

**CITY OF KELOWNA****MEMORANDUM**

**Date:** March 6, 2017  
**File No.:** Z17-0013  
**To:** Community Planning (TB)  
**From:** Development Engineering Manager(SM)  
**Subject:** 775 Rose Ave

RU6 to RM1

The Development Engineering Department has the following comments and requirements associated with this rezoning application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Sergio Sartori

**1. Domestic Water and Fire Protection**

The subject property is currently serviced with a 13mm water service. The developer will need to determine the domestic and fire protection requirements of this proposed development. Only one service will be permitted for this development. The applicant will arrange for the disconnection of existing service and the installation of a new service. The disconnection of the existing small diameter water services and the tie-in of a larger new service can be provided by City forces at the developer's expense. One metered water service will supply the development. The applicant will be required to sign a Third Party Work Order for the cost of the water service upgrades. For estimate inquiry's please contact Sergio Sartori, by email [ssartori@kelowna.ca](mailto:ssartori@kelowna.ca) or phone, 250-469-8589.

**2. Sanitary Sewer**


Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service. An inspection chamber (IC) complete with brooks box must be installed on the service at the owner's cost. Service upgrades can be provided by the City at the applicant's cost. The applicant will be required to sign a Third Party Work Order for the cost of the service upgrade. For estimate inquiry's please contact Sergio Sartori, by email [ssartori@kelowna.ca](mailto:ssartori@kelowna.ca) or phone, 250-469-8589.

**3. Road Improvements**

Rose Ave must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, sidewalk, drainage system including catch basins, manholes and pavement removal and replacement, street lighting and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. A one-time cash payment in lieu of construction must be collected from the applicant for future construction by the City. The cash-in-lieu amount is determined to be **\$9,669.00** not including utility service cost.

**SCHEDULE A**

This forms part of application # **Z17-0013**



City of Kelowna  
COMMUNITY PLANNING

(a) Only the service upgrades must be completed at this time. The City wishes to defer the upgrades to Rose Ave fronting this development. Therefore, cash-in-lieu of immediate construction is required and the City will initiate the work later on its own construction schedule.

Item	Cost
Drainage	\$ 2,855.00
Sidewalk	\$ 2,443.00
Curb &Gutter	\$ 1,954.00
Road Fillet	\$ 2,052.00
Blvd Landscaping	\$ 366.00
<b>Total</b>	<b>\$ 9,669.00</b>

**4. Subdivision**

- (a) Grant Statutory Rights of Way if required for utility services.
- (b) Provide a 5.0m road reserve along the full frontage of Rose Avenue.
- (c) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager

**5. Development Permit and Site Related Issues**

Direct the roof drains into on-site rock pits or splash pads.  
Access is permitted from the lane only.

**6. Electric Power and Telecommunication Services**

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

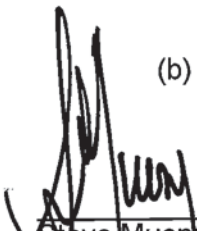
**7. Bonding and Levy Summary**

(a) Levies

1. Rose Ave frontage improvements **\$9,669.00**

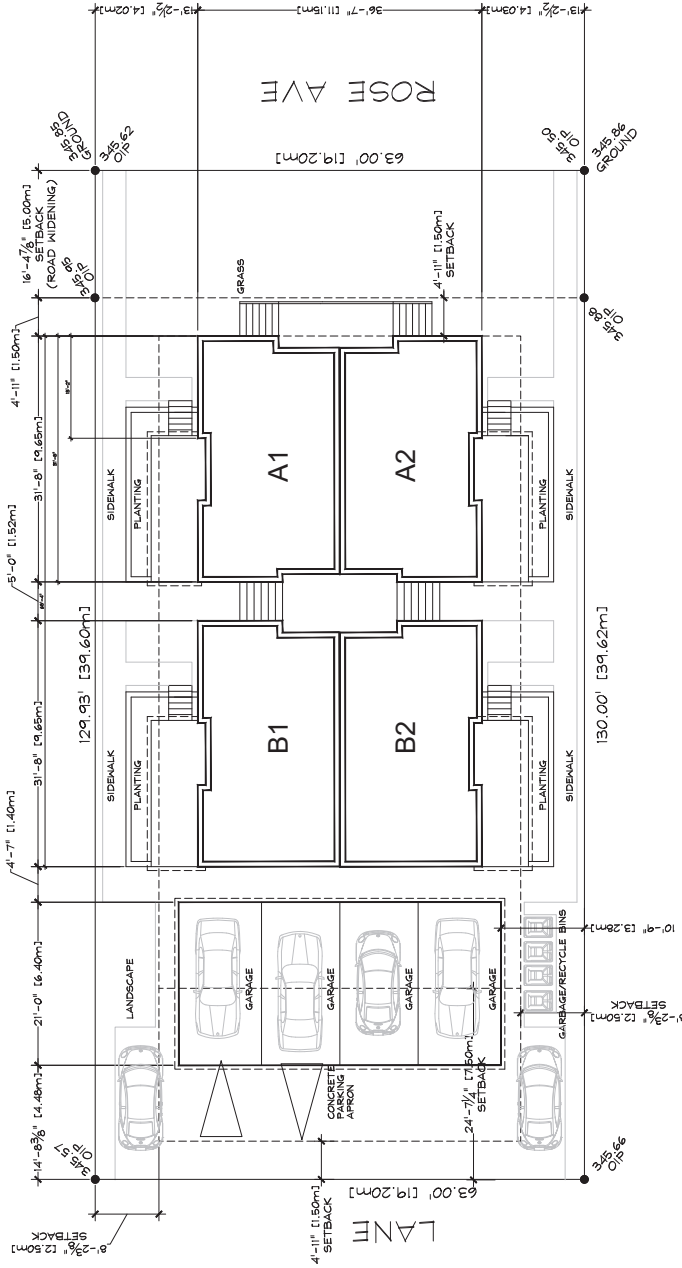
(b) Bonding

1. Service upgrades To be determined




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Steve Muenz, P. Eng.  
Development Engineering Manager



