



CITY OF KELOWNA

MEMORANDUM

Date: May 18, 2016
File No.: Z16-0022

To: Community Planning (TB)

From: Development Engineering Manager(SM)

Subject: 815 Rose Ave

RU6 to RM1

The Development Engineering Department has the following comments and requirements associated with this rezoning application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Sergio Sartori

1. **Domestic Water and Fire Protection**

The subject property is currently serviced with a 19mm water service. The developer will need to determine the domestic and fire protection requirements of this proposed development. Only one service will be permitted for this development. The applicant will arrange for the disconnection of existing service and the installation of a new service. The disconnection of the existing small diameter water services and the tie-in of a larger new service can be provided by City forces at the developer's expense. One metered water service will supply the development. The applicant will be required to sign a Third Party Work Order for the cost of the water service upgrades. For estimate inquiry's please contact Sergio Sartori, by email ssartori@kelowna.ca or phone, 250-469-8589.

2. **Sanitary Sewer**

Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service. An inspection chamber (IC) complete with brooks box must be installed on the service at the owner's cost. Service upgrades can be provided by the City at the applicant's cost. The applicant will be required to sign a Third Party Work Order for the cost of the service upgrade. For estimate inquiry's please contact Sergio Sartori, by email ssartori@kelowna.ca or phone, 250-469-8589.

3. **Road Improvements**

Rose Ave must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, drainage system including catch basins, manholes and pavement removal and replacement, street lighting and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. A one-time cash payment in lieu of construction must be collected from the applicant for future construction by the City. The cash-in-lieu amount is determined to be **\$7,227.00** not including utility service cost.

SCHEDULE A

This forms part of application # Z16-0022



City of **Kelowna**
COMMUNITY PLANNING

- (a) Only the service upgrades must be completed at this time. The City wishes to defer the upgrades to Rose Ave fronting this development. Therefore, cash-in-lieu of immediate construction is required and the City will initiate the work later, on its own construction schedule.

Item	Cost
Drainage	\$ 2,855.00
Curb &Gutter	\$ 1,954.00
Road Fillet	\$ 2,052.00
Blvd Landscaping	\$ 366.00
Total	\$ 7,227.00

4. Subdivision

- (a) Grant Statutory Rights of Way if required for utility services.
- (b) Dedicate 5.0m along the full frontage of Rose Avenue.
- (c) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager

5. Development Permit and Site Related Issues

Direct the roof drains into on-site rock pits or splash pads. Access is permitted from the lane only.

6. Electric Power and Telecommunication Services

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

7. Bonding and Levy Summary

(a) Levies

1. Rose Ave frontage improvements	\$7,227.00
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(b) Bonding

1. Service upgrades	To be determined
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Steve Muenz, P. Eng.
Development Engineering Manager

SCHEDULE A

This forms part of application
Z16-0022



City of
Kelowna
COMMUNITY PLANNING

Planner
Initials **TB**


**CITY OF KELOWNA
MEMORANDUM**

Date: May 18, 2016
File No.: DP16-0101
To: Community Planning (TB)
From: Development Engineering Manager (SM)
Subject: 580 Patterson Ave 815 ROSK AVE

The Development Engineering comments and requirements regarding this Development Permit application are as follows:

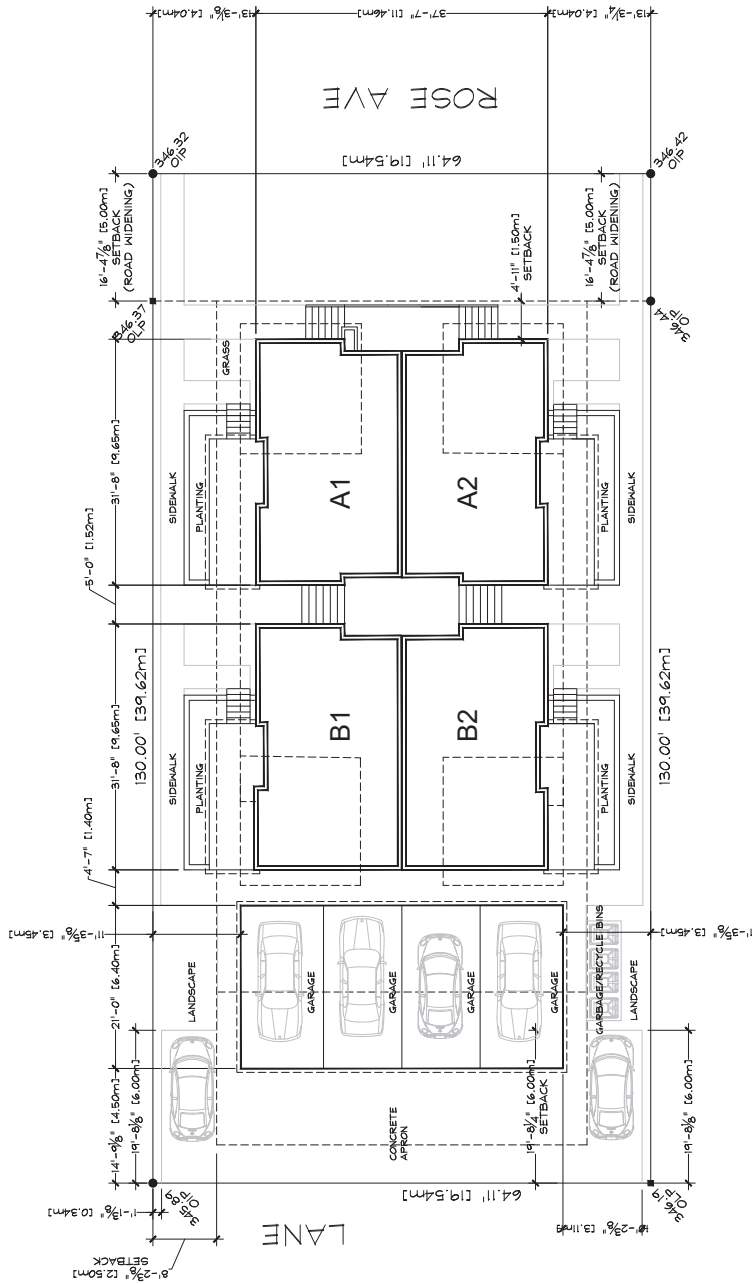
1. General.

- a) All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z16-0022.

for


Steve Muenz, P. Eng.
Development Engineering Manager
SS

(O.K. FOR STEFANO SACTORI TO SIGN AS I APPROVED Z16-0022)
STEVE MUENZ



LOT COVERAGE

BUILDING COVERAGE	
MAIN FLOOR	= 2,082 SF
GARAGE	= 672 SF
PARKING/DRIVEWAY	= 2,954 SF
TOTAL LOT SQ/FT	= 8,334 SF
TOTAL FOOTPRINT	= 2,084 SF
TOTAL COVERAGE	= 35.45%
MAX ALLOWED 40%	

TOTAL SITE COVERAGE	
MAIN FLOOR	= 2,082 SF
UPPER FLOOR	= 872 SF
GARAGE	= 672 SF
PARKING/DRIVEWAY	= 3,932 SF
TOTAL LOT SQ/FT	= 8,334 SF
TOTAL FOOTPRINT	= 3,932 SF
TOTAL COVERAGE	= 47.18%
MAX ALLOWED 50%	

FLOOR AREA RATIO:	
MAIN FLOOR	= 2,082 SF
UPPER FLOOR	= 1,982 SF
GARAGE	= 672 SF
LOT AREA	= 8,334 SF
FAR	= 0.89 MAX ALLOWED 0.60

LOT INFORMATION

PROPOSED RMI
 156' x 195' x 195' x 195'
 CIVIC ADDRESS 815 ROSE AVE.

