



## CITY OF KELOWNA

## MEMORANDUM

**Date:** March 6, 2017  
**File No.:** Z17-0012

**To:** Community Planning (TB)

**From:** Development Engineering Manager(SM)

**Subject:** 861 Rose Ave RU6 to RM1

The Development Engineering Department has the following comments and requirements associated with this rezoning application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Sergio Sartori

1. **Domestic Water and Fire Protection**

The subject property is currently serviced with a 13mm water service. The developer will need to determine the domestic and fire protection requirements of this proposed development. Only one service will be permitted for this development. The applicant will arrange for the disconnection of existing service and the installation of a new service. The disconnection of the existing small diameter water services and the tie-in of a larger new service can be provided by City forces at the developer's expense. One metered water service will supply the development. The applicant will be required to sign a Third Party Work Order for the cost of the water service upgrades. For estimate inquiry's please contact Sergio Sartori, by email [ssartori@kelowna.ca](mailto:ssartori@kelowna.ca) or phone, 250-469-8589.

2. **Sanitary Sewer**

Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service. An inspection chamber (IC) complete with brooks box must be installed on the service at the owner's cost. Service upgrades can be provided by the City at the applicant's cost. The applicant will be required to sign a Third Party Work Order for the cost of the service upgrade. For estimate inquiry's please contact Sergio Sartori, by email [ssartori@kelowna.ca](mailto:ssartori@kelowna.ca) or phone, 250-469-8589.

3. **Road Improvements**

Rose Ave must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, sidewalk, drainage system including catch basins, manholes and pavement removal and replacement, street lighting and relocation or adjustment of utility appurtenances if required to accommodate the upgrading construction. A one-time cash payment in lieu of construction must be collected from the applicant for future construction by the City. The cash-in-lieu amount is determined to be **\$9,669.00** not including utility service cost.



- (a) Only the service upgrades must be completed at this time. The City wishes to defer the upgrades to Rose Ave fronting this development. Before, cash-in-lieu of immediate construction is required and the City will initiate the work later, on its own construction schedule.

Item	Cost
Drainage	\$ 2,855.00
Sidewalk	\$ 2,443.00
Curb &Gutter	\$ 1,954.00
Road Fillet	\$ 2,052.00
Blvd Landscaping	\$ 366.00
<b>Total</b>	<b>\$ 9,669.00</b>

**4. Subdivision**

- (a) Grant Statutory Rights of Way if required for utility services.
- (b) Provide a 5.0m road reserve along the full frontage of Rose Avenue.
- (c) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager

**5. Development Permit and Site Related Issues**

Direct the roof drains into on-site rock pits or splash pads. Access is permitted from the lane only.

