
CITY OF KELOWNA
MEMORANDUM

ATTACHMENT A

This forms part of application
Z17-0023



City of
Kelowna
COMMUNITY PLANNING

Planner
Initials AC

Date: April 13, 2017
File No.: Z17-0023

To: Community Planning (AC)

From: Development Engineering Manager(SM)

Subject: 1360 Belaire Ave

RU6 to RM5

The Development Engineering Department has the following comments and requirements associated with this rezoning application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Sergio Sartori

1. Domestic Water and Fire Protection

- (a) The subject property is currently serviced with a 13mm and a 19mm diameter water services. The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant requirements and service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the disconnection of existing services and the installation of a new service if necessary.
- (b) It is apparent that the existing 150mm diameter watermain within Belaire Avenue is substandard and will not support this development. The applicant, at his cost, will arrange for upgrading ~55m of waterman and the installation of a fire hydrant and one new larger water service. The estimated cost of this construction for bonding purposes is **\$76,000.00**.

2. Sanitary Sewer

- (a) The subject property is currently serviced with 100mm-diameter substandard sanitary service. The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs. Only one service will be permitted for this development. The applicant, at his cost, will arrange for the removal and disconnection of the existing services and the installation of one new larger service. The estimated cost of this construction for bonding purposes is **\$12,000.00**.

3. Storm Drainage

The developer must engage a consulting civil engineer to provide a storm water management plan for these sites which meets the requirements of the City Subdivision Development and Servicing Bylaw 7900. The storm water management plan must also include provision of lot grading plans, minimum basement elevations (MBE), if applicable, and provision of a storm drainage service and recommendations for onsite drainage containment and disposal systems.

The lot is not serviced with storm sewer service. Only one service will be permitted for this development. Storm drainage systems for the site will be reviewed and approved by Engineering when design drawings are submitted.

4. Road Improvements

- (a) Belaire Ave must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, sidewalk replacement, drainage system including catch basins, manholes and pavement removal and replacement, fillet pavement, boulevard landscaping, street lighting and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. The estimated cost of this construction for bonding purposes is **\$38,000.00**
- (b) Harvey Ave adjacent to this development site will require curb and gutter to meet current standards. The cash in lieu of construction cost is **\$3,000.00**

5. Road Dedication and Subdivision Requirements

- (a) Grant statutory rights-of-way if required for utility services.

6. Electric Power and Telecommunication Services

- a) The electrical services to this development must be installed in an underground duct system, and the building must be connected by an underground service. Existing distribution and service connections, on that portion of a road immediately adjacent to the site, are to be relocated and installed underground as this site is located within the Capri Landmark urban town centre.
- b) It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services which would be at the applicant's cost.

8. Design and Construction

- (a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- (b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- (c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- (d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- (e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Development Engineering Department. The design



drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

9. Servicing Agreements for Works and Services

- (a) A Servicing Agreement is required for all offsite works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- (b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

10. Other Engineering Comments

- (a) Provide all necessary Statutory Rights-of-Way for any utility corridors as required.
- (b) If any road dedication affects lands encumbered by a Utility right-of-way (such as Terasen, etc.) please obtain the approval of the utility prior to application for final subdivision approval. Any works required by the utility as a consequence of the road dedication must be incorporated in the construction drawings submitted to the City's Development Manager.
- (c) The City wishes to defer the upgrades to Harvey Ave fronting this development. Therefore, cash-in-lieu of immediate construction is required and the City will initiate the work later, on its own construction schedule.

Item	Cost
Curb &Gutter	\$ 3,000.00

(d) Bonding

Water service upgrade	\$76,000.00
Sanitary service upgrade	\$12,000.00
Road Frontage Improvements	\$38,000.00

Total Bonding **\$126,000.00**

NOTE: The bonding amounts shown above are comprised of estimated construction costs escalated by 140% to include engineering design and contingency protection and are provided for information purposes only. The owner should engage a consulting civil engineer to provide detailed designs and obtain actual tendered construction costs if he wishes to do so. Bonding for required off-site construction must be provided, and may be in the form of cash or an irrevocable letter of credit, in an approved format. The owner must also enter into a servicing agreement in a form provided by the City.

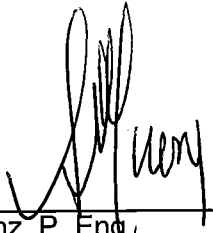
e) Administration Charge

An administration charge will be assessed for processing of this application, review and approval of engineering designs and construction inspection. The administration charge is calculated as (3.5% of Total Off-Site Construction Cost plus GST).

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 City of Kelowna COMMUNITY PLANNING	

11. Development Permit and Site Related Issues

- (a) The proposed parking stalls must meet the zoning bylaw requirements.
- (b) Access and Manoeuvrability
 - (i) An MSU standard size vehicle must be able to manoeuvre onto and off the site without requiring a reverse movement onto public roadways. If the development plan intends to accommodate larger vehicles movements should also be illustrated on the site plan.



Steve Muenz, P. Eng.
Development Engineering Manager

SS

ATTACHMENT		A
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# Z17-0023		
Planner Initials	AC	 City of Kelowna COMMUNITY PLANNING

Proposal for Rezoning & Development Permit 1360 Belaire Ave

ATTACHMENT B

This forms part of application
Z17-0023

Planner Initials **AC**

City of Kelowna
COMMUNITY PLANNING

Introduction

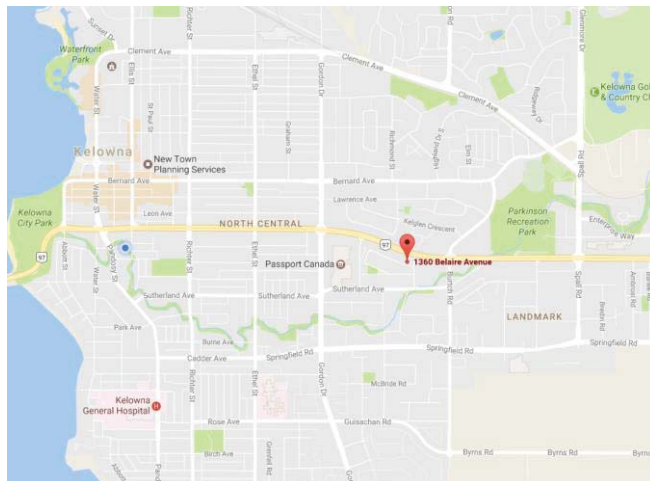
This application is for re-zoning and development permit to accommodate a 17 unit multi-residential building located at 1360 Belaire Ave. This infill project is a very unique structure with contemporary architectural design and no variances.



Site Context

The subject site consists of a single lot roughly 0.24 acres in size that is located between Belaire Ave and Harvey Ave (Hwy97).

The property is zoned RU6, Two Dwelling Housing. The Future Land Use Designation is Medium Density Multiple Residential, as prescribed by the City of Kelowna OCP.



Site Location
Source: Google Map



Site Context
Source: Kelowna City Map

Overview

The owner is aiming to rezone the property to RM5, Medium Density Multiple Housing, and undertake a Development Permit to facilitate the construction of a 17 unit multi-residential building. The units in this building are anticipated to be primarily rental micro-units, with a single studio caretaker unit. In accordance with Section 9.11 in the City of Kelowna Zoning Bylaw, this project is well within 400m of several bus stops and is within the Capri/Landmark Urban Center, so is thus eligible to provide micro suites under the RM5 Zone.