TGM
 Drafting & Design
 Tom Masters
 Kelowna, BC (250)372-2446
 kelowna6@gmail.com

SCALE: 1/8"=1'-0"
 DATE: MAY 1/17
SITE PLAN

SHEET NO. **A1**

'Rose Avenue Project'

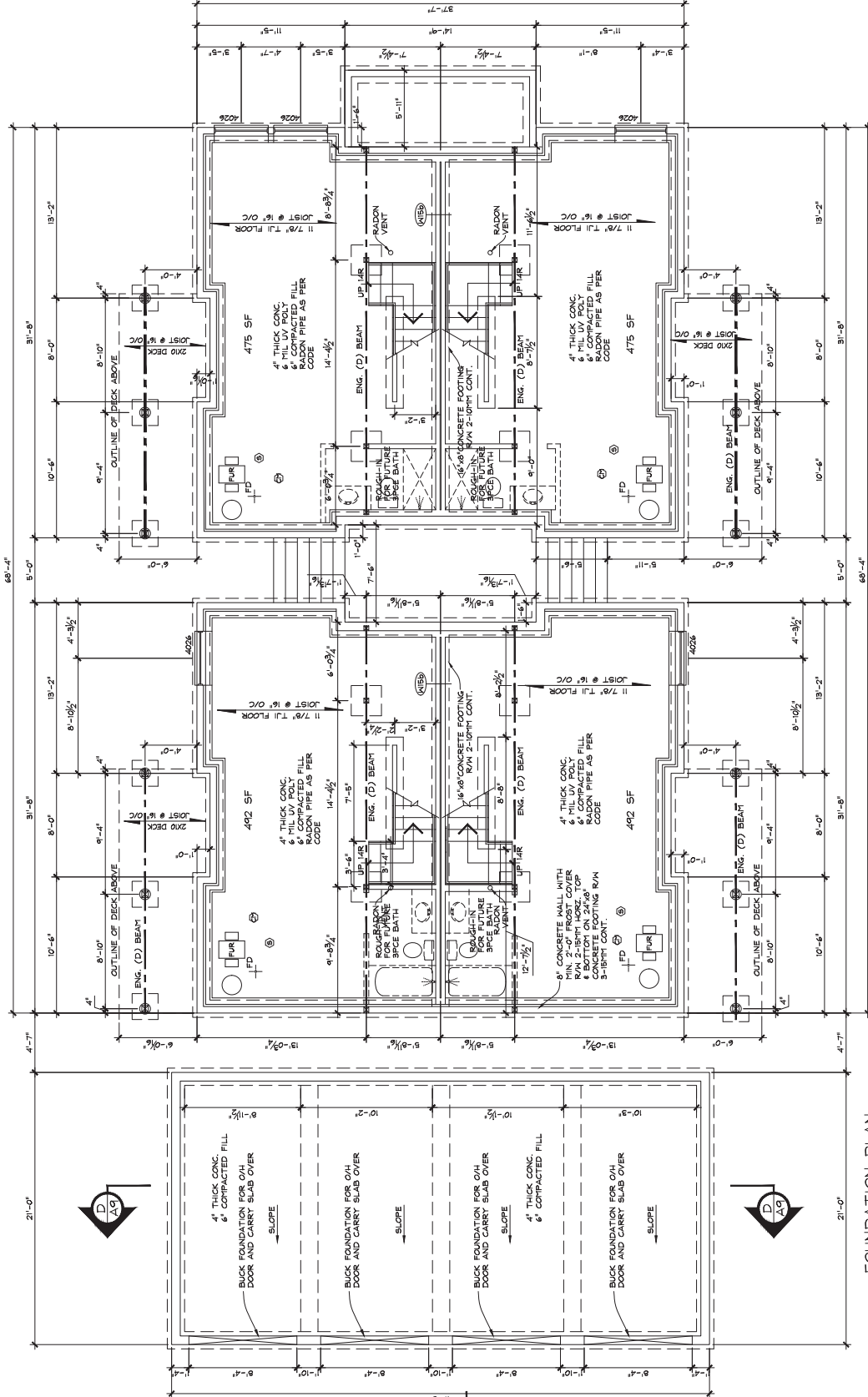
815 ROSE AVE, KELOWNA, BC

SPECIFICATIONS

- EXTERIOR WALL
 - ACTYK STUCCO ON PAPER & WIRE MESH W/ SCRATCH COAT
 - 2" SHEATHING 1/2" OC
 - 2" RIGID INSULATION
 - 2" RIGID INSULATION
 - 5/8" GYPSUM BOARD
- CONCRETE SLAB
 - SLOPE 2" MIN FOR DRAINAGE
- EXTERIOR FOUNDATION
 - 2" CON. SPHANT INSULATION
 - 3" RIGID INSULATION TO EXTERIOR
 - MIN 24" BELOW FINISH GRADE
 - 24" x 8" CONCRETE FOOTING
- INTERIOR FOUNDATION
 - 6" CONCRETE CORE
 - 1" x 4" CONCRETE FOOTING
- DRAINAGE
 - 6" MIN DRAIN ROCK COVER
 - 4" DIA. DRAIN TILE

BELOW GRADE WALL ASSEMBLY

DESCRIPTION	NOMINAL	EFFECTIVE
8" FOUNDATION WALLS W/ 2X6 PWF @ 24" O.C. W/ R-24 BATT INSULATION	RSI 2.66	(R-15.1)
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		
1. DAMPROOFING/INTERIOR AIR FILM	0.33	1.9
TOTAL EFFECTIVE INSULATION VALUE (B24 O.C. FRAMING)	RSI 2.99	(R17.0)
MINIMUM U-VALUE FOR BELOW GRADE WALLS W/ R/V	RSI 2.98	(R16.9)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE WALLS	RSI 2.98	(R-16.92)



FOUNDATION PLAN

NOTES

- PROVIDE FIRE STOPS IN ACCORDANCE WITH BC BUILDING CODE REFERENCE 9.10.1.3 AND SMOKE ALARMS IN ACCORDANCE WITH REFERENCE 9.10.1.8.
- PROVIDE DAMPROOFING, WATERPROOFING AND SOIL GAS CONTROL IN ACCORDANCE WITH BC BUILDING CODE REFERENCE SECTION 9.1.3 & 9.16.2.
- FOOTINGS ARE TO BE PLACED ON UNDISTURBED OR COMPACTED SOIL WITH AN ALLOWABLE BEARING PRESSURE OF 2000LBS/SQ.FT. OR GREATER.
- FOOTINGS ARE TO BE PLACED ON UNDISTURBED OR COMPACTED SOIL WITH AN ALLOWABLE BEARING PRESSURE OF 2000LBS/SQ.FT. OR GREATER. COMPACTION TO BE TESTED BY QUALIFIED PROFESSIONAL OR GEOTECHNICAL ENGINEER.