**LOT INFORMATION**

PROPOSED RMI  
 ZONING RUM  
 LEGAL DESCR. P1AN 1/487-16, ODTYD  
 CIVIC ADDRESS 775 ROSE AVE.  
 MILL CREEK FLOODPLAIN BYLAW: 345-05m

**FLOOR AREA RATIO**

MAIN FLOOR	= 2,022 SF
UPPER FLOOR	= 1,932 SF
GARAGE	= 872 SF
LANDSCAPE	= 4,126 SF
LOT AREA	= 12,952 SF
FAR	= 0.59 MAX ALLOWED 0.60

**TOTAL SITE COVERAGE**

MAIN FLOOR	= 2,022 SF
GARAGE	= 872 SF
PARKING/DRIVEWAY	= 4,978 SF
LANDSCAPE	= 3,872 SF
TOTAL LOT SQ/FT	= 8,186 SF
TOTAL FOOTPRINT	= 3,872 SF
TOTAL COVERAGE	= 47.30%
MAX ALLOWED	50%

**LOT COVERAGE**

BUILDING COVERAGE	
MAIN FLOOR	= 2,022 SF
GARAGE	= 872 SF
LANDSCAPE	= 2,894 SF
TOTAL LOT SQ/FT	= 8,186 SF
TOTAL FOOTPRINT	= 2,894 SF
TOTAL COVERAGE	= 35.35%
MAX ALLOWED	40%

**TGM**  
 Drafting & Design  
 Tom Masters  
 Kelowna, BC (250)317-2446  
 kelowna6@gmail.com

SCALE: 1/8"=1'-0"  
 DATE: APR 24/17  
 SHEET NO. **A1**  
**SITE PLAN**

*'Rose Avenue Project'*

775 ROSE AVE, KELOWNA, BC

**SPECIFICATIONS**

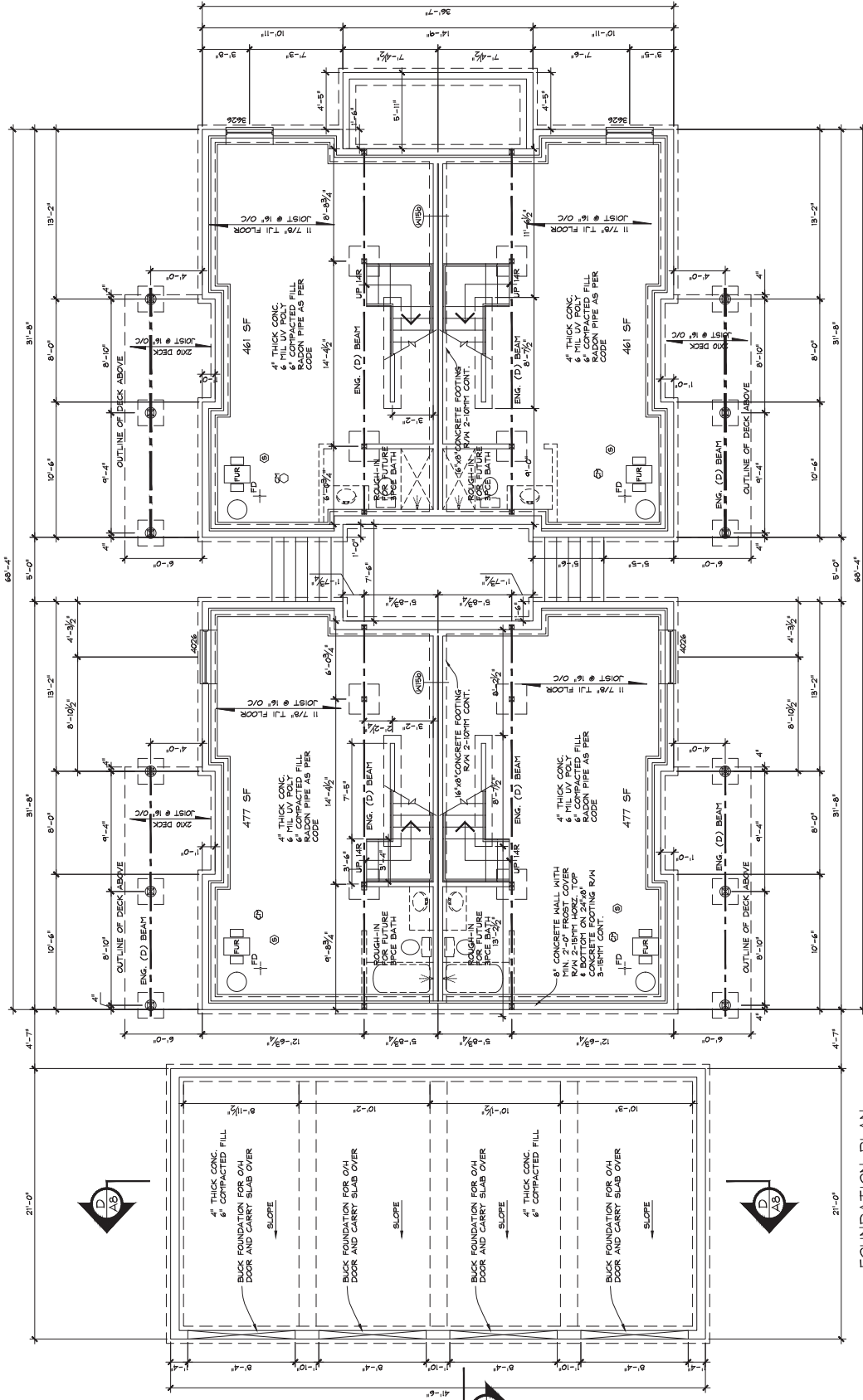
- EXTERIOR WALL  
 ACTYK STUCCO ON  
 PAPER & WIRE BASE W/ SCATCH COAT  
 2" INSULATION @ 0°C  
 2" BATT INSULATION  
 2" POLY V.A. (U.V. RESISTANT)  
 5/8" GYPSUM BOARD  
 DAMAGE FLOOR
- CONCRETE SLAB  
 SLOPE 2" MIN FOR DRAINAGE
- EXTERIOR FOUNDATION  
 2" CON. W/ SPHANT INSULATION  
 3" RIGID INSULATION TO  
 EXTERIOR SURFACE  
 MIN. 24" BELOW FINISH GRADE  
 24"x8" CONCRETE FOOTING
- INTERIOR FOUNDATION  
 2" CONCRETE CORE  
 1/2" 4" CONCRETE FOOTING
- DRAINAGE  
 6" MIN DRAIN ROCK COVER  
 4" DIA. DRAIN TILE