The structure has been designed with significant contemporary influence and hosts sharp, clean lines like many other modern Okanagan buildings. The use of earth tones and wood textures is intended make the building appear friendly and warm. Exterior materials consist of wood toned fiber cement siding, stucco, and concrete. These high quality materials will create a durable and low maintenance building. The RM5 setback increases above 2 storeys which creates the opportunity for generously sized decks on this level. Additional amenity space is provided at-grade in a semi-private landscaped seating area adjacent to the building.



Parking is provided at-grade below the building and is screened from view of the street and neighboring properties. Screening will be provided by a fully opaque fence around the property, which will also serve as noise mitigation. All parking is setback a min of 1.5m from property boundaries. This 1.5m will be provided as a landscaped buffer with low shrubs and grasses to create a more inviting parking environment than a typical underground condo structure. Bike parking will be provided in excess of Zoning Bylaw requirements and will consist of outdoor bike racks and a locked room.

This property hosts many mature trees that are to be preserved and integrated into the design. There is a dense band of trees at rear of the property that serve as a buffer to Harvey Ave. These trees will be retained to dampen the noise and visual impact created by the Highway. Additionally, there are several large trees at the front of the property that will remain. These trees will enhance the street interface and create a feeling of the building being “tucked within” a small forest.



Conclusion

While smaller than many multi-family development projects in Kelowna, this building still makes excellent use of the site and fits within the RM5 zone with **no variances required**. The City of Kelowna has identified the need to increase density within existing single family neighborhoods by encouraging infill housing. Infill housing is a key tool to combat sprawl and low rental vacancy rates within the city. In keeping with that principle, this project will provide 17 much needed rental units within the landmark neighborhood. Furthermore, the rezoning to RM5 matches the intent of the City of Kelowna OCP Land Use Designation of Medium Density Multiple Residential. The combination of appropriate land use, the provisions of needed rental stock, and retention of existing trees makes this an appropriate infill project. The applicant requests support from staff and council for this application.



NOT FOR CONSTRUCTION

BELAIRE AVENUE CONDOMINIUM

BELAIRE AVE, KELOWNA, B.C.



ZONING BYLAW SUMMARY		
	REQUIRED	PROPOSED
ZONE:	RM5	RM5
PERMITTED USE:	MEDIUM DENSITY MULTIPLE HOUSING	MEDIUM DENSITY MULTIPLE HOUSING
MAXIMUM FLOOR AREA RATIO:	1.1	0.60
MAXIMUM SITE COVERAGE:	40 %	34 %
MAXIMUM SITE COVERAGE OF BUILDINGS, DRIVEWAYS & PARKING:	65 %	62 %
MAXIMUM HEIGHT:	18 m OR 4.5 STOREYS	13.4 m OR 4.0 STOREYS
MINIMUM FRONT SETBACK:	6.0m (BELAIRE AVENUE)	6.0 m
MINIMUM SIDE SETBACK (BELOW 2.5 STOREYS):	4.5 m	4.5 m
MINIMUM SIDE SETBACK (ABOVE 2.5 STOREYS):	7.0 m	7.0 m
MINIMUM REAR SETBACK:	9.0 m	9.0 m

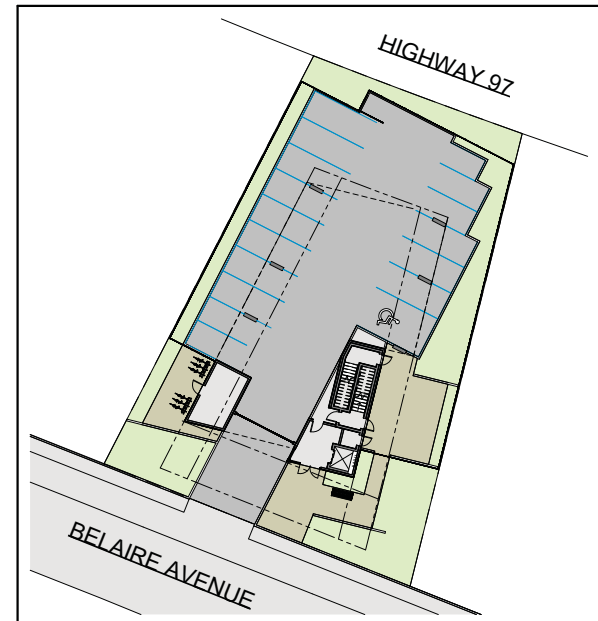
ARCHITECTURAL:

NEWTOWN ARCHITECTURE & ENGINEERING
1464 ST. PAUL STREET KELOWNA, B.C. V1Y 2E6
PH: 250-860-8185

A0.00	COVER SHEET & DWG LIST
A2.00	SITE PLAN
A2.01	BUILDING IMAGES
A2.02	BUILDING IMAGES
A2.03	BUILDING IMAGES
A3.01	LEVEL 1 FLOOR PLAN
A3.02	LEVEL 2 FLOOR PLAN
A3.03	LEVEL 3 FLOOR PLAN
A3.04	LEVEL 4 FLOOR PLAN
A3.05	ROOF PLAN
A3.06	LEVEL 2 UNIT PLANS
A3.07	LEVEL 2 UNIT PLANS
A3.08	LEVEL 3 & 4 UNIT PLANS
A3.09	LEVEL 3 & 4 UNIT PLANS
A4.01	BUILDING ELEVATIONS
A4.02	BUILDING ELEVATIONS
A5.00	BUILDING SECTIONS

BUILDING/SITE SUMMARY

PROPERTY #1	
CIVIC ADDRESS:	1360 BELAIRE AVENUE, KELOWNA BC
LEGAL DESCRIPTION:	LOT 34 DISTRICT LOT 137 COVD PLAN 10011, PID # 005-193-851
SITE AREA: 951.69 m ²	
PROPOSED NET FLOOR AREA:	571.1 m ²
PARKADE AREA:	481.5 m ²
FLOOR AREA RATIO (FAR):	571.1 / 951.69 = 0.60
PRIVATE OPEN SPACE SUMMARY:	
BACHELOR (7.5m ² EACH)	17 UNITS
TOTAL REQUIRED:	± 127.5 m ² ± 127.5 m ²
PRIVATE OPEN SPACE PROPOSED:	± 1451.28 SF (134.83m ²)
PARKING: NOTE VARIANCE REQUIRED	
REQUIRED:	
1 STALL PER DWELLING UNIT:	17 STALLS
TOTAL REQUIRED PARKING:	17 STALLS
PROVIDED:	
ABOVE GROUND PARKING:	TOTAL PROVIDED: 17 STALLS
BICYCLE PARKING	
APARTMENT REQUIRED	
CLASS I - 0.5 PER DWELLING UNIT: 9.5	TOTAL PROVIDED CLASS I: 10
CLASS II - 0.1 PER DWELLING UNIT: 1.9	TOTAL PROVIDED CLASS II: 6



KEYPLAN

ALL CONTRACTORS ARE REQUIRED TO PERFORM THEIR WORK AND SUPPLY THEIR PRODUCTS IN COMPLIANCE WITH ALL BUILDING CODES AND LAWS OF THE PROVINCE OF BRITISH COLUMBIA.