'Rose Avenue Project'
815 ROSE AVE, KELOWNA, BC

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kelowna6@gmail.com

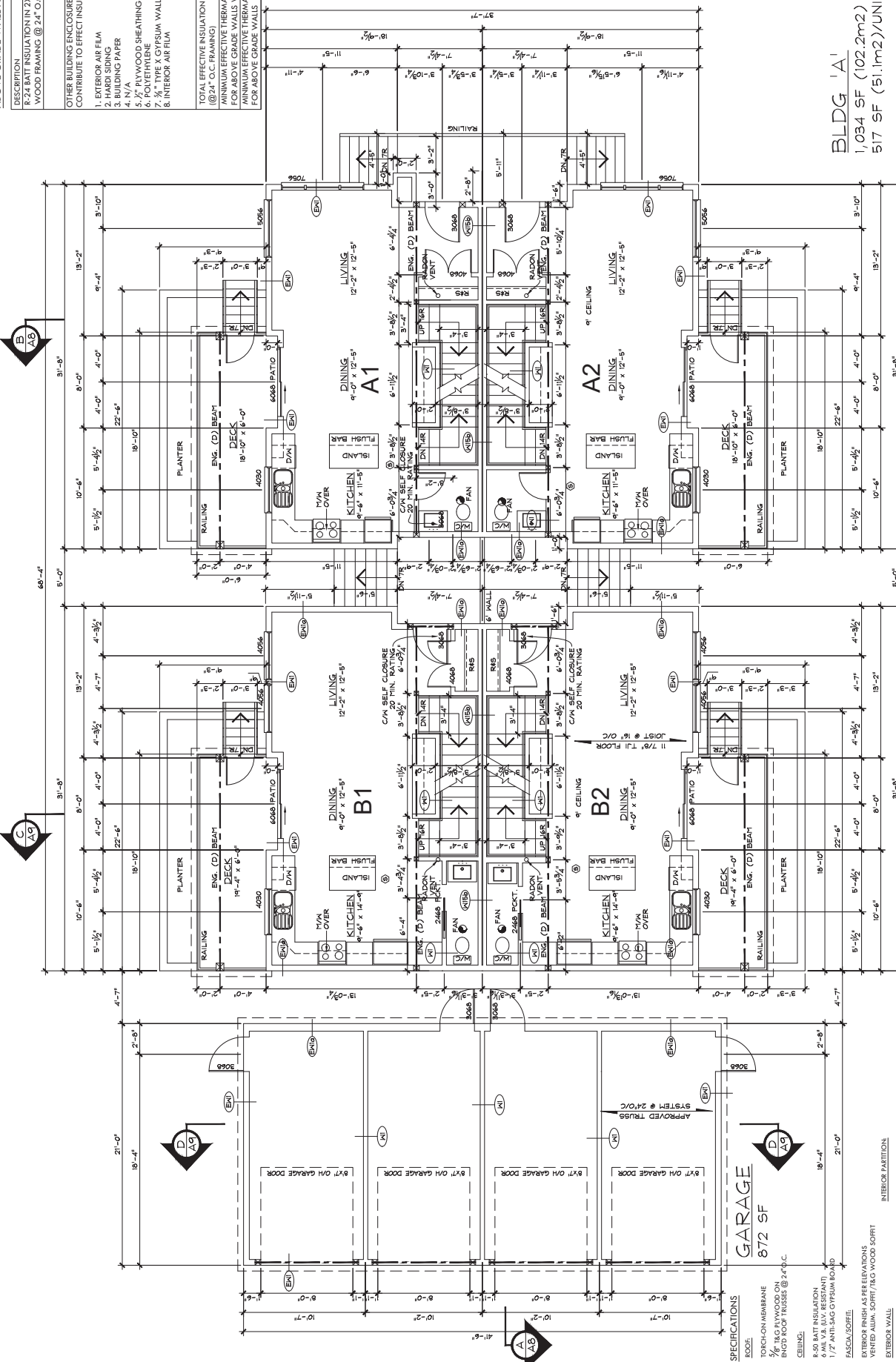
SCALE: 1/4" = 1'-0"
DATE: MAY 1/17
BASEMENT PLAN
SHEET NO. **A4**

ABOVE GRADE WALL ASSEMBLY (HARDI SIDING)

DESCRIPTION	NOMINAL	EFFECTIVE
R-24 BATT INSULATION IN 2X6 WOOD FRAMING @ 24" O.C.	RSI 4.23	[R-15.1]

OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		
1. EXTERIOR AIR FILM	0.03	0.17
2. HARDI SIDING	0.03	0.11
3. FINISHING PAPER	N/A	N/A
4. N/A	0.11	0.63
5. 7/8" PLYWOOD SHEATHING	0.00	0.00
6. POLYETHYLENE	0.00	0.00
7. 3/4" TYPE X GYPSUM WALL BOARD	0.099	0.56
8. INTERIOR AIR FILM	0.12	0.68

TOTAL EFFECTIVE INSULATION VALUE		
(R-24 BATT INSULATION IN 2X6 WOOD FRAMING @ 24" O.C.)	RSI 4.23	[R-15.1]
(OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.)	RSI 12.87	[R-42.4]
(TOTAL EFFECTIVE INSULATION VALUE FOR ABOVE GRADE WALLS W/HBV)	RSI 17.10	[R-57.5]
(MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS)	RSI 13.08	[R-47.9]



BLDG 'A'
1,034 SF (102.2m²)
517 SF (51.1m²)/UNIT

TGM
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Tom Masters
Kodowa, BC (250)317-2446
ketowm6@gmail.com