**6. Electric Power and Telecommunication Services**

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

**7. Bonding and Levy Summary**

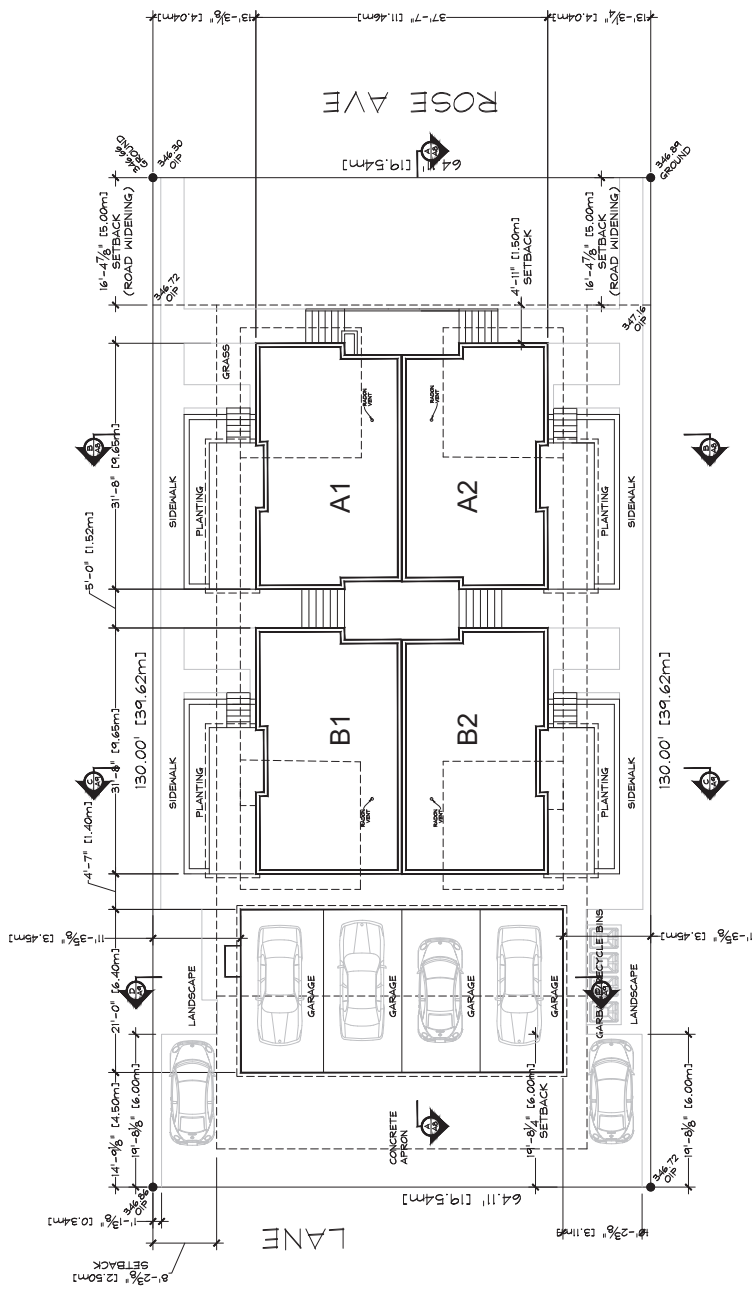
(a) Levies

1. Rose Ave frontage improvements	<b>\$9,669.00</b>
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(b) Bonding

1. Service upgrades	To be determined
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Steve Muenz, P. Eng.  
Development Engineering Manager



**LOT INFORMATION**

PROPOSED RMI  
 ZONING RUM  
 LEGAL DESCR. 30 JAN 616, ODYD  
 PLAN 616  
 CIVIC ADDRESS 861 ROSE AVE.  
 MILL CREEK FLOODPLAIN BYLAW: 346.75m

**LOT COVERAGE**

BUILDING COVERAGE  
 MAIN FLOOR = 2,082 SF  
 GARAGE = 672 SF  
 PARKING/DRIVEWAY = 4,978 SF  
 TOTAL LOT SQ/FT = 8,334 SF  
 TOTAL FOOTPRINT = 2,082 SF  
 TOTAL COVERAGE = 35.45%  
 MAX ALLOWED 40%

FLOOR AREA RATIO:  
 MAIN FLOOR = 2,082 SF  
 UPPER FLOOR = 1,982 SF  
 TOTAL FLOOR SQ/FT = 4,064 SF  
 LOT AREA = 8,334 SF  
 FAR = 0.89 MAX ALLOWED 0.60

**TOTAL SITE COVERAGE**

MAIN FLOOR = 2,082 SF  
 GARAGE = 672 SF  
 PARKING/DRIVEWAY = 4,978 SF  
 TOTAL LOT SQ/FT = 8,334 SF  
 TOTAL FOOTPRINT = 2,082 SF  
 TOTAL COVERAGE = 47.18%  
 MAX ALLOWED 50%