**BELOW GRADE WALL ASSEMBLY OPTION 1**

DESCRIPTION	NOMINAL	EFFECTIVE
8" FOUNDATION WALLS W/ 2x6 PW/RSI 2.65	(R-1.5.1)	
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		1.9
1. DAMPROOFING/INTERIOR AIR FILM 0.33		
TOTAL EFFECTIVE INSULATION VALUE		RSI 2.99 (R-17.0)
(@ 16" O.C. FRAMING)		RSI 2.98 (R-17.0)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE WALLS W/ HR		RSI 2.88 (R-16.2)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE WALLS		RSI 2.88 (R-16.2)

**BELOW GRADE WALL ASSEMBLY OPTION 2**

DESCRIPTION	NOMINAL	EFFECTIVE
8" FOUNDATION WALLS W/ 3" EPS	(R-75.3)	
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		
1. DAMPROOFING/INTERIOR AIR FILM		
TOTAL EFFECTIVE INSULATION VALUE		RSI 2.98 (R-17.2)
(@ 16" O.C. FRAMING)		RSI 2.98 (R-17.2)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE WALLS		RSI 2.88 (R-16.2)



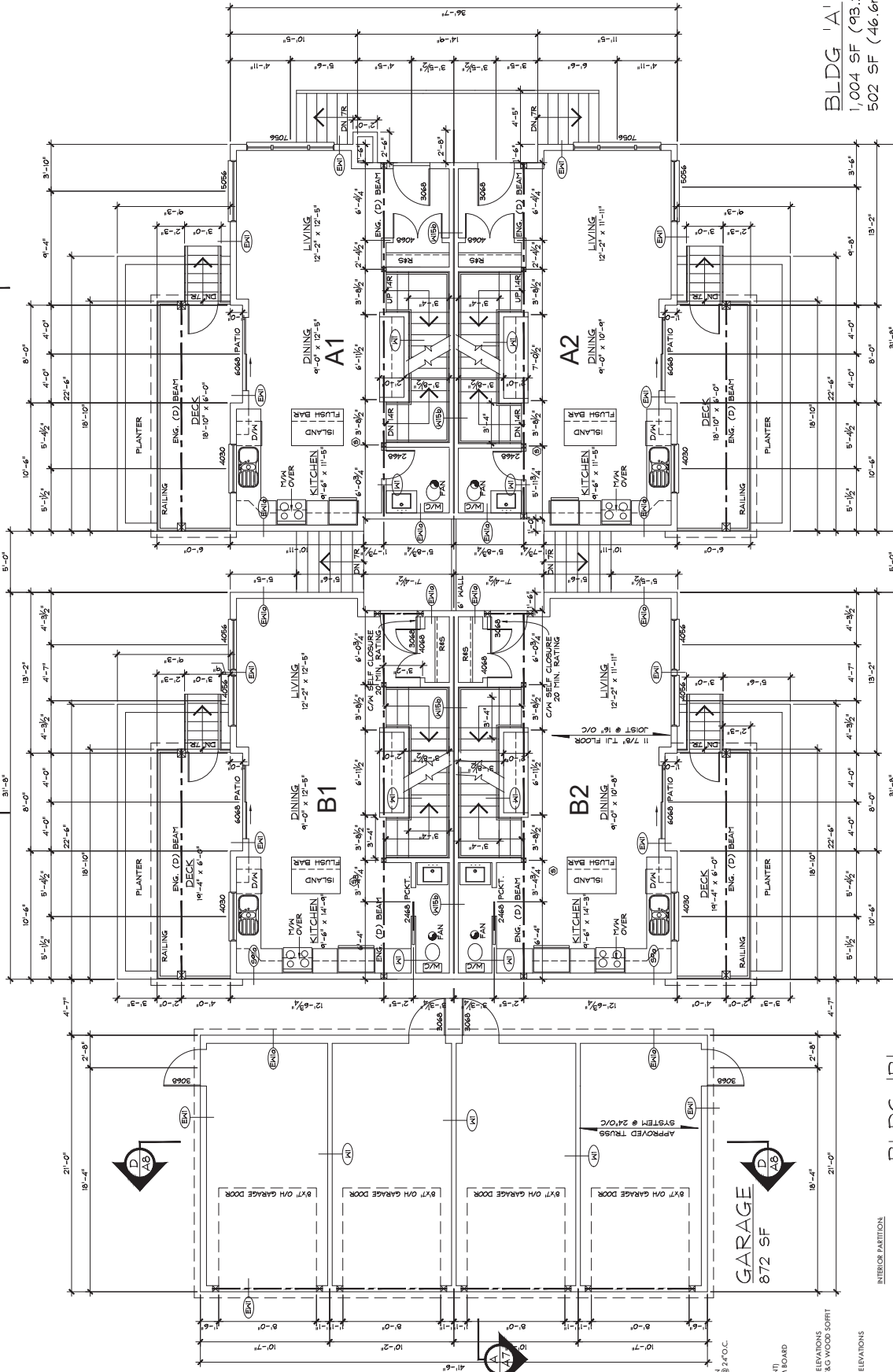
**FOUNDATION PLAN**

**NOTES**  
 PROVIDE FIRE STOPS IN ACCORDANCE WITH BC BUILDING CODE REFERENCE 9.10.1.3 AND SMOKE ALARMS IN ACCORDANCE WITH REFERENCE 9.10.1.8.  
 PROVIDE DAMPROOFING, WATERPROOFING AND SOIL GAS CONTROL IN ACCORDANCE WITH BC BUILDING CODE REFERENCE SECTION 9.1.3 & 9.16.2.  
 FOOTINGS ARE TO BE PLACED ON UNDISTURBED OR COMPACTED SOIL WITH AN ALLOWABLE BEARING PRESSURE OF 2000LBS./SQ.FT. OR GREATER.  
 FOOTINGS ARE TO BE PLACED ON UNDISTURBED OR COMPACTED SOIL WITH AN ALLOWABLE BEARING PRESSURE OF 2000LBS./SQ.FT. OR GREATER. COMPACTION TO BE TESTED BY QUALIFIED PROFESSIONAL OR GEOTECHNICAL ENGINEER.

**'Rose Avenue Project**  
 775 ROSE AVE, KELOWNA, BC

**TGM**  
 Drafting & Design  
 Tom Masters  
 Kelowna, BC (250)377-2446  
 ketowmasc@gmail.com

SCALE: 1/4"=1'-0"  
 DATE: APR 24/17  
**BASEMENT PLAN**  
 SHEET NO. **A4**



BLDG 'A'  
 1,004 SF (93.2m<sup>2</sup>)  
 502 SF (46.6m<sup>2</sup>)/UNIT

**TGM**  
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 Kildowan, BC (250)37-2446  
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'Rose Avenue Project'  
 775 ROSE AVE, KILDOWAN, BC

BLDG 'B'  
 1,018 SF (94.6m<sup>2</sup>)  
 509 SF (47.3m<sup>2</sup>)/UNIT

INTERIOR PARTITION  
 1/2" GYPSUM BOARD  
 244 STUDS @ 16" O.C.  
 SLAB ON GARBLE FLOOR  
 4" CONCRETE SLAB  
 COMPACTED GRAVEL

EXTERIOR WALL  
 EXTERIOR FINISH AS PER ELEVATIONS  
 1/2" GYPSUM BOARD  
 244 STUDS @ 16" O.C.  
 2x4 BATT INSULATION  
 1/2" GYPSUM BOARD (FRONT & REAR)  
 5/8" (6" X GYPSUM BOARD (SIDES))