SCALE: 1/4" = 1'-0"
DATE: MAY 1/17
PROJECT: MAIN FLOOR PLAN

SHEET NO. **A3**

'Rose Avenue Project'
815 ROSE AVE. KELOWNA, BC

BLDG 'B'
1,048 SF (106.8m²)
524 SF (53.4m²)/UNIT

SPECIFICATIONS

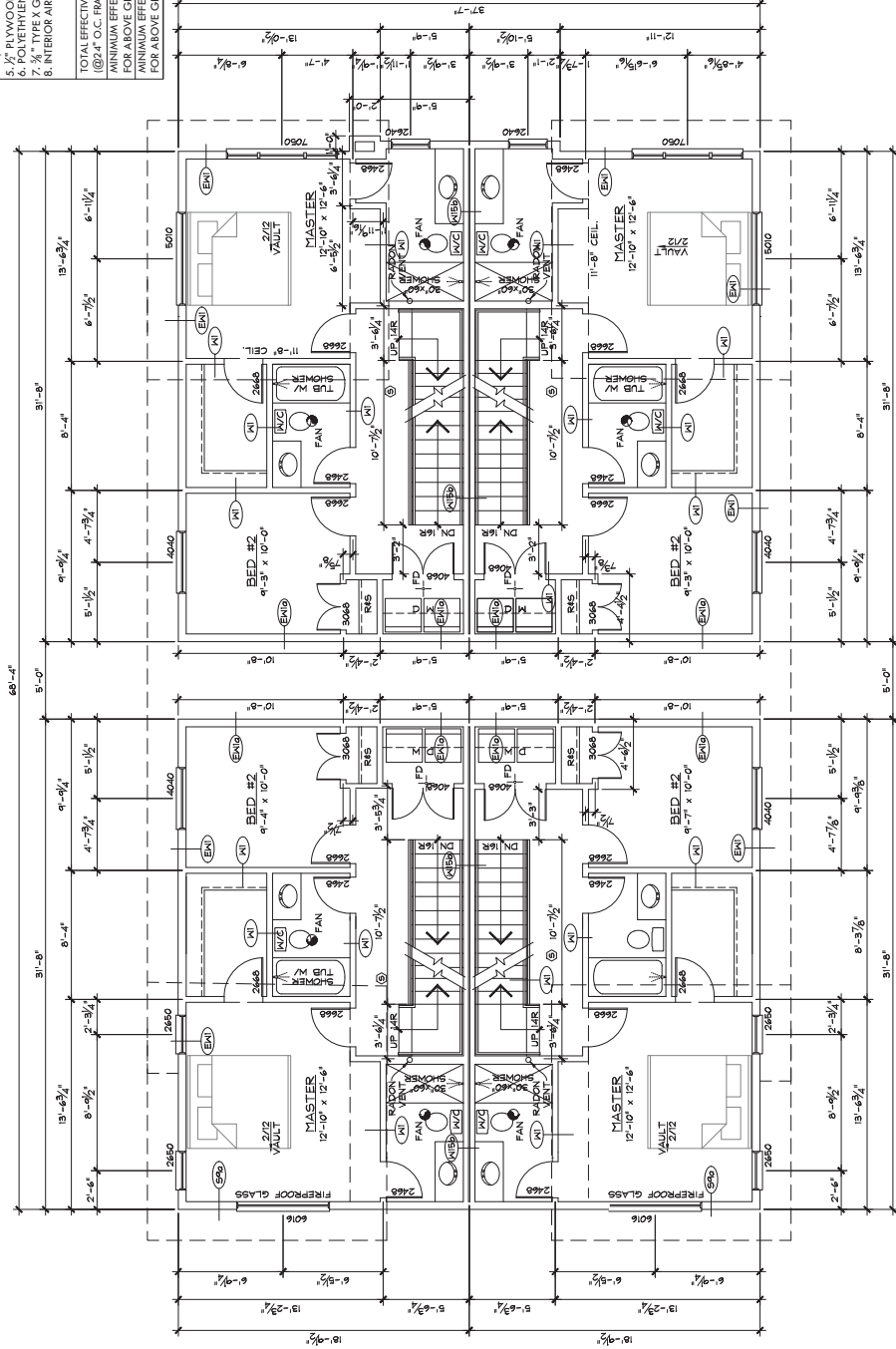
- ROOF: TORCH-ON-MEMBRANE
- 1/2" 18-G PLYWOOD ON BNC'D ROOF TRUSSES @ 24" O.C.
- CEILING: 5/8" BATT INSULATION 4 MIL V.B. (AV. RESISTANT) 1/7" ANTI-SAG GYPSUM BOARD
- EXTERIOR FINISH AS PER ELEVATIONS
- VENTED ALUM. SOFFIT / (AC WOOD SOFFIT)
- EXTERIOR WALL: INTERIOR PARTITION: 1/7" GYPSUM BOARD 2x4 STUDS @ 16" O.C.
- 5/8" ON GRADE FLOOR: 4" CONCRETE SLAB 1/7" GYPSUM BOARD (FRONT & REAR) 5/8" TYPE X GYPSUM BOARD (SIDES)

GARAGE
872 SF

APPROVED TRUSSES SYSTEM @ 24" O.C.

ABOVE GRADE WALL ASSEMBLY (HARD SIDING)

DESCRIPTION	NOMINAL	EFFECTIVE
R-24 BATT INSULATION IN 2x6 WOOD FRAMING @ 24" O.C.	RSI 4.23 (R-15.1)	
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL		
1. EXTERIOR AIR FILM	0.03	0.17
2. HARD SIDING	0.03	0.11
3. BUILDING PAPER	0.00	0.00
4. 1/2" GYPSUM BOARD	0.05	0.05
5. 1/2" X 1/2" WOOD SHEATHING	0.11	0.63
6. POLYETHYLENE	0.00	0.00
7. 3/4" TYPE X GYPSUM WALL BOARD	0.099	0.56
8. INTERIOR AIR FILM	0.12	0.68
TOTAL EFFECTIVE INSULATION VALUE (@24" O.C. FRAMING)		RSI 4.42 (R-17.24)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS W/ HRV		RSI 2.97 (R-16.86)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 3.08 (R-17.49)



ROOF ASSEMBLY - CATHEDRAL CEILINGS

DESCRIPTION	NOMINAL	EFFECTIVE
R-50 BATT INSULATION IN ENG. TRUSS @ 24" O.C.	RSI 8.8 (R-50.0)	
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL		
1. INTERIOR AIR FILM	0.12	0.68
2. 1/2" GYPSUM BOARD	0.05	0.05
3. 1/2" SHEATHING	0.11	0.63
4. ROOF FINISH	0.00	0.00
TOTAL EFFECTIVE INSULATION VALUE (@24" O.C. FRAMING)		RSI 9.12 (R-51.73)
MINIMUM EFFECTIVE THERMAL RESISTANCE W/ HRV		RSI 6.25 (R-34.5)
MINIMUM EFFECTIVE THERMAL RESISTANCE		RSI 4.67 (R-26.5)