**TGM**  
 Drafting & Design  
 Tom Masters  
 Kelowna, BC (250)372-2446  
 kelowna6@gmail.com

SCALE: 1/8"=1'-0"  
 DATE: APR 23/17  
 SHEET NO. **A1**  
**SITE PLAN**

*'Rose Avenue Project'*  
 861 ROSE AVE, KELOWNA, BC

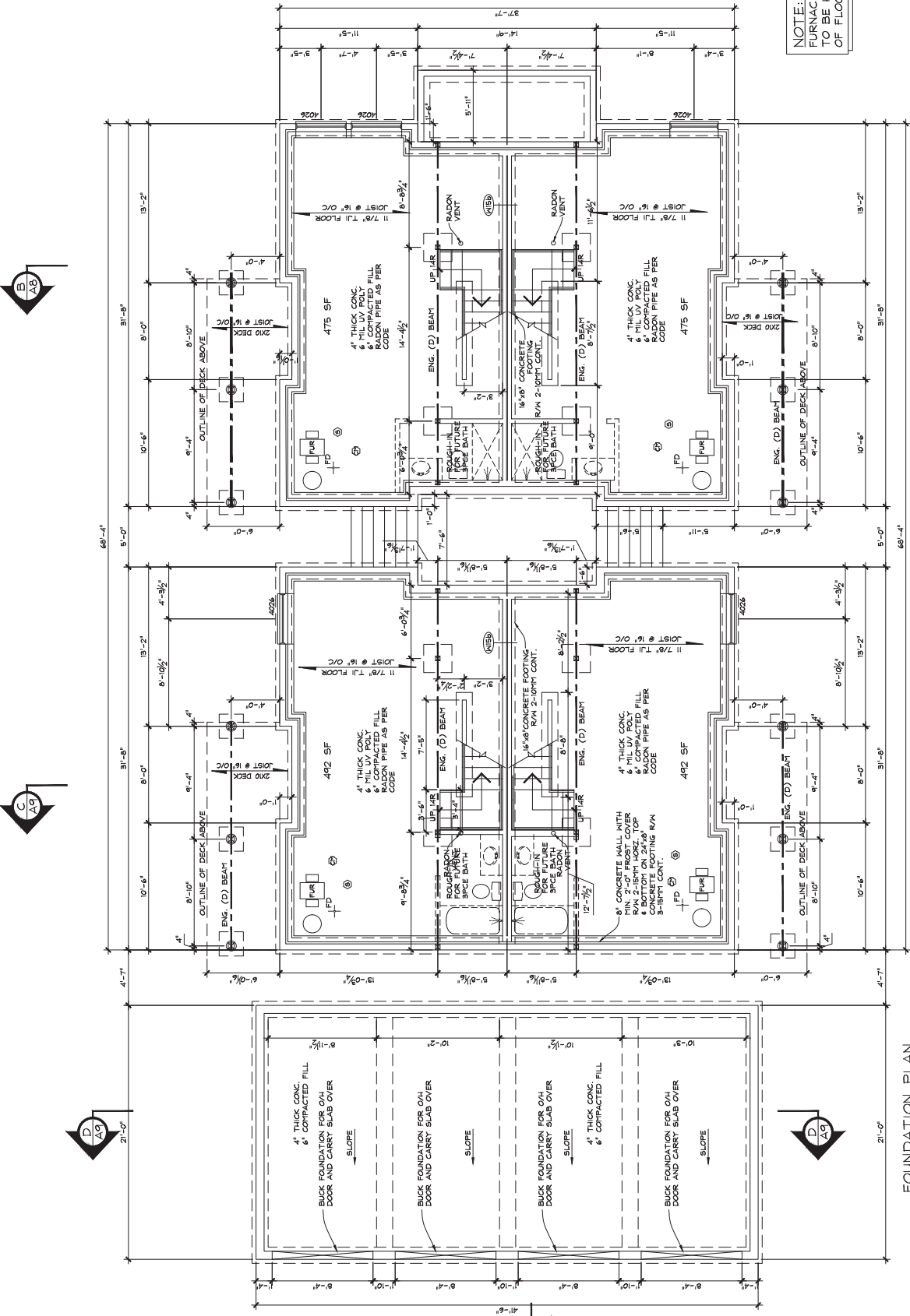
**SPECIFICATIONS**

- EXTERIOR WALL
  - ACTYK STUCCO ON PAPER & WIRE BASE W/ SCATCH COAT
  - 2" SHEATHING 1/2" OC
  - 2" RIGID INSULATION
  - 2" RIGID INSULATION
  - 5/8" GYPSUM BOARD
- CONCRETE SLAB
  - SLOPE 2" MIN FOR DRAINAGE
- EXTERIOR FOUNDATION
  - 2" CON. SPHANT BULLSTON
  - 3" RIGID INSULATION TO EXTERIOR
  - MIN 24" BELOW FINISH GRADE
  - 24" 48" CONCRETE FOOTING
- INTERIOR FOUNDATION
  - 6" CONCRETE CURB
  - 1" 4" CONCRETE FOOTING
- DRAINAGE
  - 6" MIN DRAIN ROCK COVER
  - 4" DIA. DRAIN TILE

**BELOW GRADE WALL ASSEMBLY**

DESCRIPTION	NOMINAL	EFFECTIVE
8" FOUNDATION WALLS W/ 2X6 PWF @ 24" O.C. W/ R-24 BATT INSULATION	RSI 2.66	(R-15.1)
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL.		
1. DAMPROOFING/INTERIOR AIR FILM	0.33	1.9
TOTAL EFFECTIVE INSULATION VALUE (24" O.C. FRAMING)	RSI 2.99	(R17.0)
MINIMUM THERMAL RESISTANCE FOR BELOW GRADE WALLS W/ R/V	RSI 2.98	(R16.9)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR BELOW GRADE WALLS	RSI 2.98	(R16.92)

**NOTE:**  
FURNACES IN ALL UNITS TO BE HUNG FROM UNDERSIDE OF FLOOR JOISTS



**FOUNDATION PLAN**

**NOTES**

- PROVIDE FIRE STOPS IN ACCORDANCE WITH BC BUILDING CODE REFERENCE 9.10.1.3 AND SMOKE ALARMS IN ACCORDANCE WITH REFERENCE 9.10.1.8.
- PROVIDE DAMPROOFING, WATERPROOFING AND SOIL GAS CONTROL IN ACCORDANCE WITH BC BUILDING CODE REFERENCE SECTION 9.1.3 & 9.16.2.
- FOOTINGS ARE TO BE PLACED ON UNDISTURBED OR COMPACTED SOIL WITH AN ALLOWABLE BEARING PRESSURE OF 2000LBS./SQ.FT. OR GREATER.
- FOOTINGS ARE TO BE PLACED ON UNDISTURBED OR COMPACTED SOIL WITH AN ALLOWABLE BEARING PRESSURE OF 2000LBS./SQ.FT. OR GREATER. COMPACTION TO BE TESTED BY QUALIFIED PROFESSIONAL OR GEOTECHNICAL ENGINEER.