This drawing is an instrument of service and the property of Newtown Architecture & Engineering. The use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use.

This drawing must not be scaled.

Verify all dimensions and details prior to commencement of work.

Report all errors and omissions to the Architect.



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SEAL

Revisions

No	Date	Description
1	MAR 6, 2017	ISSUED FOR DP

project

**BELAIRE AVE
CONDOMINIUM**

project address

**BELAIRE AVE, KELOWNA,
BC**

project no. 4010

file

**COVER SHEET
& DWG LIST**

designed: ☐ notes: ☐ as indicated

drawn: ☐ J.F.

checked: ☐ R.Y.

drawing no.

A0.00

print: NOV 28, 2016

ATTACHMENT B

This forms part of application
Z17-0023

Planner
Initials

AC



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BELAIRE AVE CONDOMINIUM

project address
BELAIRE AVE, KELOWNA, BC

project no. 4010

file

drawing title
SITE PLAN

designed: [] scale: 1:100

drawn: []

checked: []

drawing no. []

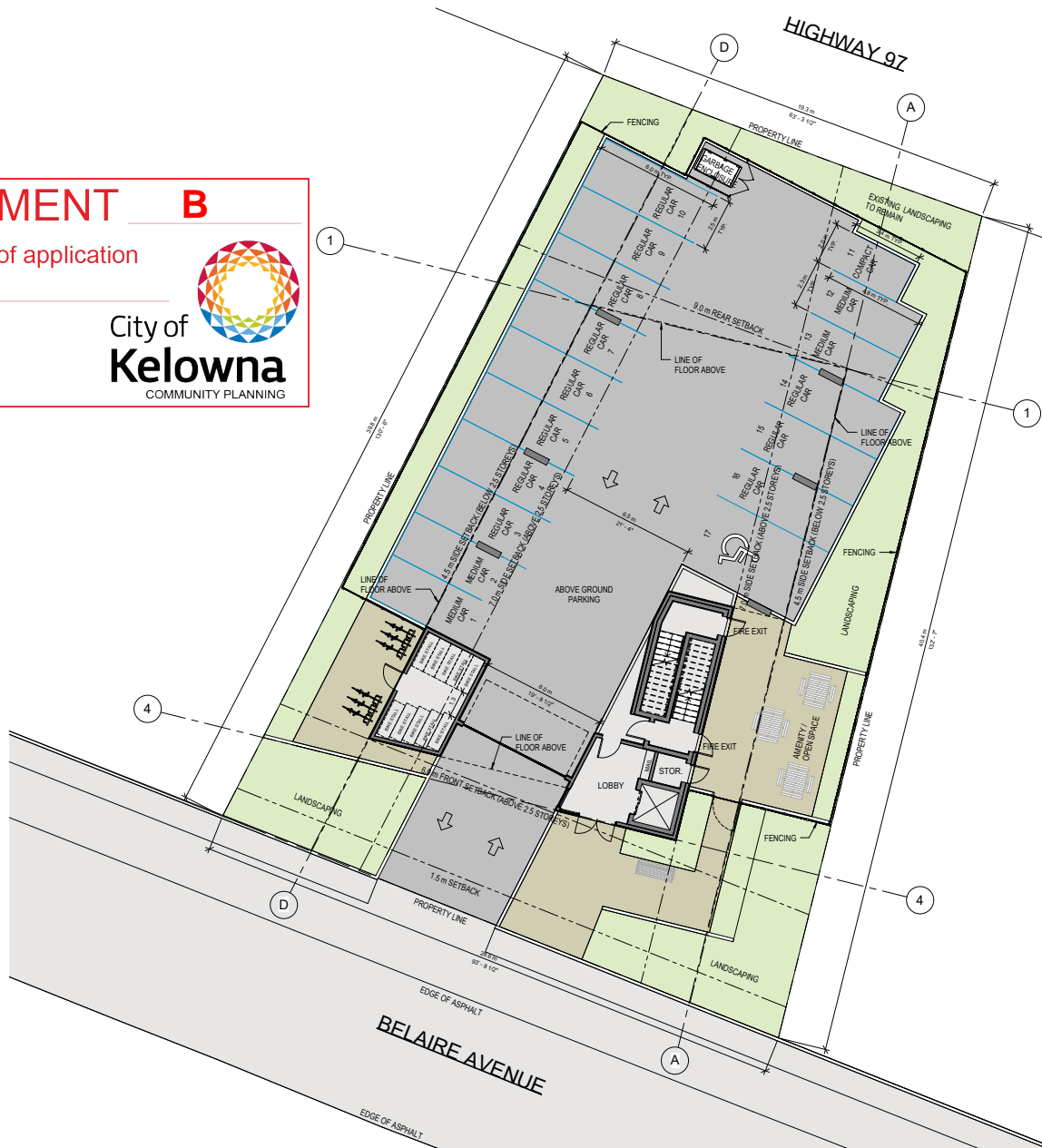
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print: NOV 28, 2016

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1 SITE PLAN
A4.01/ 1:100

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project
BELAIRE AVE CONDOMINIUM

project address
BELAIRE AVE, KELOWNA, BC

project no. 4010

file

drawing title
BUILDING IMAGES

designed by []

drawn by J.F.

checked by R.Y.

drawing no. **A2.01**

print NOV 28, 2016

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project
BELAIRE AVE CONDOMINIUM

project address
BELAIRE AVE, KELOWNA, BC

project no. 4000

file

drawing title
BUILDING IMAGES

designed by

drawn by J.F.

checked by R.Y.

drawing no. **A2.02**

print NOV 28, 2016

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project
BELAIRE AVE CONDOMINIUM

