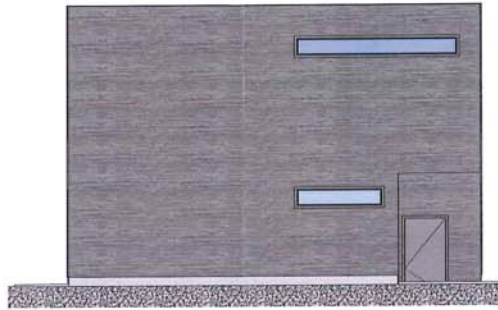


1 FRONT ELEVATION
1:10



2 NORTH SIDE ELEVATION
1:10



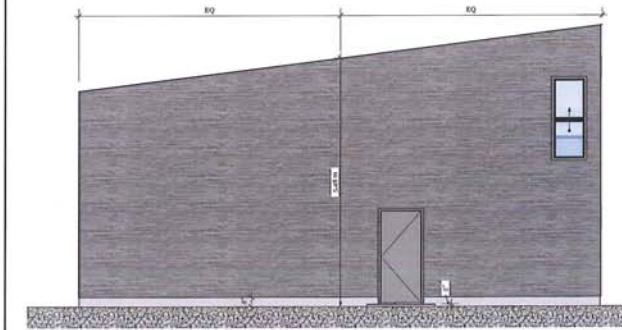
3 PERSPECTIVE
1:10

ATTACHMENT A

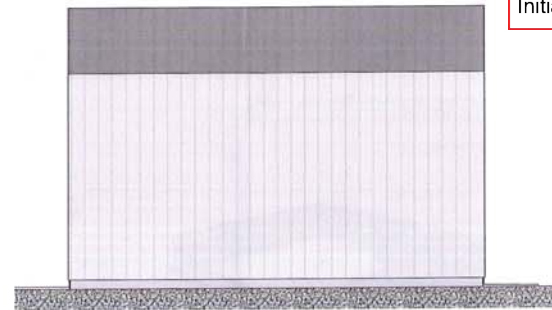
This forms part of application
Z16-0070

Planner Initials **TH**

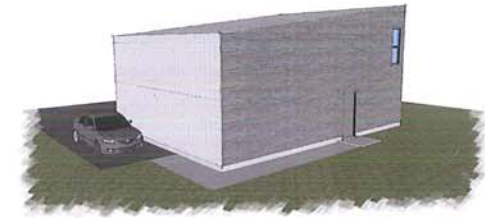
City of Kelowna
COMMUNITY PLANNING



3 REAR ELEVATION