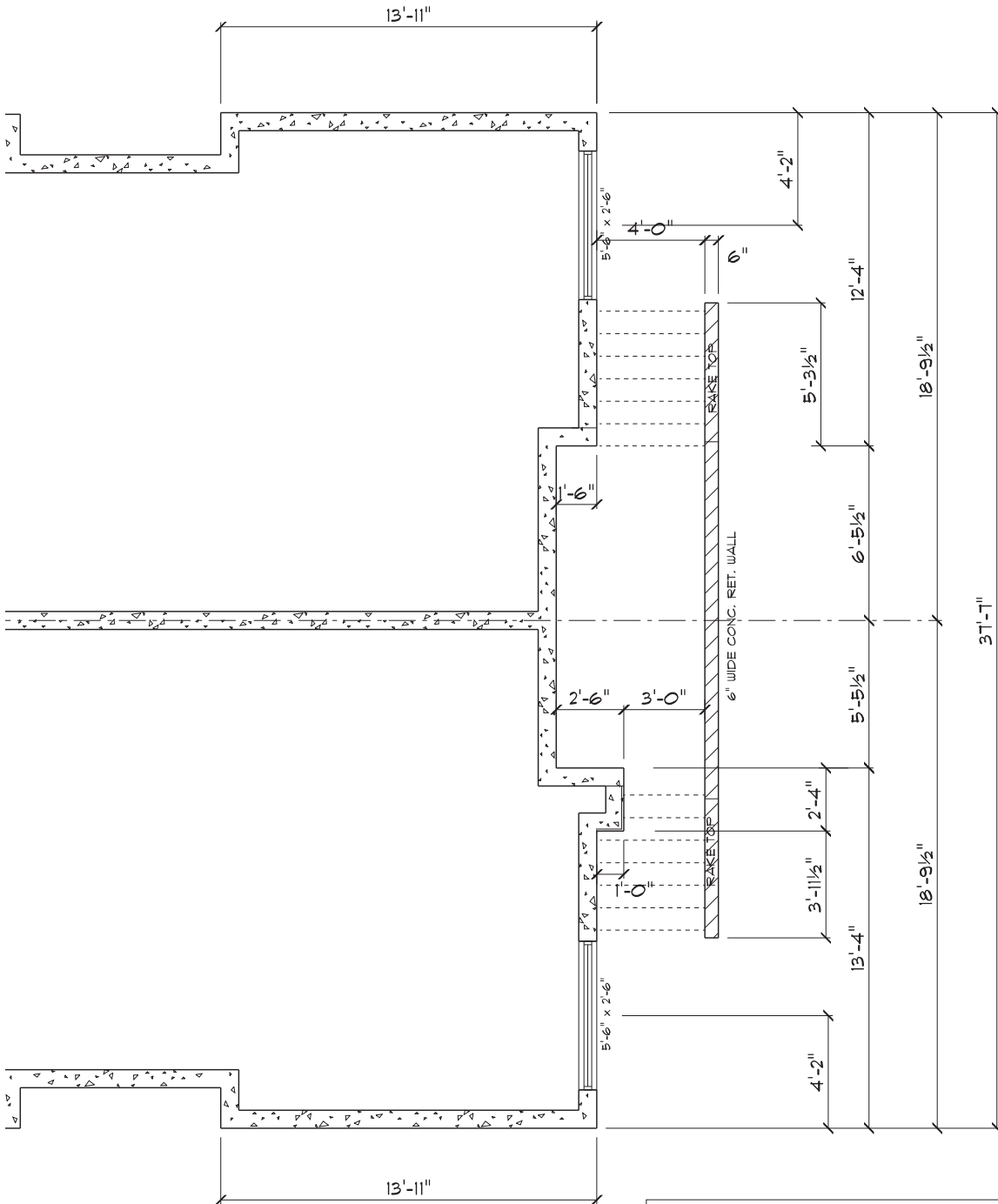
BLDG 'A'
996 SF (92.6m2)
498 SF (46.3m2)/UNIT

BLDG 'B'
996 SF (92.6m2)
498 SF (46.3m2)/UNIT

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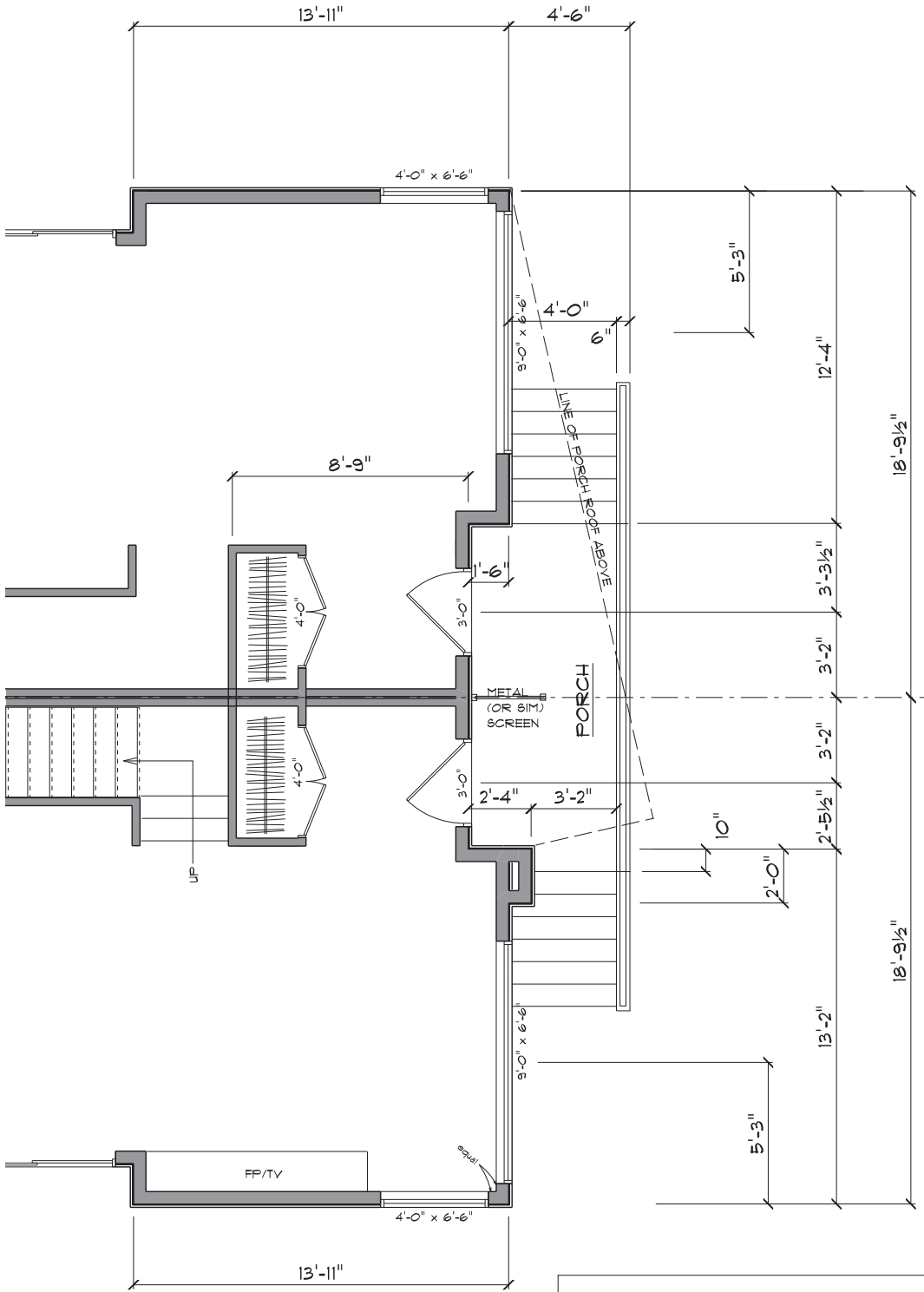
SCALE: 1/4" = 1'-0"
DATE: MAY 1/17
SHEET NO. **A4**
UPPER FLOOR PLAN