project address
BELAIRE AVE, KELOWNA, BC

project no. 4000

file

drawing title
BUILDING IMAGES

designed by

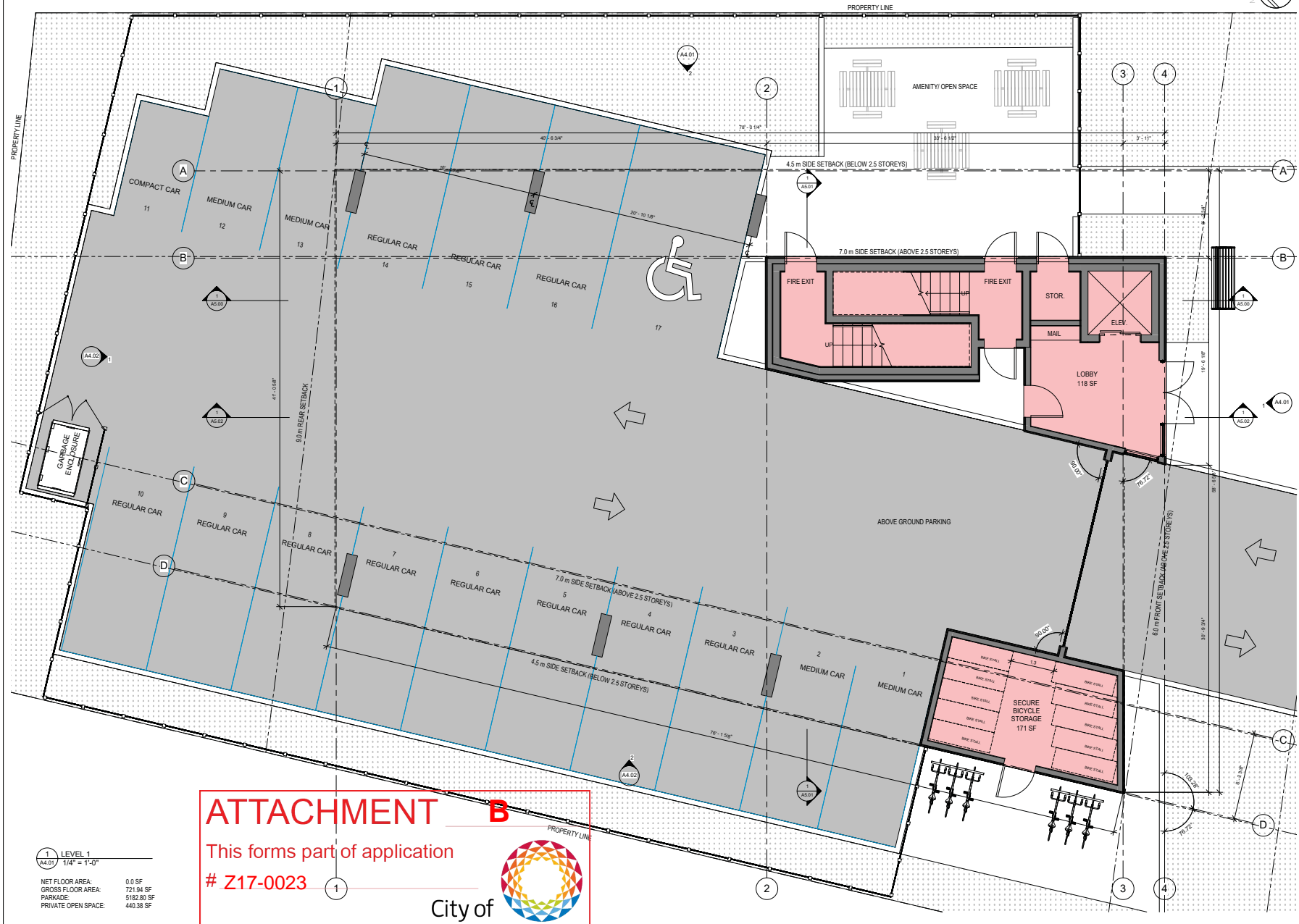
drawn by J.F.

checked by R.Y.

drawing no.
A2.03

print NOV 28, 2016

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Revisions	No	Date	Description
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project
BELAIRE AVE CONDOMINIUM

project address
BELAIRE AVE, KELOWNA, BC

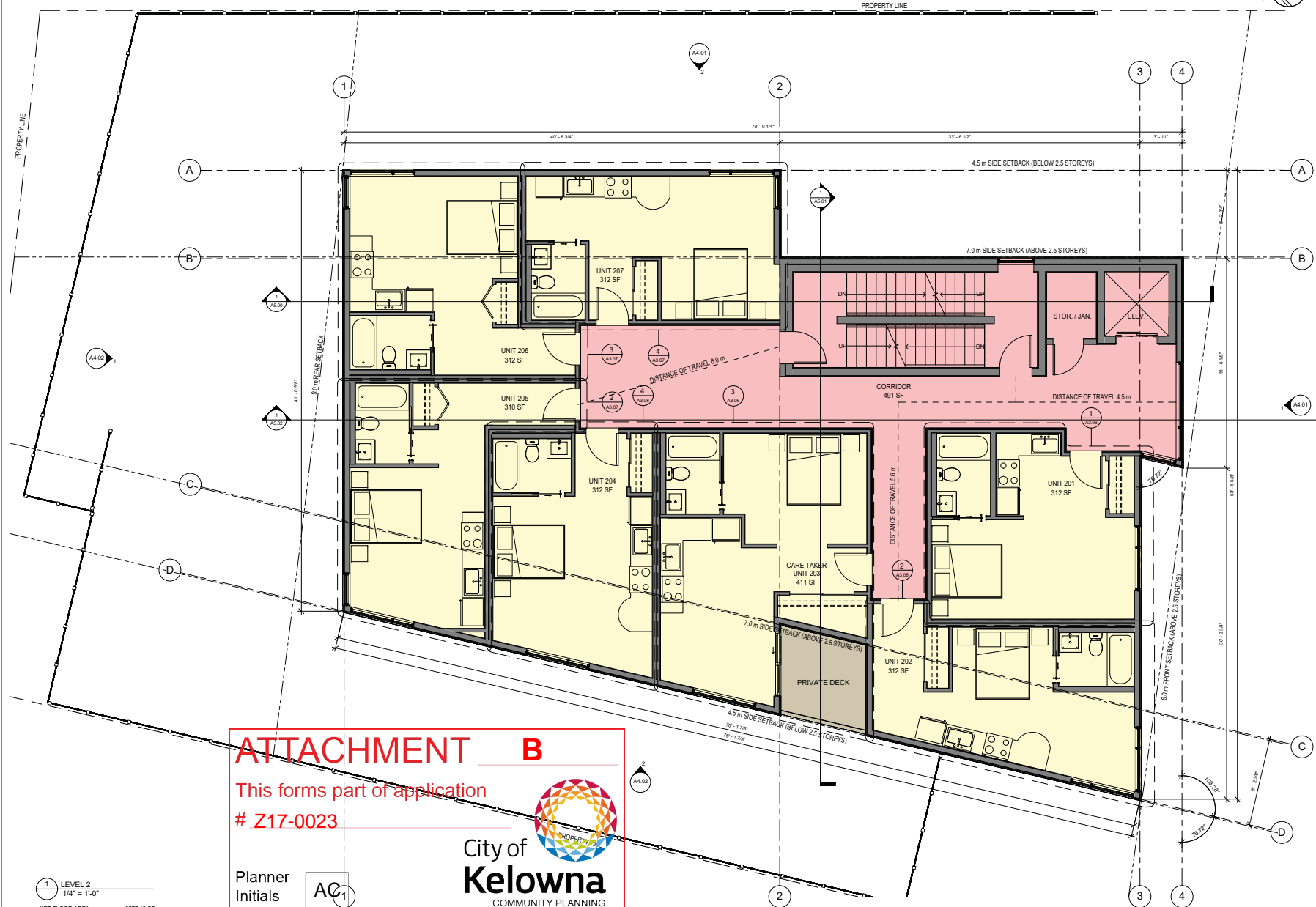
project no. 4010

file
LEVEL 1 FLOOR PLAN

designed: JF
drawn: JF
checked: R.Y.
drawing no.
A3.01

print: NOV 28, 2016

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project
BELAIRE AVE CONDOMINIUM