**'Rose Avenue Project'**  
861 ROSE AVE, KELOWNA, BC

**TGM**  
Drafting & Design  
Tom Masters  
Kelowna, BC (250)37-2446  
kelowna6@gmail.com

SCALE: 1/4" = 1'-0"  
DATE: APR 23/17  
**BASEMENT PLAN**

SHEET NO. **A4**



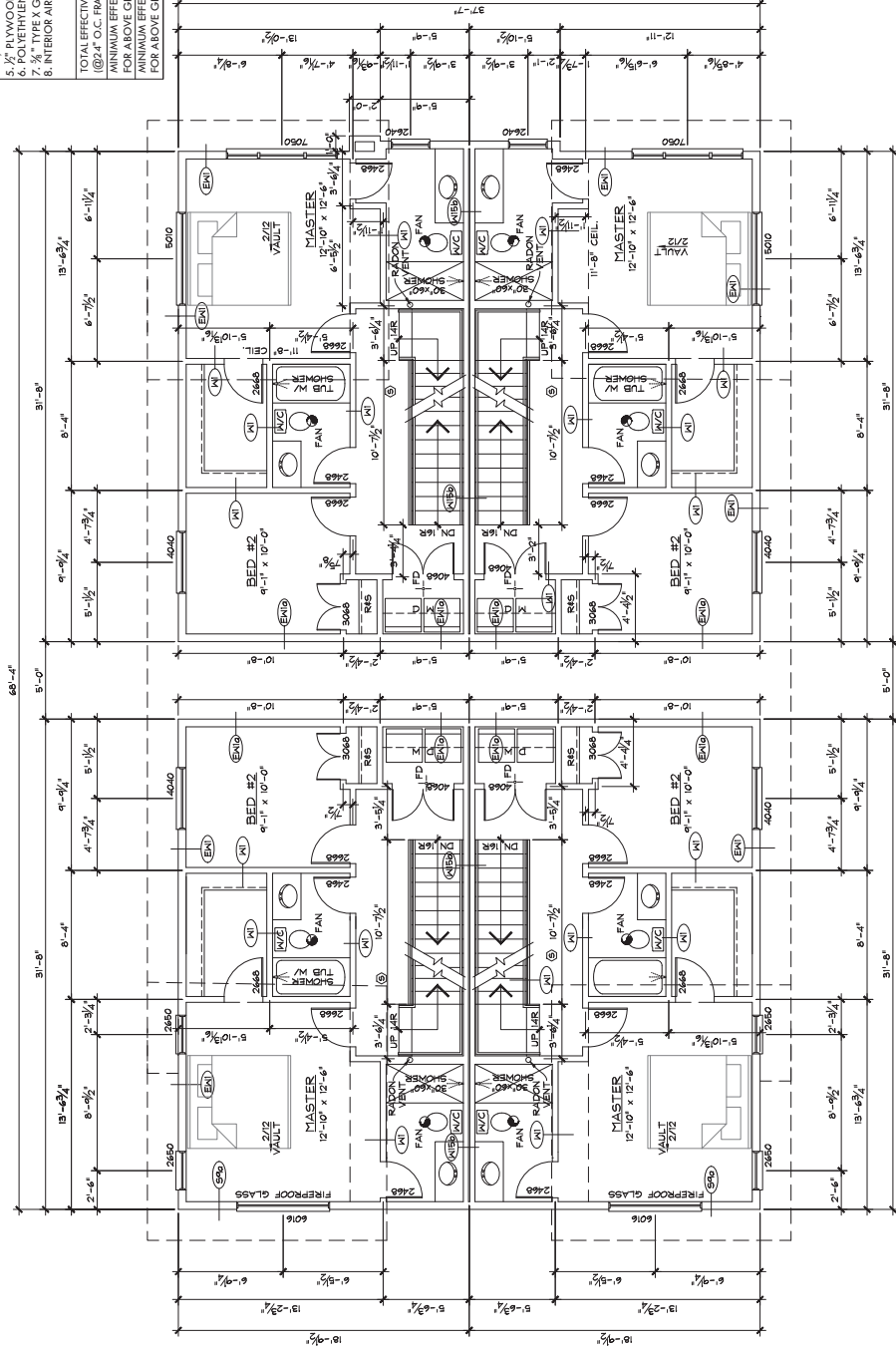


ABOVE GRADE WALL ASSEMBLY (HARD SIDING)

