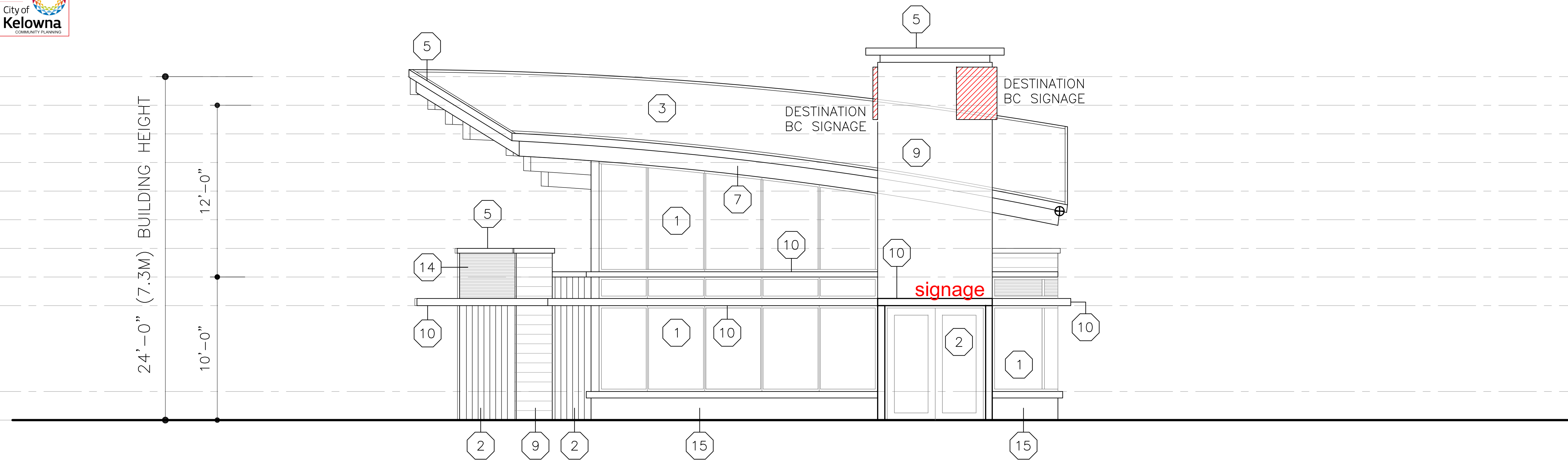
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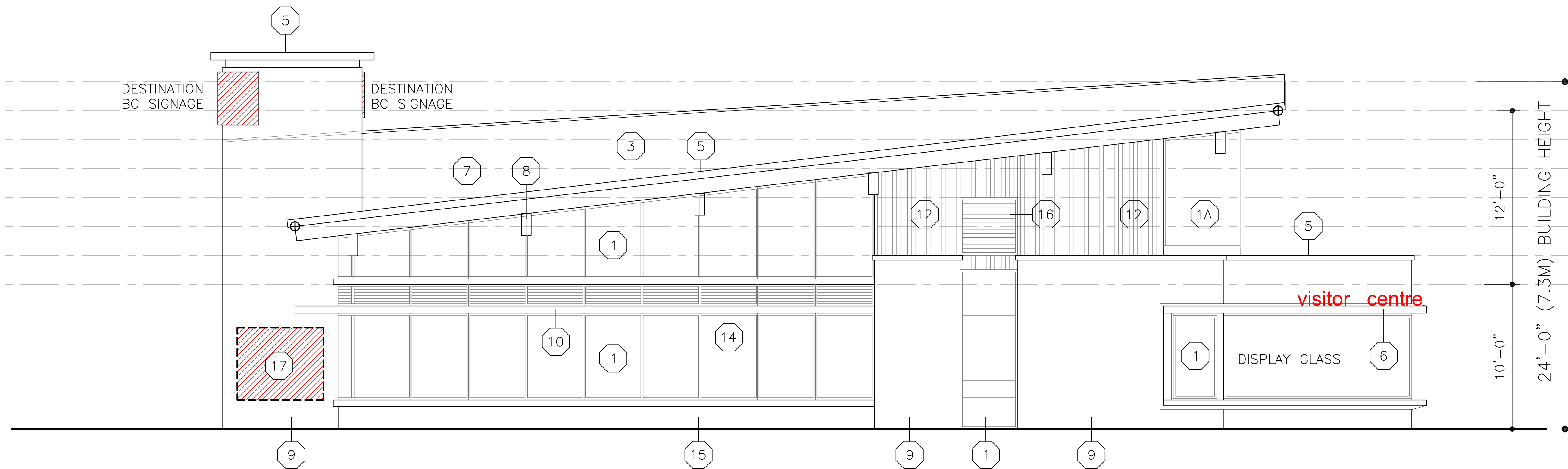
Drawing Title
bldg elev

1/4"=1'-0"