project address
BELAIRE AVE, KELOWNA, BC

project no. **4010**

file

drawing title
LEVEL 2 FLOOR PLAN

designer

drawn

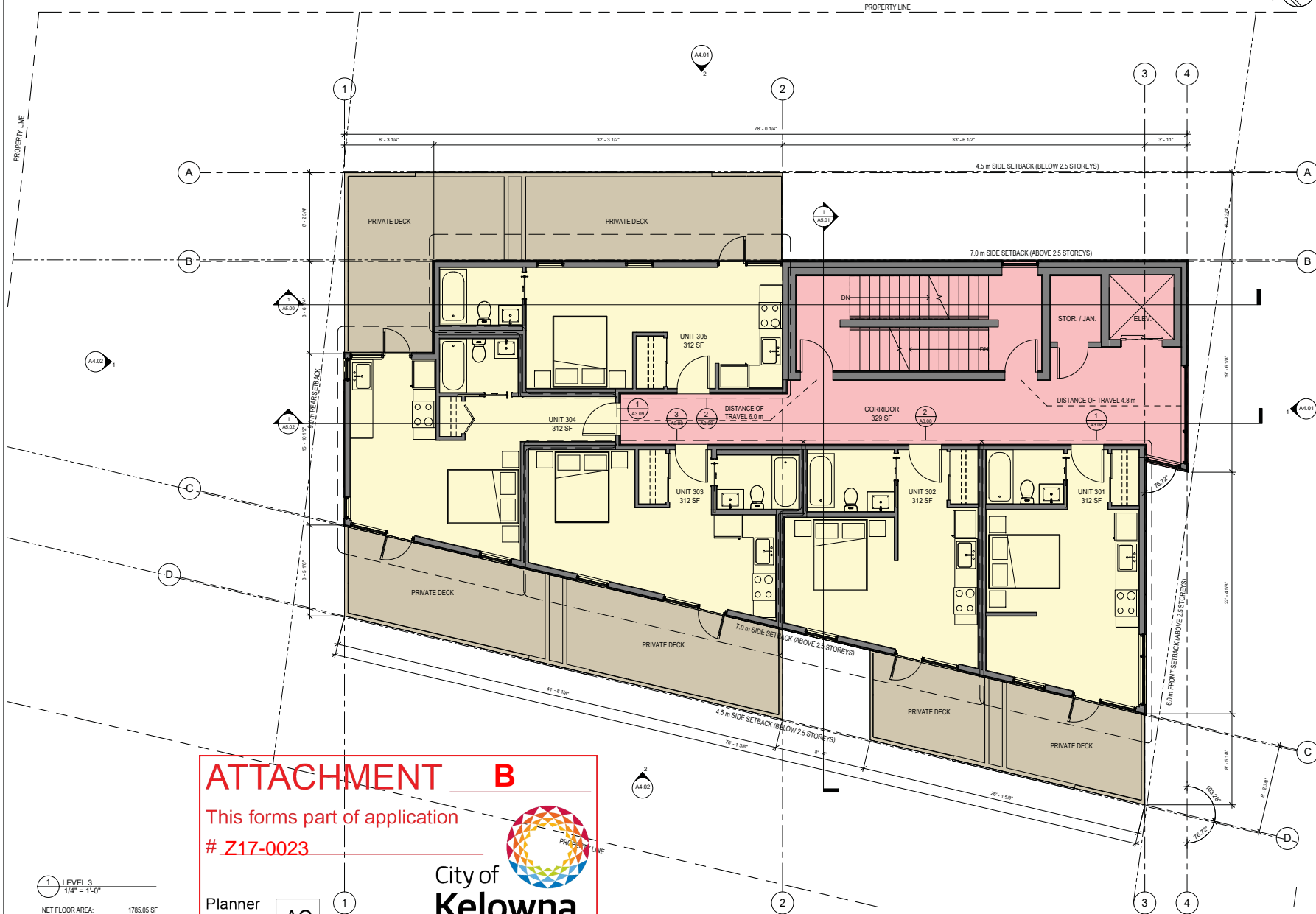
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BELAIRE AVE CONDOMINIUM

project address
BELAIRE AVE, KELOWNA, BC

project no. **4010**

the
LEVEL 3 FLOOR PLAN

drawing title

designer
check
drawn
drawing no.

scale
1/4" = 1'-0"

date
J.F.

rev.
R.Y.

A3.03

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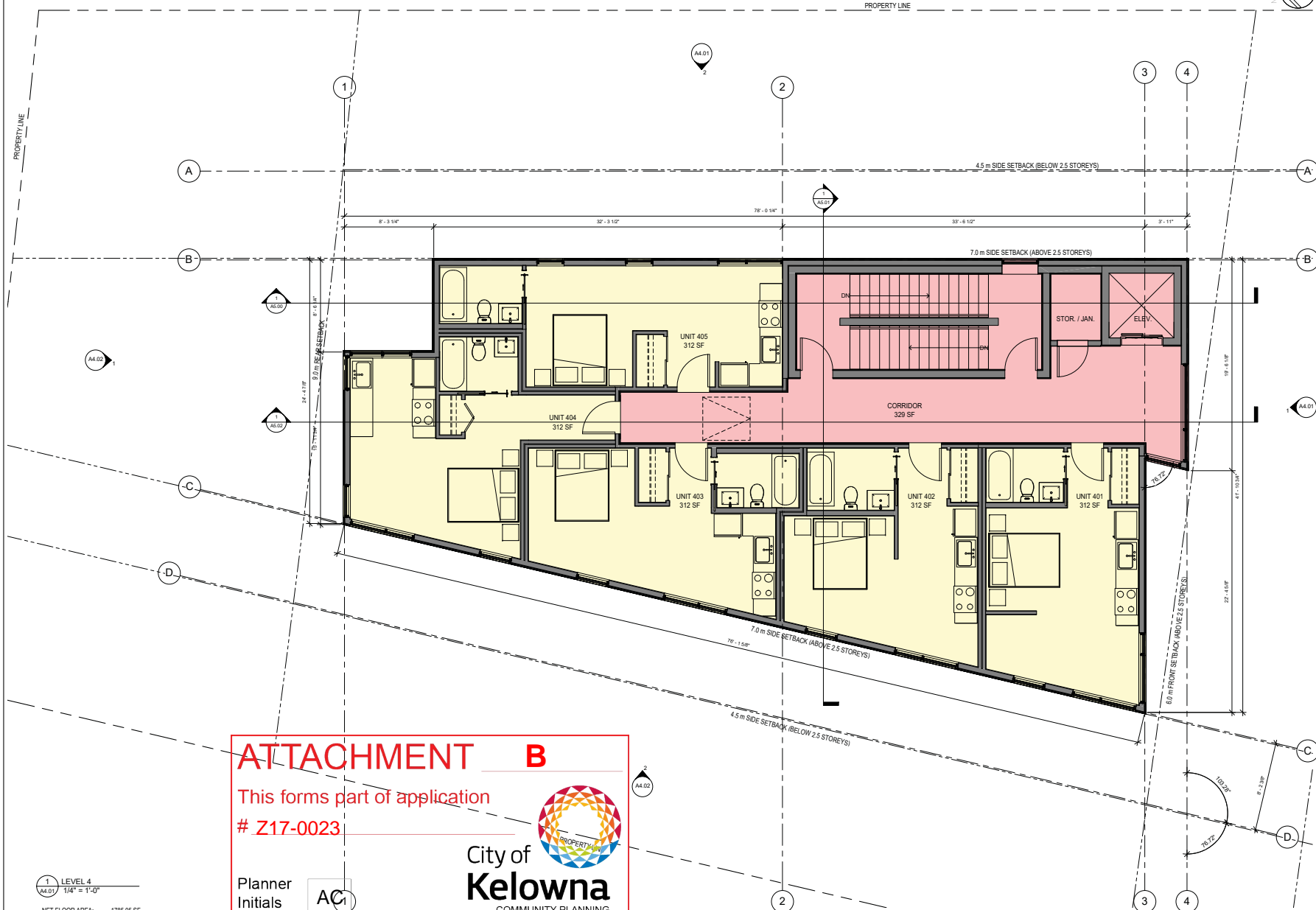
Planner Initials **AC**