DESCRIPTION	NOMINAL	EFFECTIVE
R-24 BATT INSULATION IN 2x6 WOOD FRAMING @ 24" O.C.	RSI 4.23 (R-15.1)	
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL		
1. EXTERIOR AIR FILM	0.03	0.17
2. HARD SIDING	0.03	0.11
3. BUILDING PAPER	0.00	0.00
4. 1/2" GYPSUM BOARD	0.05	0.05
5. 1/2" X 1/2" WOOD SHEATHING	0.11	0.63
6. POLYETHYLENE	0.00	0.00
7. 3/8" TYPE X GYPSUM WALL BOARD	0.099	0.56
8. INTERIOR AIR FILM	0.12	0.68
TOTAL EFFECTIVE INSULATION VALUE (@24" O.C. FRAMING)		RSI 4.42 (R-17.24)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS W/ HRV		RSI 2.97 (R-16.86)
MINIMUM EFFECTIVE THERMAL RESISTANCE FOR ABOVE GRADE WALLS		RSI 3.08 (R-17.49)

ROOF ASSEMBLY - CATHEDRAL CEILINGS

DESCRIPTION	NOMINAL	EFFECTIVE
R-50 BATT INSULATION IN ENG. TRUSS @ 24" O.C.	RSI 8.8 (R-50.0)	
OTHER BUILDING ENCLOSURE LAYERS CONTRIBUTE TO EFFECT INSUL		
1. INTERIOR AIR FILM	0.12	0.68
2. 1/2" GYPSUM BOARD	0.08	0.45
3. 1/2" SHEATHING	0.00	0.00
4. ROOF FINISH	0.00	0.00
TOTAL EFFECTIVE INSULATION VALUE (@24" O.C. FRAMING)		RSI 9.12 (R-51.73)
MINIMUM EFFECTIVE THERMAL RESISTANCE W/ HRV		RSI 4.67 (R-26.5)
MINIMUM EFFECTIVE THERMAL RESISTANCE		RSI 4.67 (R-26.5)



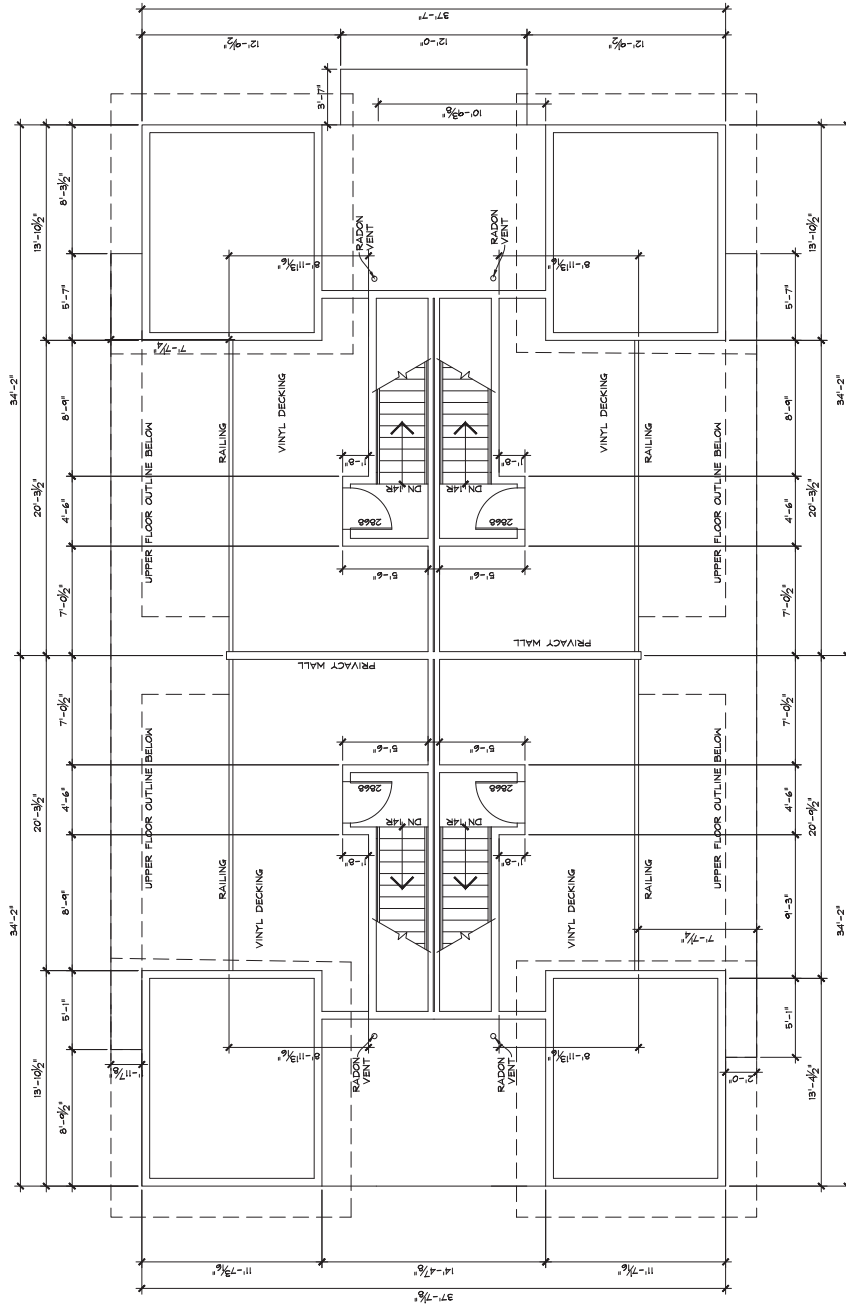
BLDG 'A'  
996 SF (92.6m2)  
498 SF (46.3m2)/UNIT