'Rose Avenue Project'
815 ROSE AVE. KEDOWNA, BC



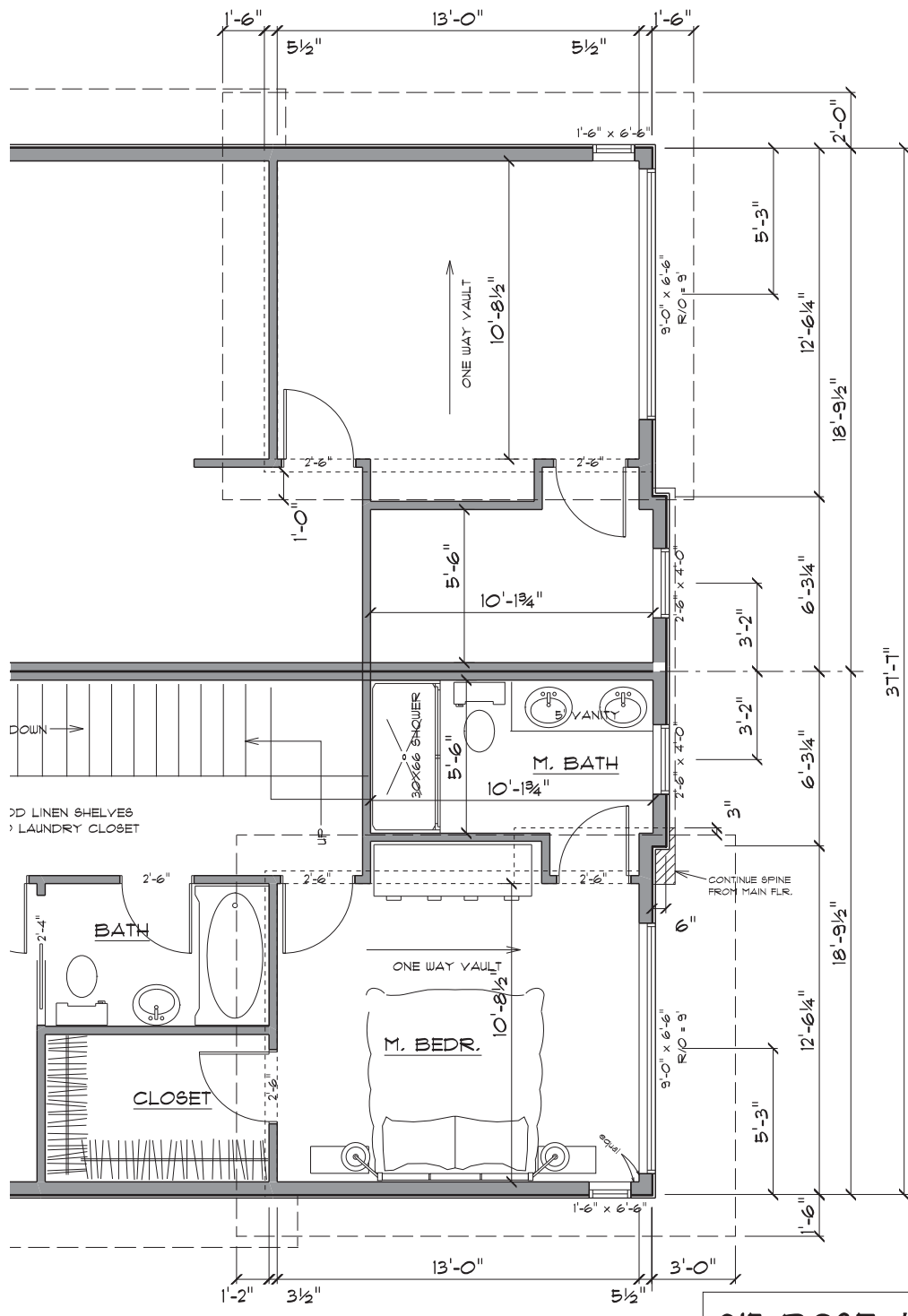
815 ROSE AVE.
 ALTERNATE FACADE
 FOUNDATION PLAN

(MAR. 22, 2017) 1/4" = 1'0" ON 11X17



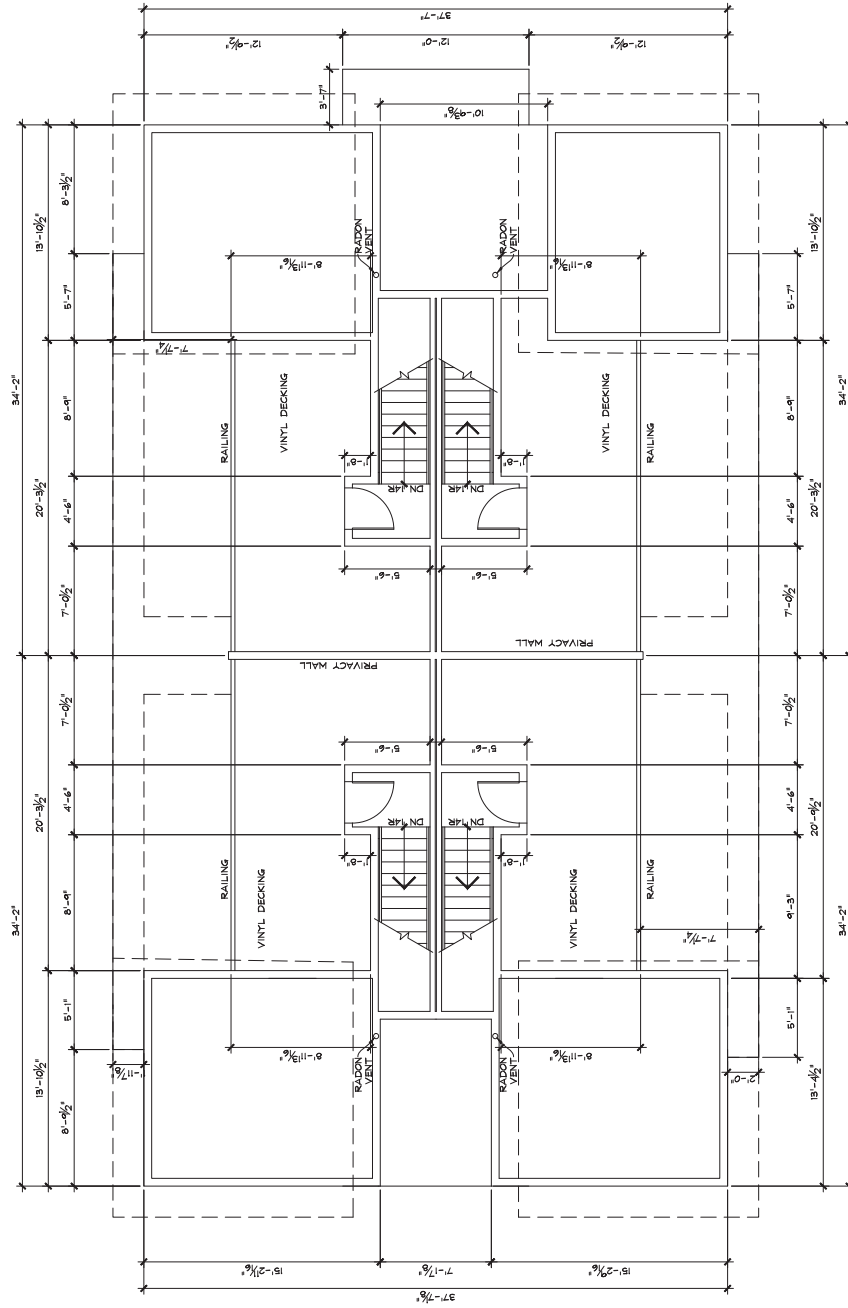
815 ROSE AVE.
 ALTERNATE FACADE
 MAIN FLOOR PLAN