City of Kelowna
COMMUNITY PLANNING

1 LEVEL 3
1/4" = 1'-0"

NET FLOOR AREA: 1785.05 SF
GROSS FLOOR AREA: 2460.39 SF
PRIVATE OPEN SPACE: 945.64 SF

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City of
Kelowna
COMMUNITY PLANNING



1 LEVEL 4
A4.01 1/4" = 1'-0"

NET FLOOR AREA: 1785.05 SF
GROSS FLOOR AREA: 2400.39 SF
PRIVATE OPEN SPACE: 0.0 SF

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project
BELAIRE AVE CONDOMINIUM
project address
BELAIRE AVE, KELOWNA, BC
project no. **4010**
drawing title
LEVEL 4 FLOOR PLAN
designer
drawn
checked
drawing no.

A3.04

john NOV 28, 2016 04/03/2017 10:20:27 AM

This drawing must not be scaled
Verify all dimensions and datums prior to
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CONDOMINIUM**

project address
**BELAIRE AVE, KELOWNA
BC**

project no. 4010

file

drawing title
ROOF PLAN

designed	scale	1/4" = 1'-0"
drawn	J.F.	
checked		

A3.05

10/10/2016

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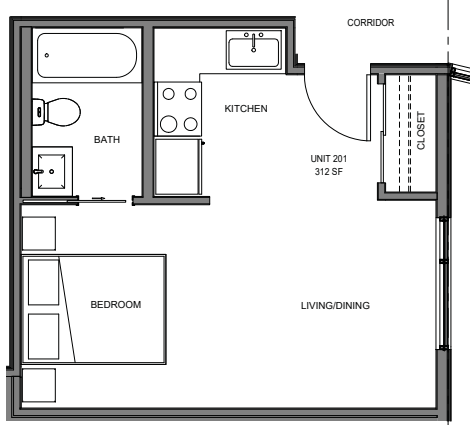


City of Kelowna
COMMUNITY PLANNING

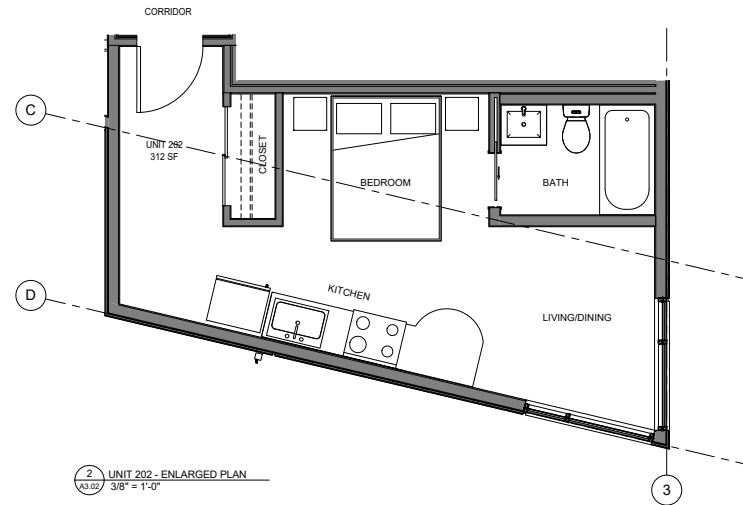
Planner Initials AC

1 ROOF PLAN
A4.01 1/4" = 1'-0"

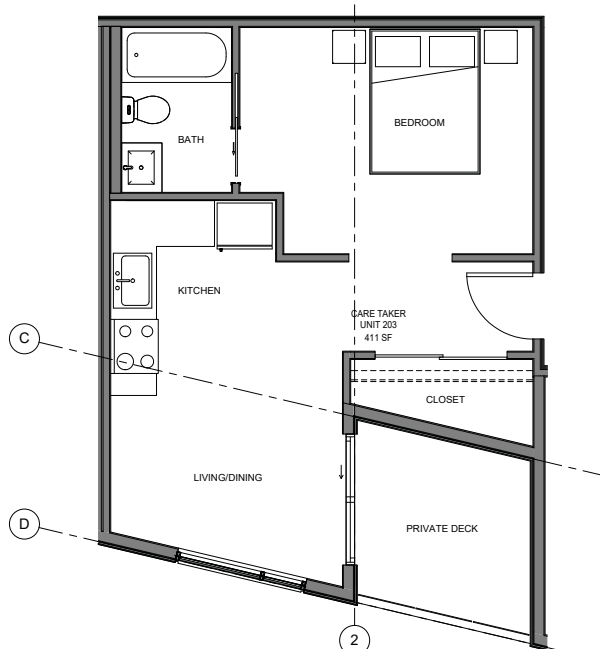
NOT FOR CONSTRUCTION



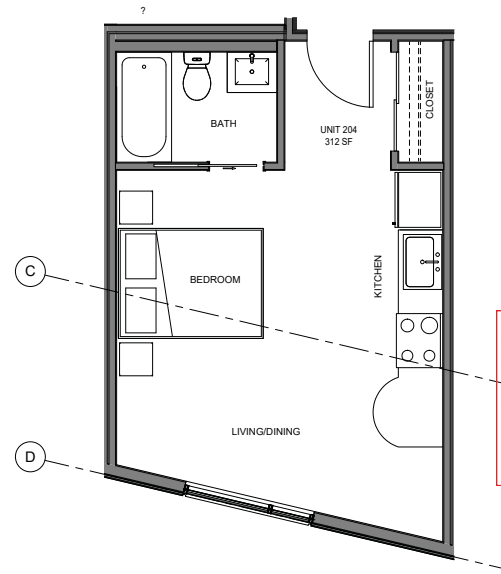
1 UNIT 201 - ENLARGED PLAN
A3.02 3/8" = 1'-0"