**SPECIFICATIONS**

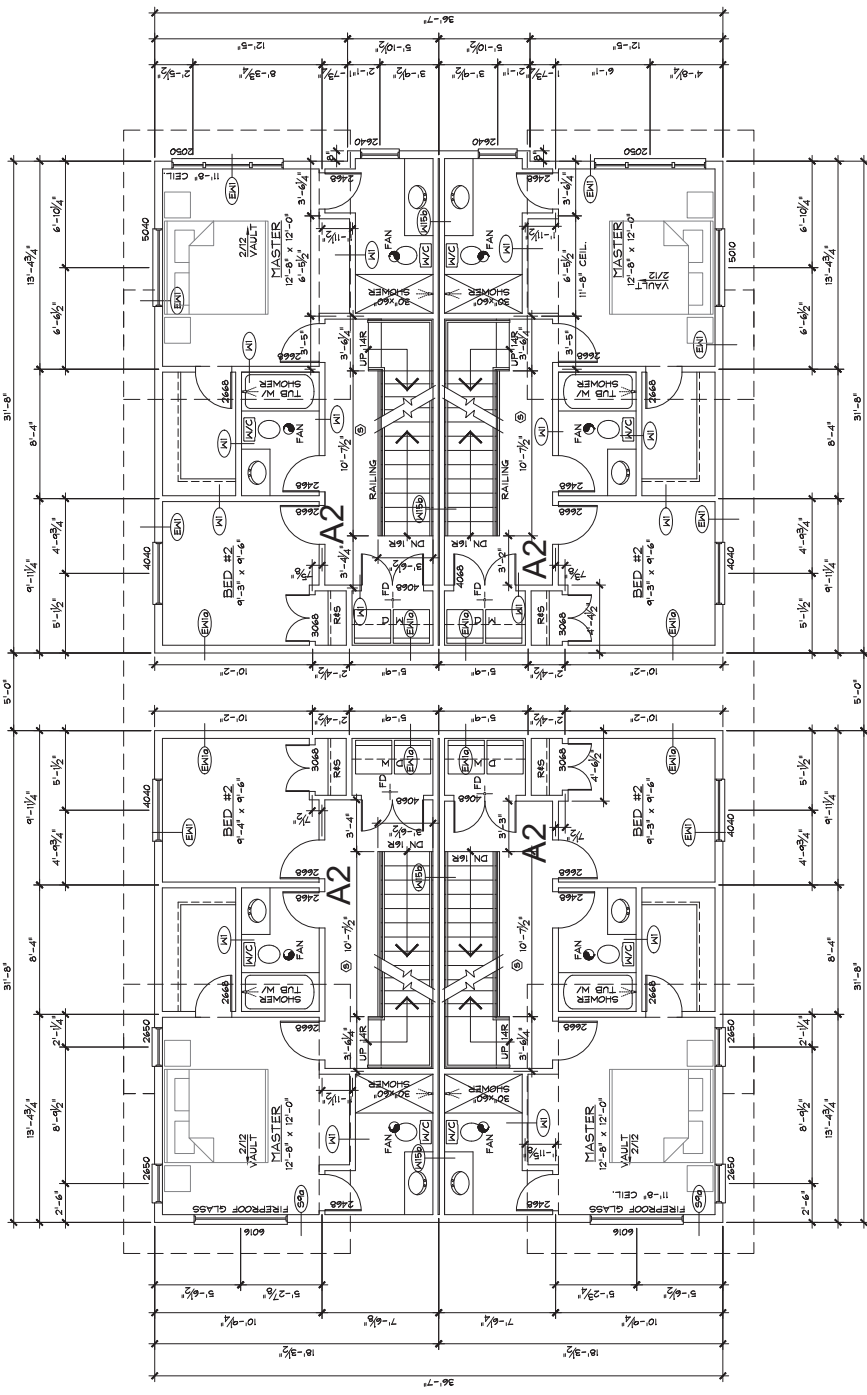
ROOF:  
 TORCH-ON MEMBRANE  
 1/2" 1x6 PLYWOOD ON  
 BNGD ROOF TRUSSES @ 24" O.C.

CEILING:  
 8-50 BATT INSULATION  
 6#6 V.S. (V.V. RESISTANT)  
 1/2" APRIL-SAG GYPSUM BOARD

FASCIA/SOFFIT:  
 1/2" GYPSUM BOARD

EXTERIOR WALL:  
 EXTERIOR FINISH AS PER ELEVATIONS  
 1/2" GYPSUM BOARD  
 244 STUDS @ 16" O.C.  
 2x4 BATT INSULATION  
 1/2" GYPSUM BOARD (FRONT & REAR)  
 5/8" (6" X GYPSUM BOARD (SIDES))

SCALE: 1/4"=1'-0"  
 DATE: APR 24/17  
 SHEET NO. **A3**  
 MAIN FLOOR  
 PLAN



**ROOF ASSEMBLY - CATHEDRAL CEILINGS**

DESCRIPTION R-25 BATT INSULATION IN BNG. TRUSS @ 24" O.C.	NOMINAL R-VALUE	EFFECTIVE R-VALUE
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		
1. INTERIOR AIR FILM	0.12	0.48
2. 1/2" GYPSUM BOARD	0.08	0.45
3. 7/8" SHEATHING	0.11	0.62
4. ROOF FINISH	0.00	0.00
TOTAL EFFECTIVE INSULATION VALUE (@24" O.C. FRAMING)		R9 9.12 (R-51.75)
MINIMUM EFFECTIVE THERMAL RESISTANCE W/HRV		R9 4.67 (R-26.5)
MINIMUM EFFECTIVE THERMAL RESISTANCE		R9 4.67 (R-26.5)