Date	2017-05-10
Job No.	m+m 15-1648
Scale	AS SHOWN
Drawn	SN
Checked	JM



Bldg Elev 3



Bldg Elev 4

SCHEDULE

B

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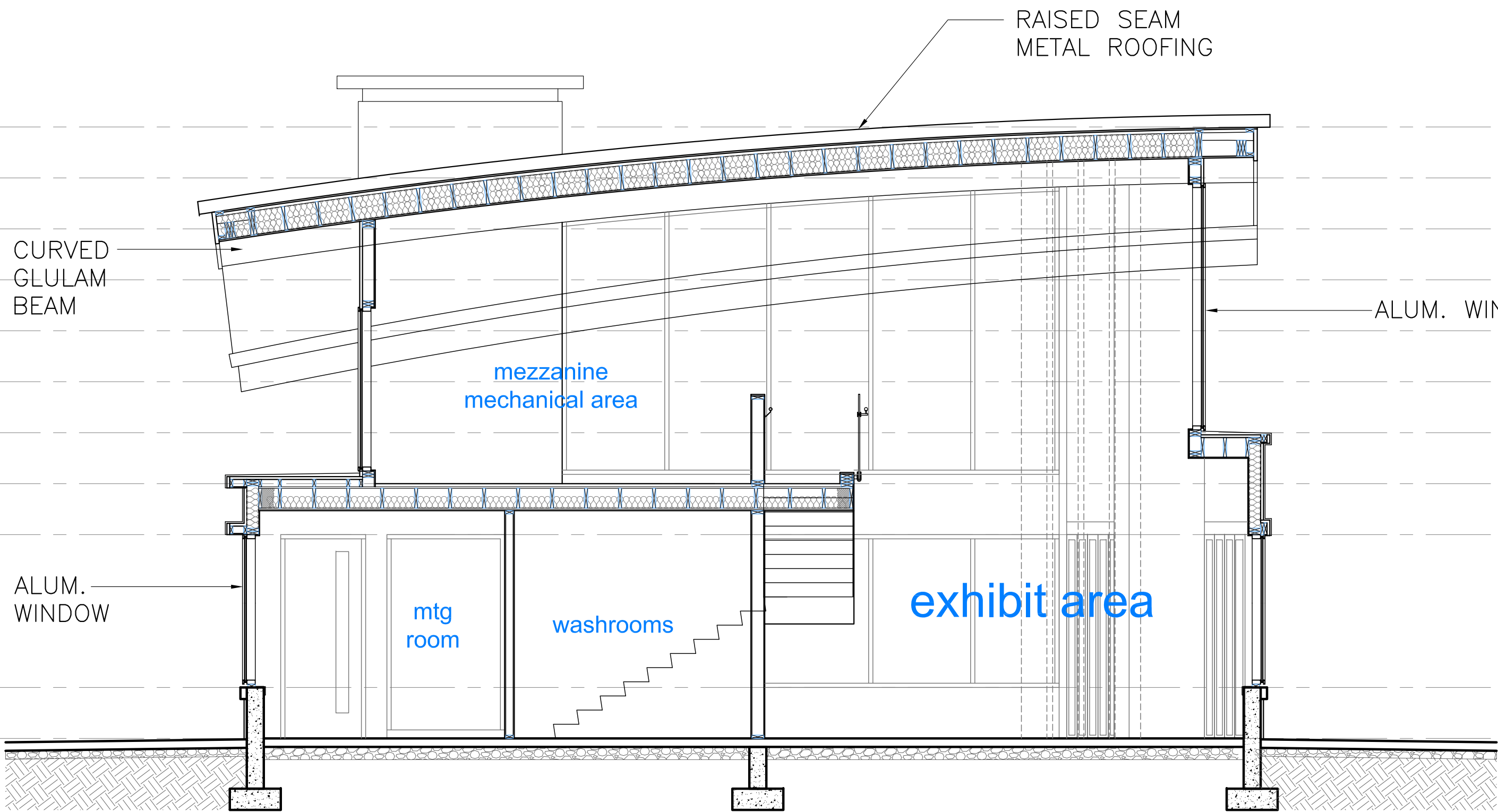
DP16-0275

Planner
Initials

AC

City of Kelowna

COMMUNITY PLANNING



EL. 110'- 0"
T/O MEZZ.

EL. 100'- 0"
T/O LEVEL 1

Bldg Section thru mezzanine

201-75 FRONT STREET
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2017-05-10
update
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VISITOR CENTRE
TOURISM KELOWNA

238 QUEENSWAY AVE KELOWNA

Drawing Number

A5.01

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Drawing Title
bldg section

1/4"=1'-0"

Date	2017-05-10
Job No.	m+m 15-1648
Scale	A5 SHOWN
Drawn	SN
Checked	JM

SCHEDULE

A

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DP16-0275

Planner
Initials

AC

City of
Kelowna
COMMUNITY PLANNING



kelowna
yacht club

city hall

kerry
park

site

queensway