2 UNIT 202 - ENLARGED PLAN
A3.02 3/8" = 1'-0"



3 UNIT 203 (CARETAKER) - ENLARGED PLAN
A3.02 3/8" = 1'-0"



4 UNIT 204 - ENLARGED PLAN
A3.02 3/8" = 1'-0"

ATTACHMENT B
This forms part of application
Z17-0023

Planner
Initials AC



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SEAL

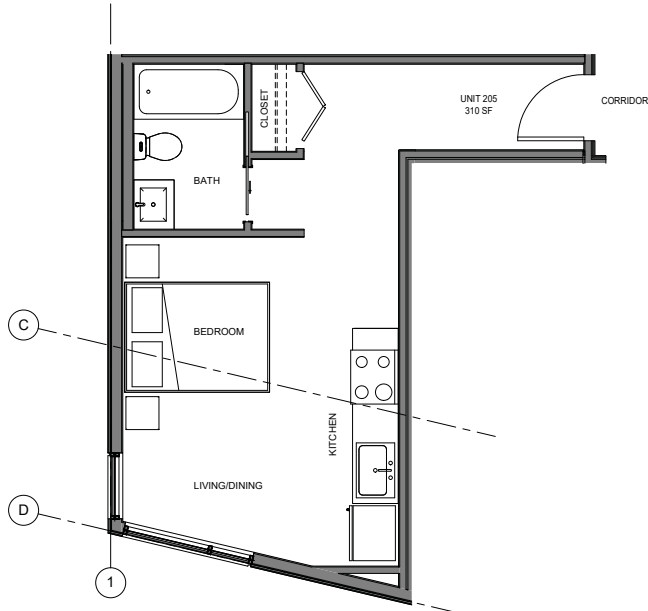
Revisions		
No	Date	Description
1	MAR 6, 2017	ISSUED FOR DP

project
BELAIRE AVE CONDOMINIUM
project address
BELAIRE AVE, KELOWNA, BC
project no. 4010
file
drawing title
LEVEL 2 UNIT PLANS

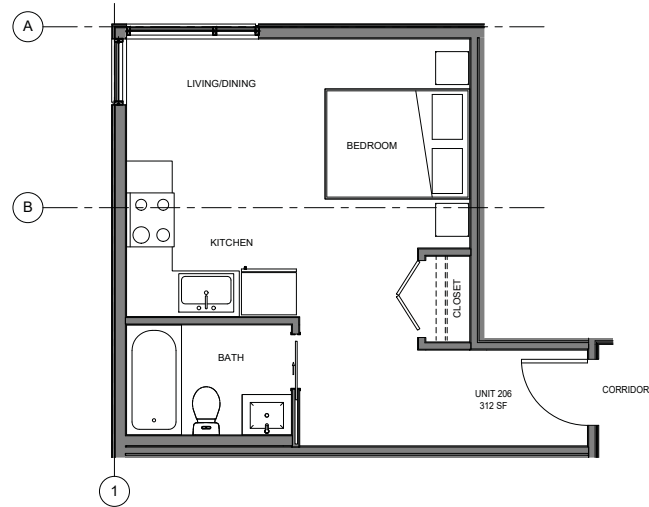
designed: [] scale: 3/8" = 1'-0"
drawn: J.F.
checked: R.Y.
drawing no.

A3.06
print: NOV 28, 2016

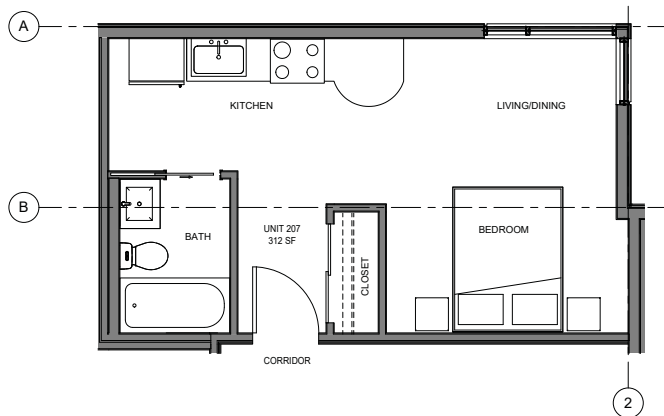
NOT FOR CONSTRUCTION



2 UNIT 205 - ENLARGED PLAN
A3.02 3/8" = 1'-0"



3 UNIT 206 - ENLARGED PLAN
A3.02 3/8" = 1'-0"



4 UNIT 207 - ENLARGED PLAN
A3.02 3/8" = 1'-0"

ATTACHMENT B

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Z17-0023

Planner
Initials

AC

**City of
Kelowna**
COMMUNITY PLANNING

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SEAL

Revisions		
No	Date	Description
1	MAR 6, 2017	ISSUED FOR DP

project
BELAIRE AVE CONDOMINIUM

project address
BELAIRE AVE, KELOWNA, BC

project no. 4010

file

drawing title
LEVEL 2 UNIT PLANS

designed: [] scale: 3/8" = 1'-0"

drawn: J.F.

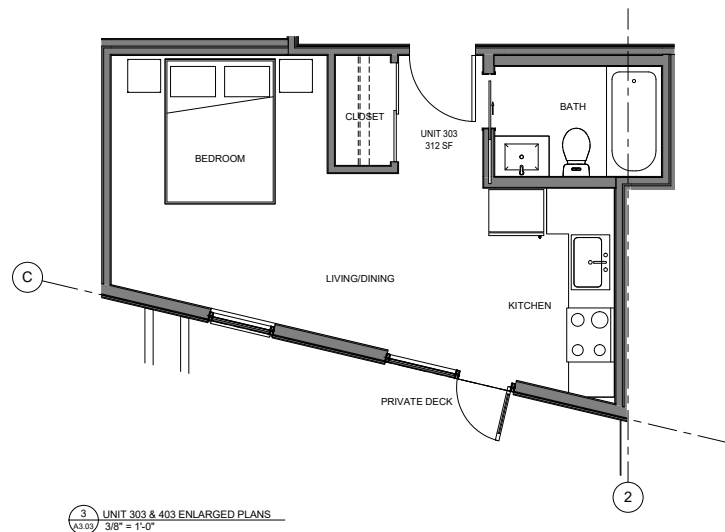
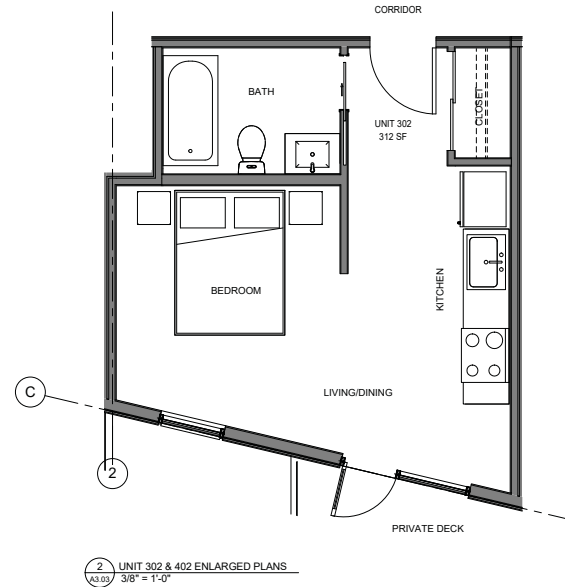
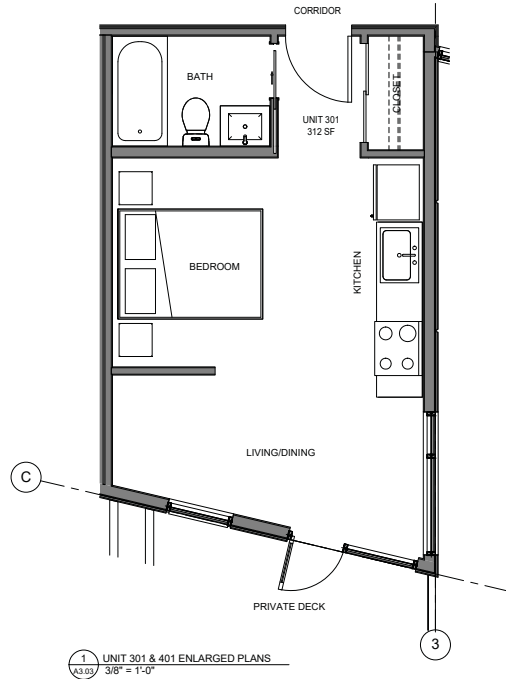
checked: R.Y.

drawing no.