BLDG 'B'  
996 SF (92.6m2)  
498 SF (46.3m2)/UNIT

'Rose Avenue Project'  
861 ROSE AVE. KEDOWNA, BC

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ketownm6@gmail.com

SCALE: 1/4"=1'-0"  
DATE: APR 23/17  
SHEET NO. **A4**  
UPPER FLOOR PLAN



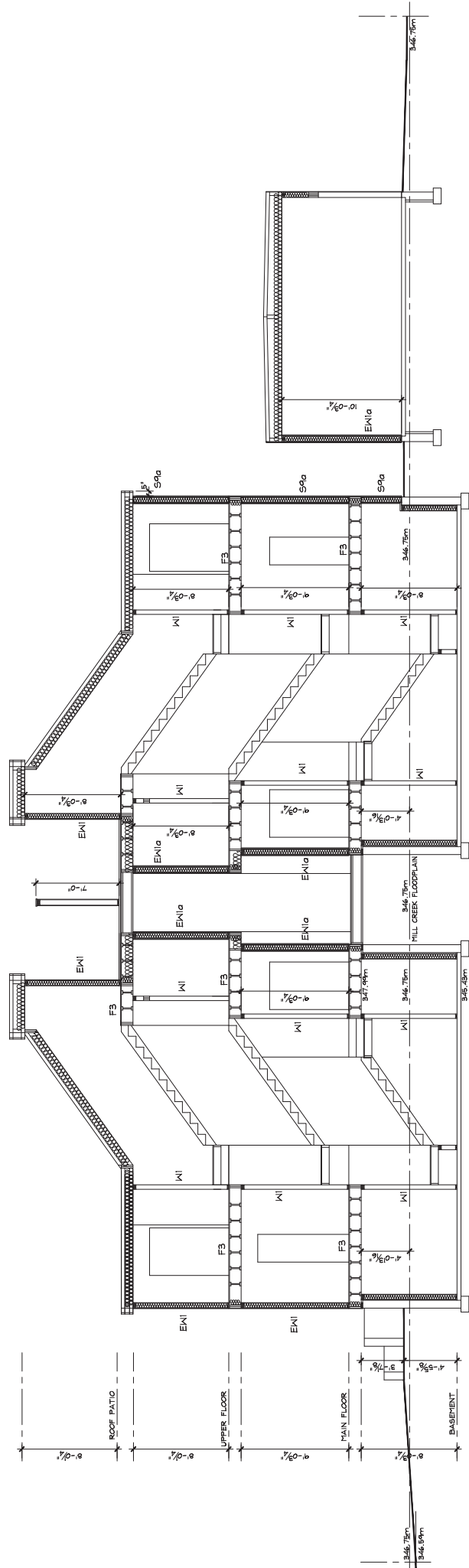
ROOF PATIO  
213 SF (19.87 m<sup>2</sup>)/UNIT