1:10

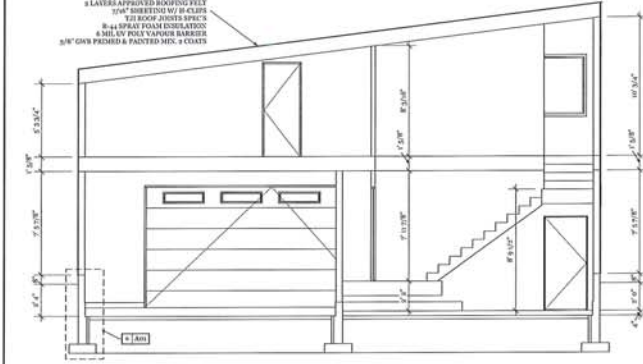


4 SOUTH SIDE ELEVATION
1:10

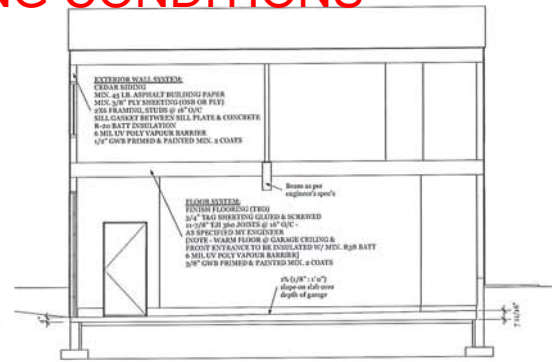


5 PERSPECTIVE
1:10

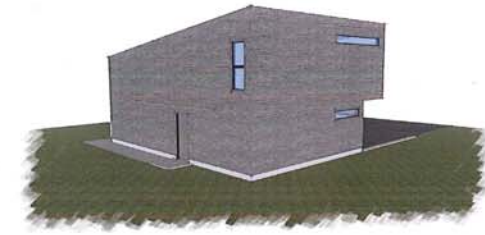
EXISTING CONDITIONS



5 SECTION
1:10



6 SECTION
1:10

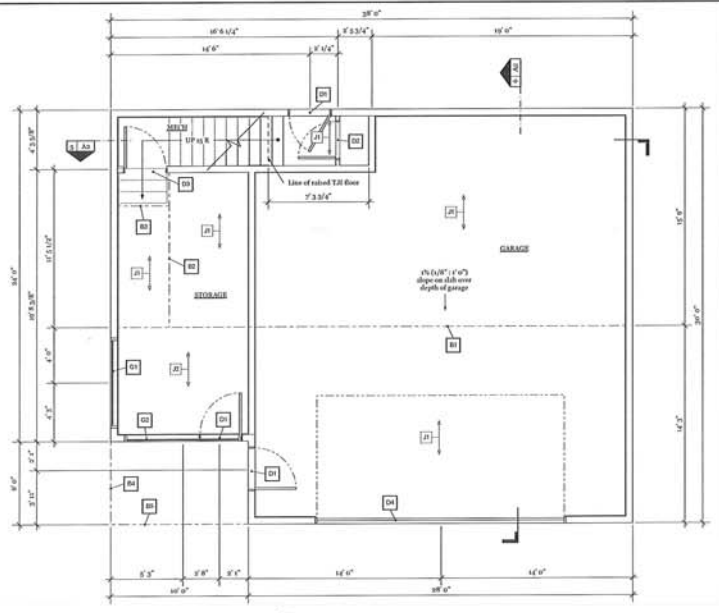
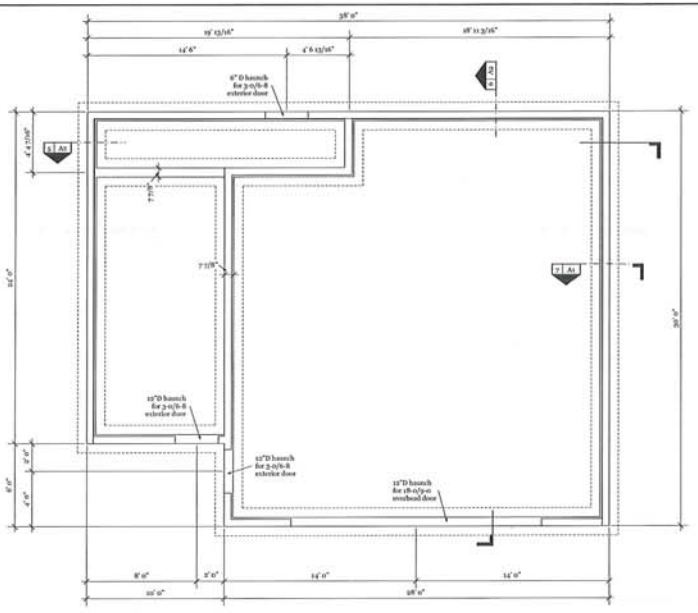
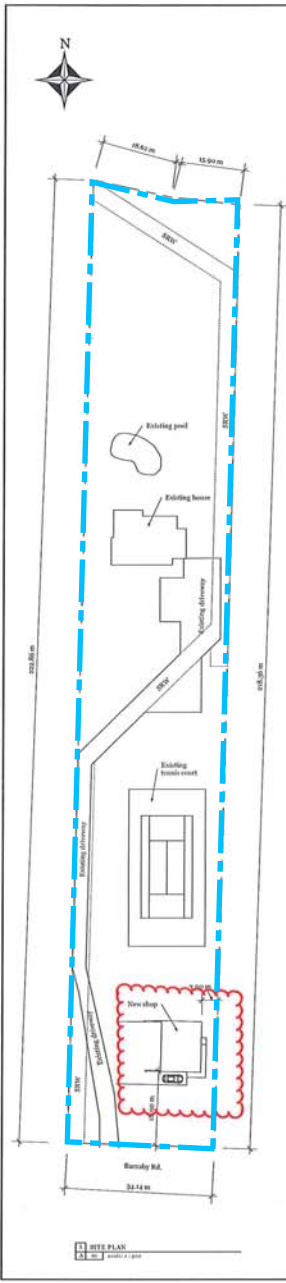