**BLDG 'A'**  
 966 SF (89.7m2)  
 483 SF (44.9m2)/UNIT

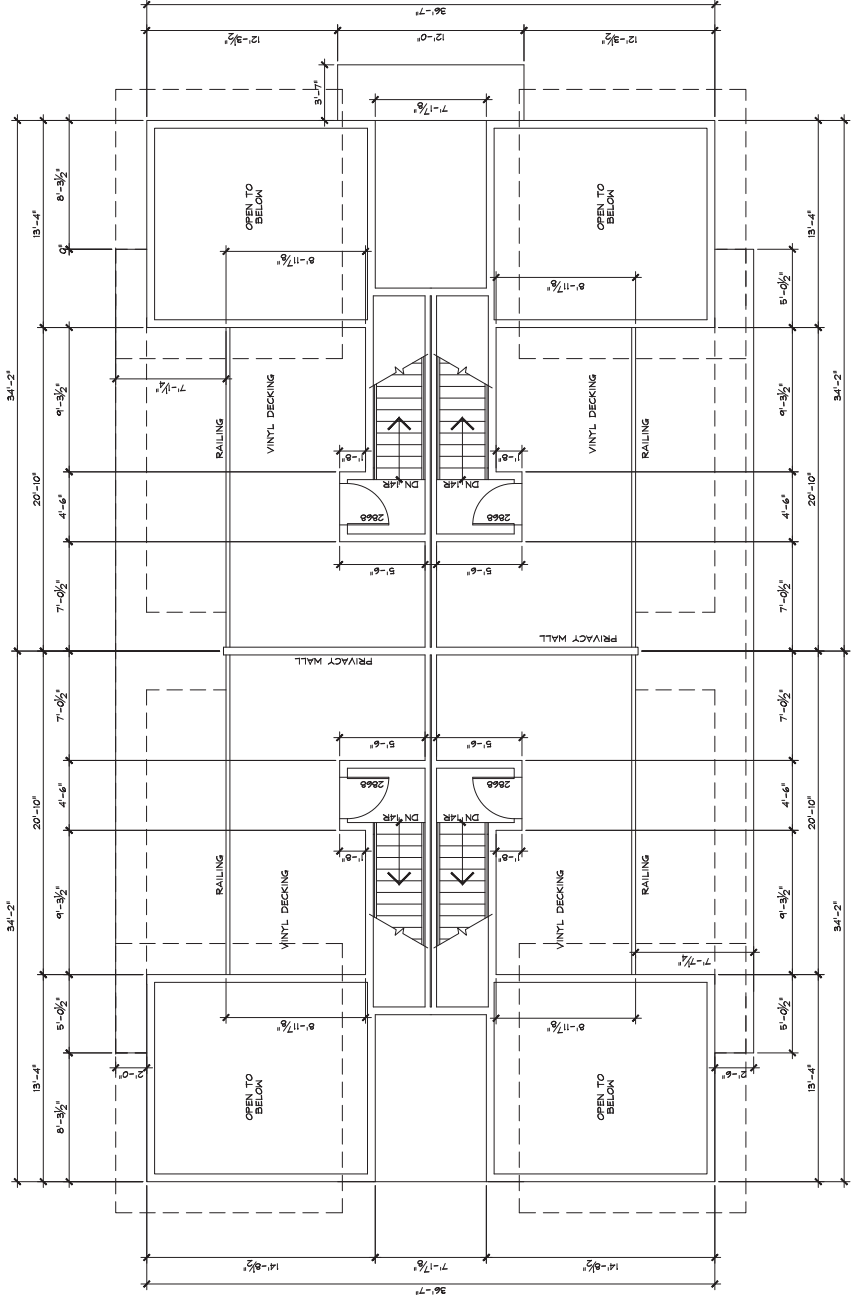
**BLDG 'B'**  
 966 SF (89.7m2)  
 483 SF (44.9m2)/UNIT

**TGM**  
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 Tom Masters  
 Keldowna, BC (250)317-2446  
 keldowna6@gmail.com