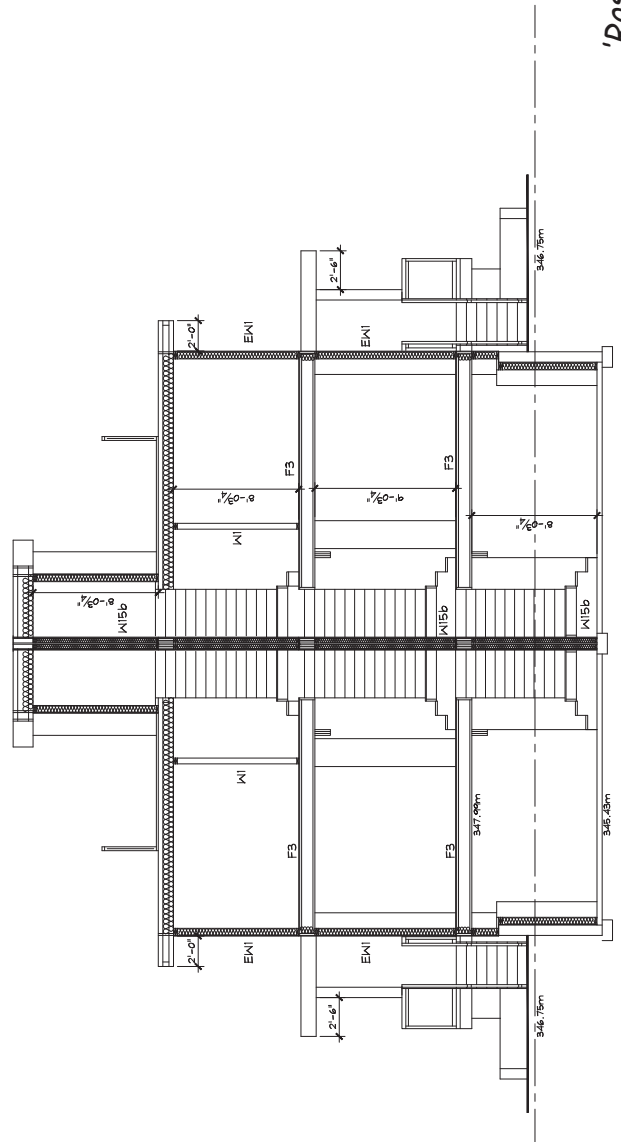
'Rose Avenue Project'  
861 ROSE AVE, KELLOWNA, BC

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SCALE: 1/4"=1'-0"  
DATE: APR 23/17  
ROOF PLAN  
SHEET NO. **A5**



SECTION 'A-A'

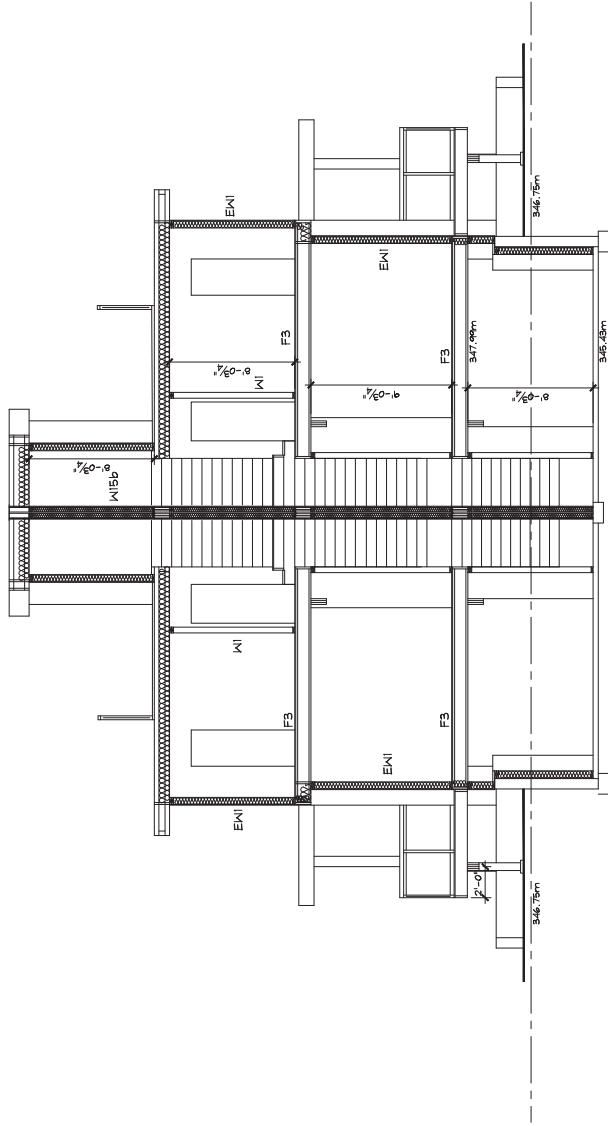


SECTION 'B-B'

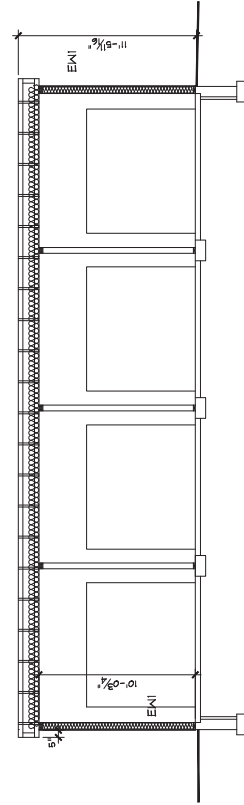
<b>TGM</b> Drafting & Design Tom Masters Kelowna, BC (250)372-2446 kelowna6@gmail.com	SCALE: 1/4"=1'-0"	SHEET NO. <b>A8</b>
	DATE: APR 23/17	SECTIONS