7 PERSPECTIVE
1:10

NO.	REVISION	DATE
1		
2		
3		
4		
5		

HANCOCK DETACHED GARAGE
604 Barnaby Rd., Kelowna, BC
Lot 2, Plan 17353, Sec 30, TWP 29

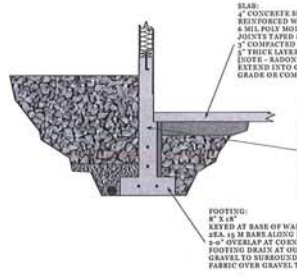
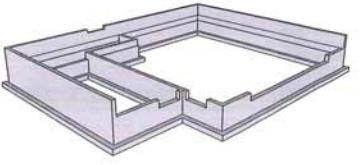
ELEVATIONS & SECTIONS



EXISTING CONDITIONS

GENERAL NOTES & DISCLAIMERS

1. ALL WORKMANSHIP IS TO BE OF A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE S.C. BUILDING CODE AND ALL LOCAL LAWS AND BYLAWS.
3. IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO INSURE THAT CHANGES MADE TO THE CODE ARE COMPLIED WITH AND ALL AMENDMENTS ARE INCORPORATED TO THE CONSTRUCTION OF THIS PLAN.
4. BEFORE CONSTRUCTION COMMENCES, IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO CHECK ALL DETAILS AND DIMENSIONS TO CONFIRM ACCURACY AND TO ASSURE THERE ARE NO DISCREPANCIES.
5. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALE.
6. ANY VARIANCE FROM STRUCTURAL DRAWINGS AND SPECIFICATIONS OR FROM CONDITIONS ENCOUNTERED AT THE JOB SITE, SHALL BE RESOLVED BY THE OWNER AND CONTRACTOR, AND SUCH SOLUTIONS SHALL BE THEIR SOLE RESPONSIBILITY.
7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR FOR THE CORRECT SITING OF THE BUILDING TO CONFORM WITH NECESSARY SETBACKS.
8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL FOUNDATION, FOOTING, POSTS, BEAMS, JOISTS, TRIMMER, AND ALL OTHER STRUCTURAL COMPONENTS AND DETAILS ARE APPROVED BY A PROFESSIONAL ENGINEER AND CONFORM WITH THIS NOTE (S).
9. ALTHOUGH EVERY EFFORT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE DRAWINGS, WE CANNOT GUARANTEE THE POSSIBILITY OF HUMAN ERROR. THEREFORE, KNOWLTON CONCEPTS WILL NOT BE LIABLE FOR ANY ERRORS OR OMISSIONS.



SLAB:
 4" CONCRETE SLAB
 4" REINFORCED W/ 3/8" W/W
 4" MEL POLY MOISTURE/RADON BARRIER W/ JOINTS TYPED & SEALED
 2" COMPACTED (TO 4% BENEATH) SAND
 2" THICK LAYER OF 5/8" GRAVEL BARR (NOTE - RADON GAS RELIEF VENTS TO EXTEND INTO GRAVEL LAYER) GRADE OR COMPACTED FILL.