SCALE: 1/4"=1'-0"  
 DATE: APR 24/17  
**UPPER FLOOR PLAN**

SHEET NO. **A4**

**'Rose Avenue Project'**  
 775 ROSE AVE., KELDONA, BC



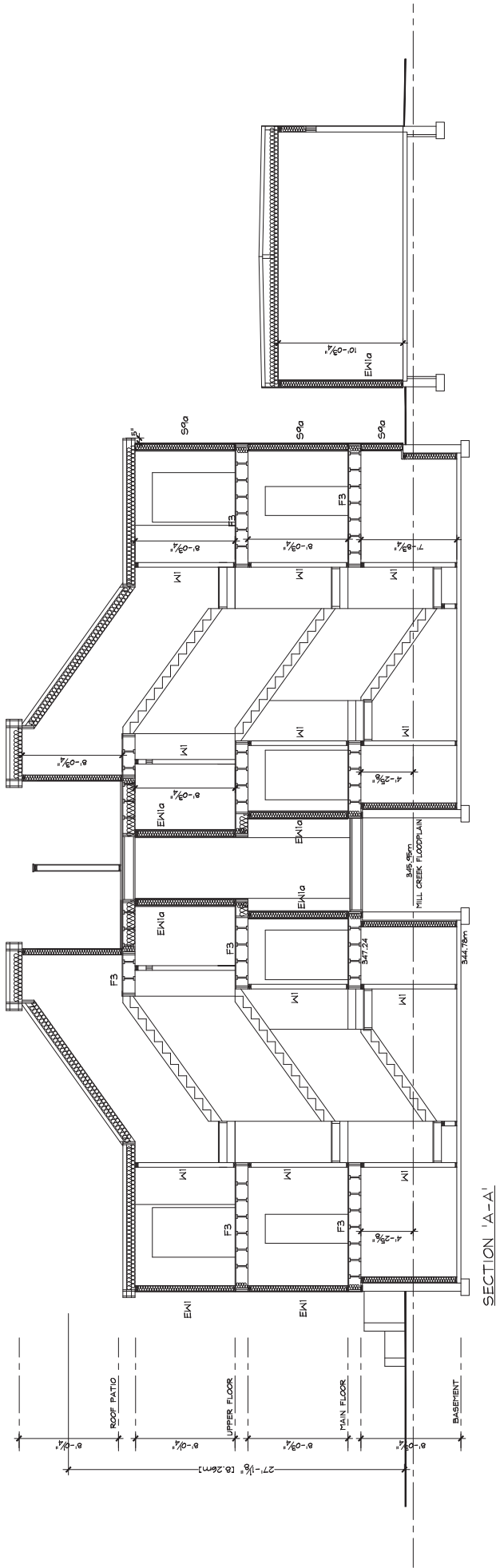
ROOF PATIO  
213 SF(19.87 m2)/UNIT



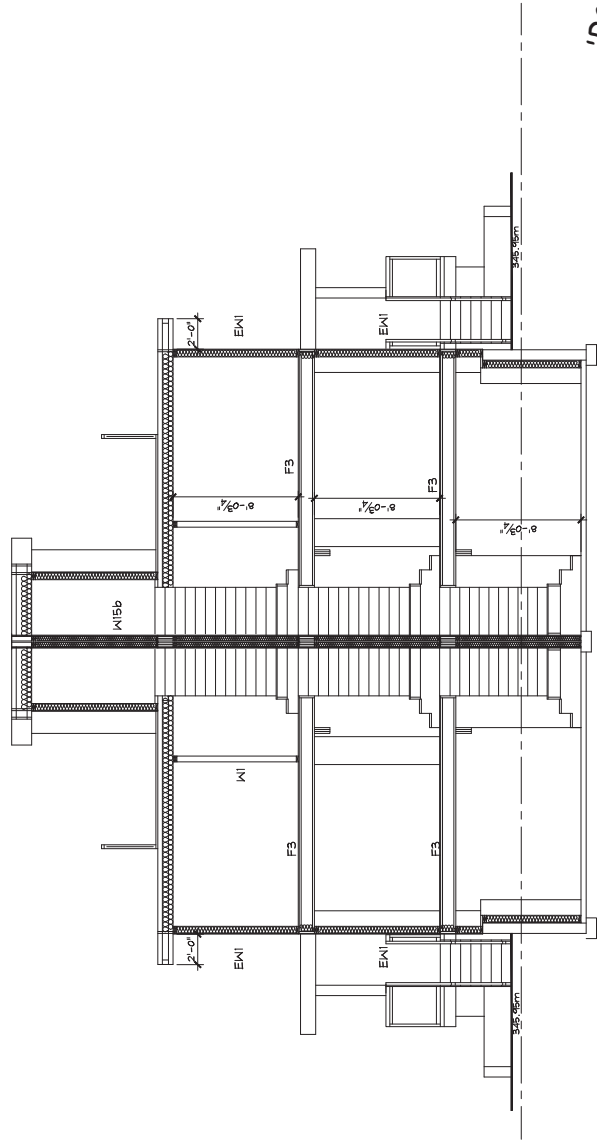