(MAR. 22, 2017) 1/4" = 1'0" ON 11X17



815 ROSE AVE.
 ALTERNATE FACADE
 SECOND FLOOR PLAN

(MAR. 22, 2017) 1/4" = 1'0" ON 11X17



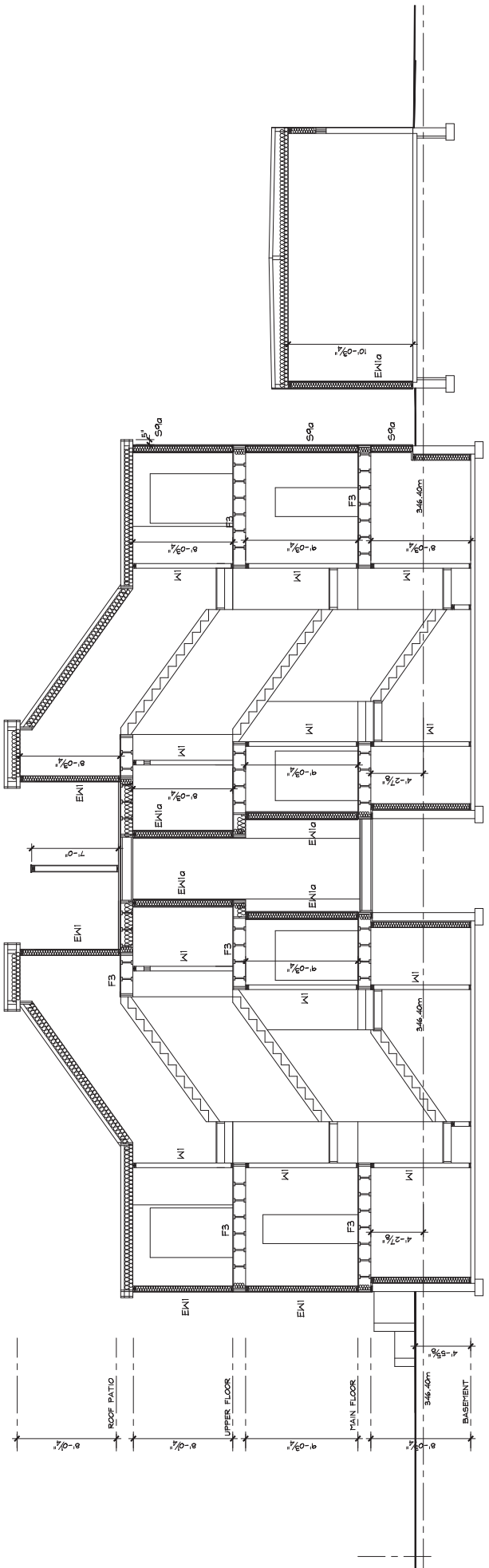
ROOF PATIO
213 SF (19.87 m2)/UNIT



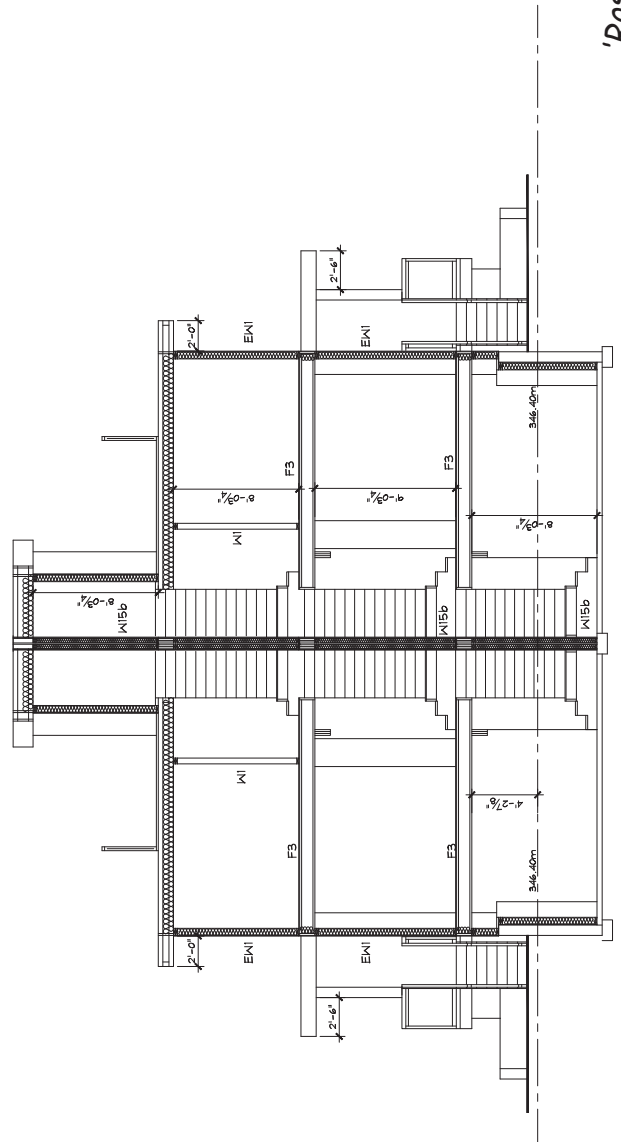
'Rose Avenue Project'
815 ROSE AVE, KELOWNA, BC

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Drafting & Design
Tom Masters
Kelowna, BC (250)317-2446
kelowna6@gmail.com