FOUNDATION:
 #4 CONC. W/ DAMP PROOFING
 3/4" DIA ANCHOR BOLTS @ 48" O/C
 1/2" W/ 1/2" DIA. #4 CONC. W/W
 HORIZONTAL BARS TO EXTEND ABOVE CORNER AND LAP BY 24"
 VERTICAL BARS TIE TO FACE WITH 1/2" DIA. COVER
 ALTERNATE VERTICAL BARS TO EXTEND TO AND ABOVE FOOTING
 OUTSIDE FACE - ASPHALT EMULSION DAMP PROOFING BELOW GRADE
 INSIDE FACE - R-3 RIGID INSULATION TO 2" BELOW GRADE

FOOTING:
 8" X 18"
 REIN AT BASE OF WALL
 #4 15 M BARS ALONG FOOTING W/ 6" O/C
 #4 15 M BARS AT CORNER
 FOOTING DRAINS AT OUTSIDE FACE OF FOOTING
 GRAVEL TO SUBGRADE DRAIN FARMIC OVER GRAVEL TO INHIBIT SOIL SEEPAGE

- 01 0-0 X 0-0 EXTERIOR DOOR
- 02 0-8 X 6-8 INTERIOR DOOR
- 03 2-0 X 6-8 EXTERIOR DOOR
- 04 0-0 X 0-0 OVERHEAD DOOR
- 05 6-6 X 6-6 FIXED PANE WINDOW
- 06 8-6 X 6-6 FIXED PANE WINDOW
- 07 0-6 X 6-6 SINGLE HUNG WINDOW
- 08 10-0 X 6-6 FIXED PANE WINDOW
- 09 8-6 X 4-6 FIXED PANE WINDOW
- 10 0-0 X 4-6 SINGLE PANE SLIDER
- 11 BEAMS AS PER ENGINEER'S SPEC
- 12 10-1/2" JOISTS AS PER ENGINEER'S SPEC

7 LEGEND / WHEELS
 7.1 1/2" = 1'-0"

ATTACHMENT A

This forms part of application
 # Z16-0070

Planner Initials **TH**

City of Kelowna
 COMMUNITY PLANNING

REVISIONS

NO.	DATE	DESCRIPTION
1		
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10		

HANCOCK DETACHED GARAGE
 614 Barnaby Rd., Kelowna, BC
 Lot 2, Plan 173535, Sec 30, TWP 29