**TGM**  
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kedtomac@gmail.com

SCALE: 1/4"=1'-0"  
DATE: APR 24/17  
PROJECT: ROOF PLAN  
SHEET NO. A5

'Rose Avenue Project'  
775 ROSE AVE. KELLOWNA, BC



SECTION 'A-A'

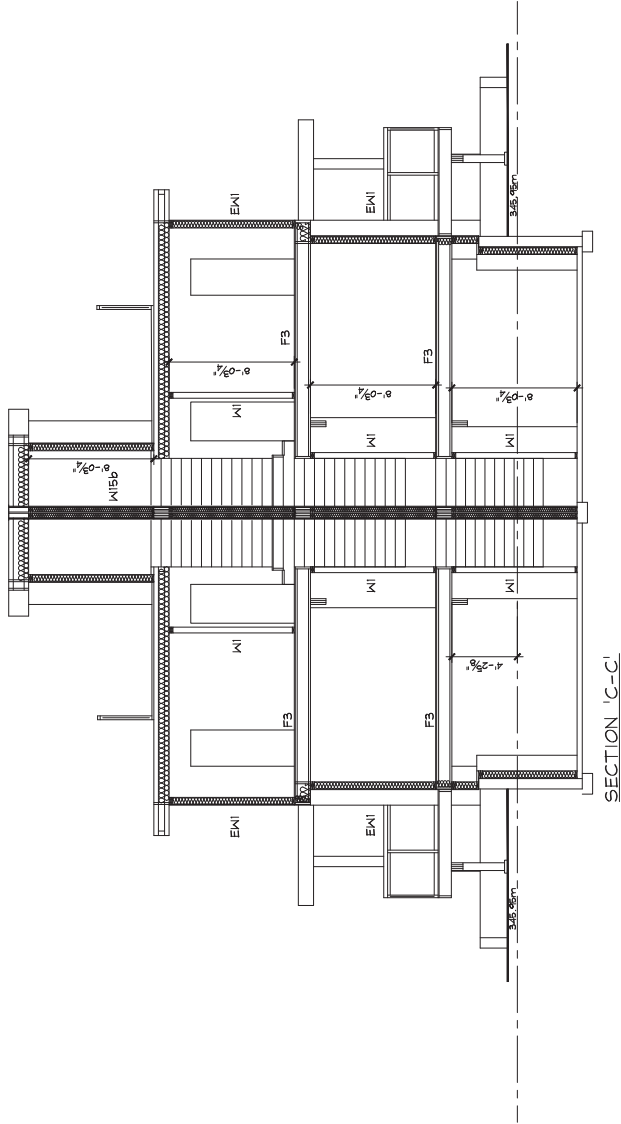


SECTION 'B-B'