SCALE: 1/4"=1'-0"
DATE: MAY 1/17
PROJECT: ROOF PLAN
SHEET NO. **A5**



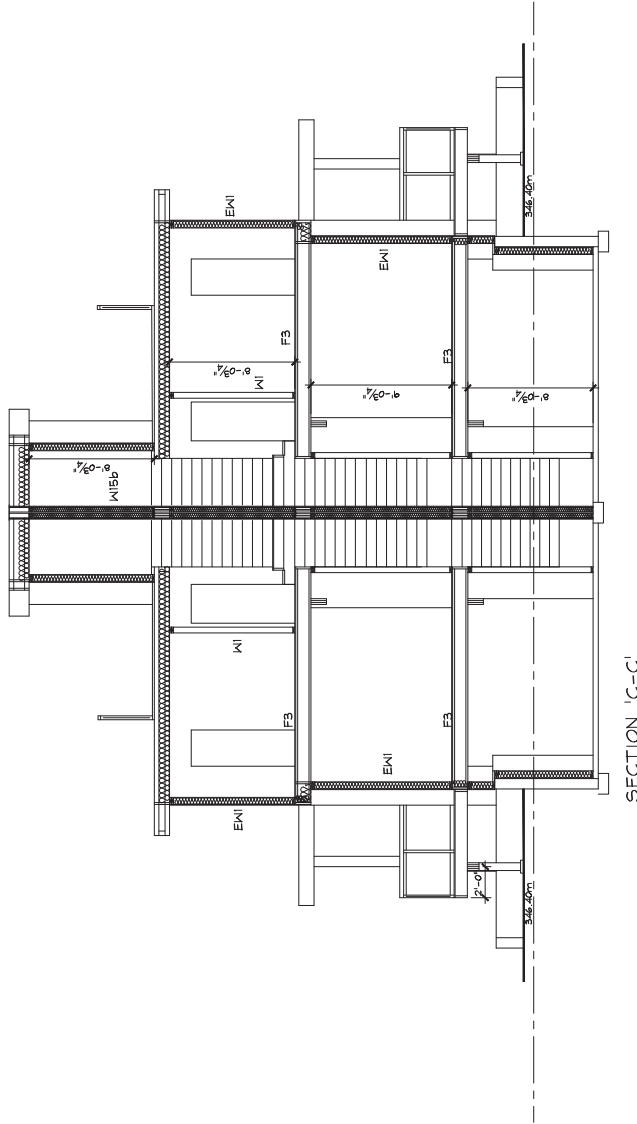
SECTION 'A-A'



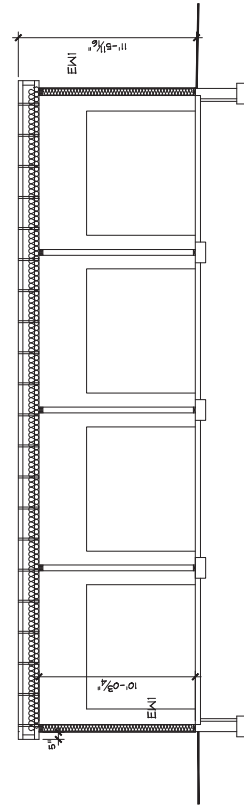
SECTION 'B-B'

TGM Drafting & Design Tom Masters Kelowna, BC (250)372-2446 kelowna6@gmail.com	SCALE: 1/4" = 1'-0"	SHEET NO. A8
	DATE: _____	PLAT: 1/17
SECTIONS		

'Rose Avenue Project'
815 ROSE AVE, KELOWNA, BC



SECTION 'C-C'



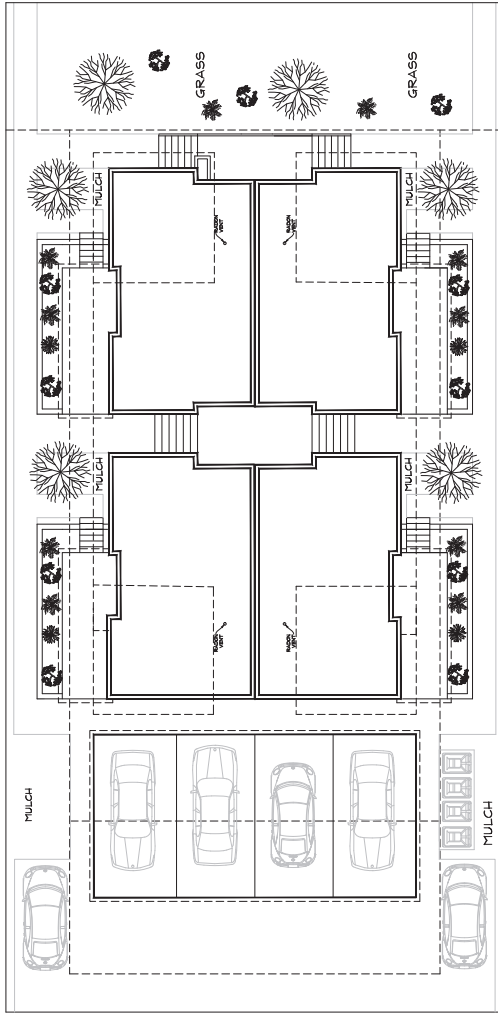
SECTION 'D-D'

WALL TYPES

- K1 38 MM X 88 MM STUDS SPACED 400 MM OR 600 MM O.C. WITH OR WITHOUT ABSORPTIVE MATERIAL
1 LAYER OF GYPSUM BOARD ON EACH SIDE
- K2 TWO ROWS 38 MM X 88 MM STUDS, EACH SPACED 400 MM OR 600 MM O.C. ON SEPARATE 38 MM X 84 MM PLATES SET 25 MM APART
1 LAYER OF ABSORPTIVE MATERIAL
2 LAYERS OF GYPSUM BOARD ON EACH SIDE
- K3E WITH
84 MM THICK ABSORPTIVE MATERIAL ON EACH SIDE
12.7 MM TYPE X GYPSUM BOARD 1 H
- E1 38 MM X 140 MM STUDS SPACED 400 MM OR 600 MM O.C.
84 MM THICK ABSORPTIVE MATERIAL
1 LAYER OF GYPSUM BOARD ON INSIDE
EXTERIOR SHEATHING AND SIDING
- F3 SUBFLOOR OF 18.5 MM PLYWOOD, OSB OR WATERBOARD,
OR 17MM TONGUE AND GROOVE LUMBER
ON WOOD JOISTS CHANGE BEGINNER MOOD 1-JOISTS CHANGE
ON WOOD JOISTS CHANGE BEGINNER MOOD 1-JOISTS CHANGE
WITH OR WITHOUT ABSORPTIVE MATERIAL IN CAVITY
1 LAYER OF GYPSUM BOARD ON CEILING SIDE
- S26 31 MM X 152 MM STEEL STUDS SPACED 400 MM OR 600 MM O.C.

TGM Drafting & Design Tom Masters Kelowna, BC (250)372-2446 kelowna6@gmail.com	SCALE 1/4"=1'-0"	SHEET NO. A9
	DATE MAY 1/17	SECTIONS

'Rose Avenue Project'
815 ROSE AVE, KELOWNA, BC



LOT INFORMATION

PROPOSED RFI
 ZONING R16
 LOCAL DISTRICT PLAN 816
 CIVIC ADDRESS 815 ROSE AVE.

-  MAPLE
 -  JAPANESE MAPLE
 -  NINE BARK
 -  BARBERRY
- SMALL PLANTS AND FLOWERS
 WILL BE ADDED TO PLANTING BEDS

TGM
 Drafting & Design
 Tom Masters
 Kelowna, BC (250)377-2446
 ketownm6@gmail.com

SCALE: 1/8"=1'-0"
 DATE: MAY 1/17
 LANDSCAPE PLAN
 SHEET NO. L1

'Rose Avenue Project'
 815 ROSE AVE, KELOWNA, BC