PLANS

ATTACHMENT A

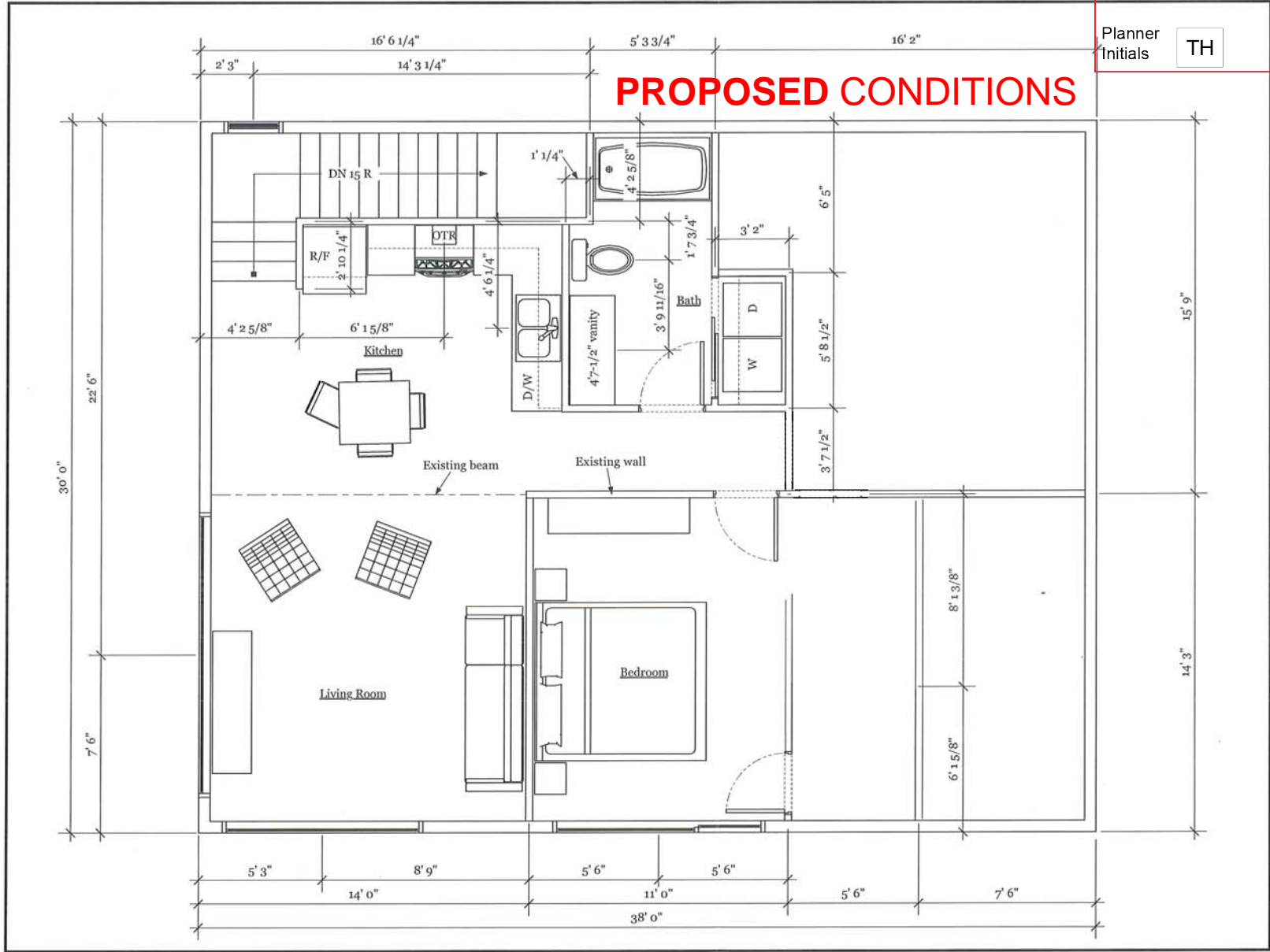
This forms part of application
Z16-0070



City of
Kelowna
COMMUNITY PLANNING

Planner
Initials **TH**

PROPOSED CONDITIONS



Architectural
Drafting & Design
Phone: (250) 575 - 0128
www.knowltonconcepts.com

**HANCOCK
DETACHED
GARAGE**
614 Barnaby Rd.
Kelowna, BC
Lot 2, Plan 17353, Sec
30, TWP 29

(FUTURE)
**UPPER
FLOOR PLAN**
scale: 1/4" = 1'0"

X	01
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CITY OF KELOWNA
MEMORANDUM

Date: November 24, 2016
File No.: Z16-0070

To: Land Use Management Department (TH)

From: Development Engineering Manager

Subject: 914 Barnaby Road Lot 2 Plan 17353 Carriage House RU1c

Development Engineering has the following requirements associated with this application.

1. Domestic Water

This property is currently serviced with a 19mm diameter Municipal Service that will service both the existing dwelling and proposed carriage house


2. Sanitary Sewer

This property is currently serviced with a 100mm diameter Municipal Service complete with inspection chamber that will service both the existing dwelling and proposed carriage house

3. Electric Power and Telecommunication Services

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.





Steve Muenz, P. Eng.
Development Engineering Manager
JF/jf