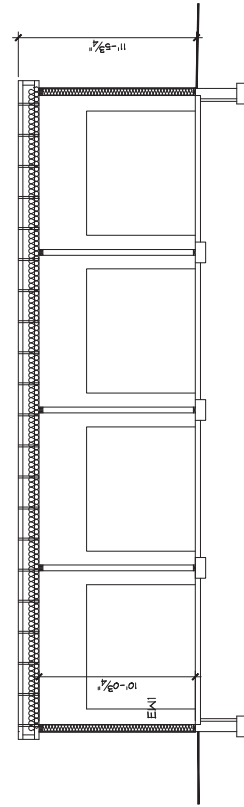
<b>TGM</b> Drafting & Design Tom Masters Kelowna, BC (250)372-2446 kelowna6@gmail.com	SCALE: 1/4"=1'-0"	SHEET NO. <b>A8</b>
	DATE: APR 24/17	SECTIONS

'Rose Avenue Project'  
775 ROSE AVE, KELOWNA, BC





SECTION 'C-C'



SECTION 'D-D'

WALL TYPES

- KI 38 MM X 89 MM STUDS SPACED 400 MM OR 600 MM O.C. WITH OR WITHOUT ABSORPTIVE MATERIAL  
1 LAYER OF GYPSUM BOARD ON EACH SIDE
- KI15 20 ROWS 38 MM X 89 MM STUDS, EACH SPACED 400 MM OR 600 MM O.C. ON SEPARATE 38 MM X 89 MM PLATES SET 25 MM APART  
WITH OR WITHOUT ABSORPTIVE MATERIAL  
2 LAYERS OF GYPSUM BOARD ON EACH SIDE
- KI15b KI15 WITH  
89 MM THICK ABSORPTIVE MATERIAL ON EACH SIDE(4)(8)  
12.7 MM TYPE X GYPSUM BOARD(5) 1 HR FR
- EKI 38 MM X 89 MM STUDS SPACED 400 MM OR 600 MM O.C.  
89 MM THICK ABSORPTIVE MATERIAL(6)  
1 OR 2 LAYERS OF GYPSUM BOARD ON INSIDE  
EXTERIOR SHEATHING AND SIDING
- EKI1a EKI WITH  
15.9 MM TYPE X GYPSUM BOARD(5)(9) 1 HR FR
- E3 SUBFLOOR OF 15.5 MM PLYWOOD, OSB OR WAFFERBOARD, OR 17MM TONGUE AND GROOVE LUMBER ON WOOD JOISTS CHANGE BEGIN OR WOOD I-JOISTS CHANGE END SPACED NOT MORE THAN 600 MM O.C. WITH OR WITHOUT ABSORPTIVE MATERIAL IN CAVITY  
1 LAYER OF GYPSUM BOARD ON CEILING SIDE
- S9a 31 MM X 152 MM STEEL STUDS SPACED 400 MM OR 600 MM O.C.  
2 LAYERS OF 12.7 MM TYPE X GYPSUM BOARD ON EACH SIDE  
150 MM THICK ABSORPTIVE MATERIAL

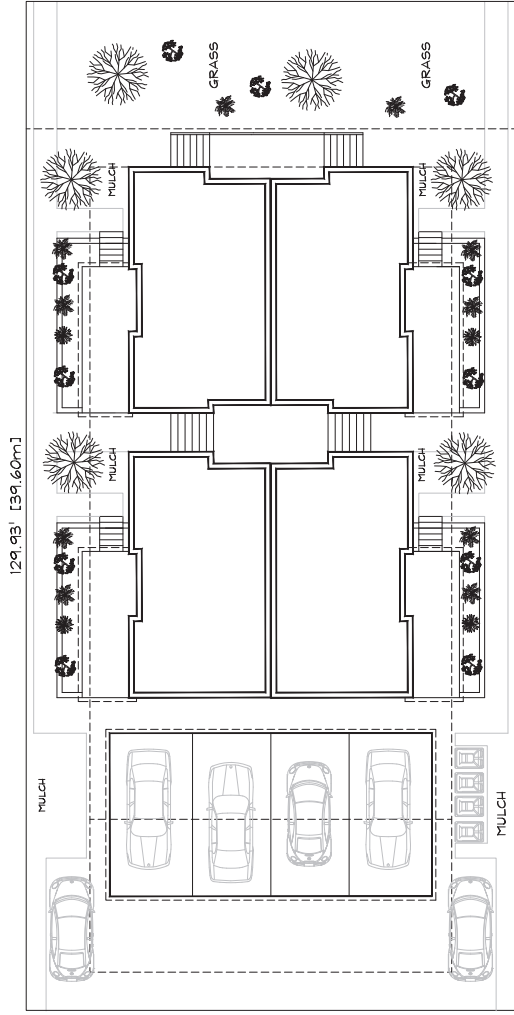
<b>TGM</b> Drafting & Design Tom Masters Kelowna, BC (250)372-2446 kelowna6@gmail.com	SCALE 1/4"=1'-0"	SHEET NO. A9
	DATE APR 24/17	SECTIONS

'Rose Avenue Project'

775 ROSE AVE. KELOWNA, BC








129.93' [39.60m]

### LOT INFORMATION

PROPOSED RMI  
ZONING RUM  
LEGAL DESCR. L16, ODTYD  
PLAN 11/487  
CIVIC ADDRESS 775 ROSE AVE.

-  MAPLE
-  JAPANESE MAPLE
-  NINE BARK
-  BARBERRY

SMALL PLANTS AND FLOWERS  
WILL BE ADDED TO PLANTING BEDS

TGM  
Drafting & Design  
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Kelowna, BC  
(250)37-2446  
kelowna6@gmail.com

SCALE 1/8"=1'-0"  
DATE APR 24/17  
LANDSCAPE PLAN  
SHEET NO. L1

## 'Rose Avenue Project'

775 ROSE AVE, KELOWNA, BC