'Rose Avenue Project'  
861 ROSE AVE, KELOWNA, BC





SECTION 'C-C'



SECTION 'D-D'

**WALL TYPES**

- K1** 38 MM X 89 MM STUDS SPACED 400 MM OR 600 MM O.C. WITH OR WITHOUT ABSORPTIVE MATERIAL  
1 LAYER OF GYPSUM BOARD ON EACH SIDE
- K15** TWO ROWS 38 MM X 89 MM STUDS, EACH SPACED 400 MM WITH OR WITHOUT ABSORPTIVE MATERIAL  
SEPARATE 25 MM X 64 MM PLATES SET 25 MM APART  
WITH OR WITHOUT ABSORPTIVE MATERIAL  
2 LAYERS OF GYPSUM BOARD ON EACH SIDE
- K15B** K15 WITH THICK ABSORPTIVE MATERIAL ON EACH SIDE  
12.7 MM TYPE X GYPSUM BOARD 1 H
- E-NI** 38 MM X 140 MM STUDS SPACED 400 MM OR 600 MM O.C.  
89 MM THICK ABSORPTIVE MATERIAL  
1 LAYER OF 13 MM GYPSUM BOARD ON INSIDE  
EXTERIOR SHEATHING AND SIDING
- F3** SUBFLOOR OF 15.5 MM PLYWOOD, OSB OR MAFERBOARD, WITH OR WITHOUT ABSORPTIVE MATERIAL  
ON WOOD JOISTS CHANGE BEGINOR WOOD I-JOISTS CHANGE END SPACED NOT MORE THAN 600 MM O.C.  
WITH OR WITHOUT ABSORPTIVE MATERIAL IN CAVITY  
1 LAYER OF GYPSUM BOARD ON CEILING SIDE
- S-3** 81 MM X 163 MM STEEL STUDS SPACED 400 MM OR 600 MM O.C.  
2 LAYERS OF 12.7 MM TYPE X GYPSUM BOARD ON EACH SIDE  
150 MM THICK ABSORPTIVE MATERIAL

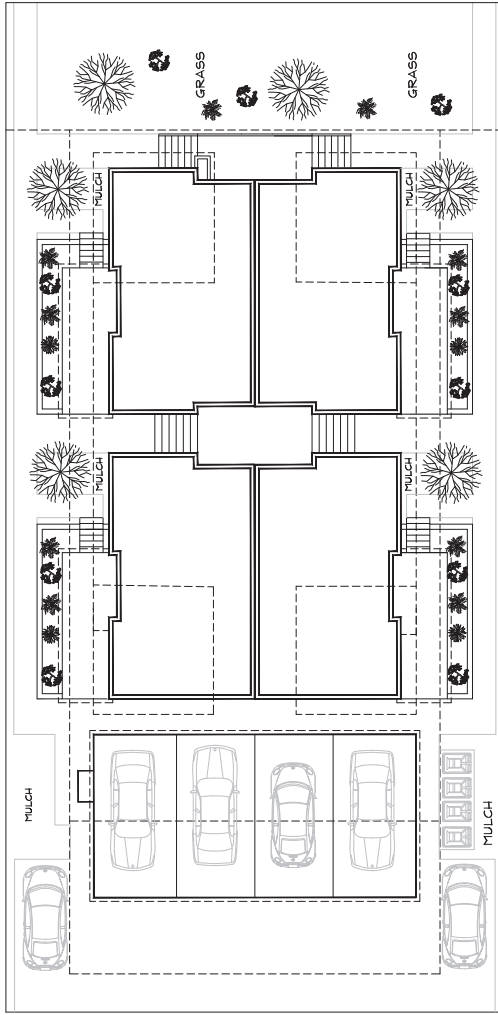
<b>TGM</b> Drafting & Design Tom Masters Kelowna, BC (250)372-2446 kelowna6@gmail.com	SCALE 1/4"=1'-0"	SHEET NO. <b>A9</b>
	DATE APR 23/17	SECTIONS

*'Rose Avenue Project'*  
861 ROSE AVE, KELOWNA, BC







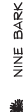


LOT INFORMATION

PROPOSED RMI  
 ZONING RUM  
 LEGAL DESCR. PLAN 61/2  
 CIVIC ADDRESS 861 ROSE AVE.



JAPANESE MAPLE



SMALL PLANTS AND FLOWERS  
 WILL BE ADDED TO PLANTING BEDS

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'Rose Avenue Project'  
 861 ROSE AVE, KELOWNA, BC

SCALE 1/8"=1'-0"  
 DATE APR 23/17  
 LANDSCAPE PLAN  
 SHEET NO. L1