A3.07

print: NOV 28, 2016

NOT FOR CONSTRUCTION



ATTACHMENT B

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Z17-0023

Planner
Initials AC



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SEAL

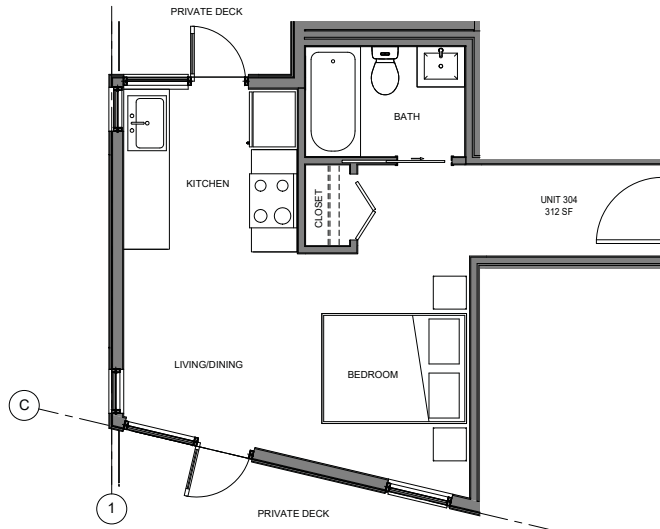
Revisions		
No	Date	Description
1	MAR 6, 2017	ISSUED FOR DP

project
BELAIRE AVE CONDOMINIUM
project address
BELAIRE AVE, KELOWNA, BC
project no. 4010
file
drawing title
LEVEL 3 & 4 UNIT PLANS

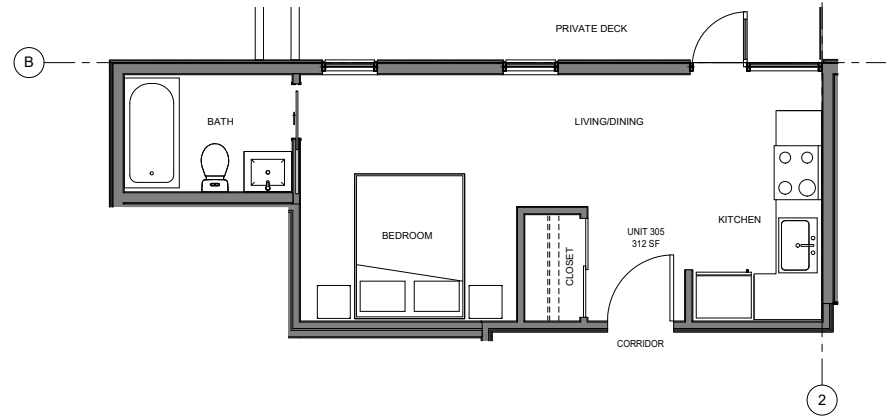
designed: JLD
drawn: JLD
checked: R.Y.
drawing no.

A3.08
title NOV 28, 2016

NOT FOR CONSTRUCTION



1 UNIT 304 & 404 ENLARGED PLANS
A3.09 3/8" = 1'-0"



2 UNIT 305 & 405 ENLARGED PLANS
A3.09 3/8" = 1'-0"

ATTACHMENT B

This forms part of application
Z17-0023

Planner
Initials AC



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Revisions		
No	Date	Description
1	MAR 6, 2017	ISSUED FOR DP

project
BELAIRE AVE CONDOMINIUM
project address
BELAIRE AVE, KELOWNA, BC
project no. 4010
file
drawing title
LEVEL 3 & 4 UNIT PLANS
designed by J.F.
drawn by J.F.
checked by R.Y.
drawing no.

A3.09
print NOV 28, 2016

NOT FOR CONSTRUCTION

EXTERIOR MATERIAL LEGEND

	STUCCO - LIGHT GREY/BEIGE COLOUR: TBD
	STUCCO - GRAY/BEIGE COLOUR: TBD
	CEMENT FIBER BOARD - WOOD GRAIN COLOUR: ALLURA, WOOD GRAIN, TBD
	CEMENT FIBER BOARD - SOLID BLACK COLOUR: TBD
	CEMENT COLUMN - PAINTED BLACK COLOUR: TBD
	PREFINISHED METAL FLASHING - BLACK COLOUR: TO MATCH BLACK FIBER CEMENT BOARD & WINDOWS/DOORS
	PREFINISHED METAL FLASHING - GRAY/BEIGE COLOUR: TO MATCH STUCCO FINISH
	GARAGE OVERHEAD DOOR - PAINTED TO MATCH EXTERIOR

EXTERIOR MATERIAL LEGEND

- STUCCO - LIGHT GREY/BEIGE
- STUCCO - GREY/BEIGE
- CEMENT FIBER BOARD - WOOD GRAIN
- CEMENT FIBER BOARD - SOLID BLACK
- WINDOWS - STYLE / MANUFACTURE TO BE CONFIRMED
- GLASS PATIO DOOR
- ALUMINUM STORFRONT - GLAZING AND DOORS
- PAINTED METAL DOORS
- ALUMINUM / GLASS GUARDRAILS
- PREFINISHED METAL FLASHINGS
- OVERHEAD PREFINISHED GARAGE DOOR
- CONCRETE COLUMNS - PAINTED

ATTACHMENT B

This forms part of application
Z17-0023

Planner
Initials **AC**

City of
Kelowna
COMMUNITY PLANNING



1 FRONT ELEVATION
1/8" = 1'-0"



2 RIGHT SIDE ELEVATION
1/8" = 1'-0"

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Revisions

No	Date	Description
1	MAR 6, 2017	ISSUED FOR DP

project

BELAIRE AVE CONDOMINIUM

project address

BELAIRE AVE, KELOWNA, BC

project no.

4010

file

BUILDING ELEVATIONS

designed by **NEW TOWN** ARCHITECTURE

drawn by **J.F.**

checked by **R.Y.**

drawing no.

A4.01

print NOV 28, 2016

NOT FOR CONSTRUCTION

ATTACHMENT B

This forms part of application
Z17-0023

Planner
Initials AC

City of
Kelowna
COMMUNITY PLANNING



EXTERIOR MATERIAL LEGEND

- STUCCO - LIGHT GREY/BEIGE
COLOUR: TBD
- STUCCO - GRAY/BEIGE
COLOUR: TBD
- CEMENT FIBER BOARD - WOOD GRAIN
COLOUR: ALLURA WOOD GRAIN, TBD
- CEMENT FIBER BOARD - SOLID BLACK
COLOUR: TBD
- CEMENT COLUMN - PAINTED BLACK
COLOUR: TBD
- PREFINISHED METAL FLASHING - BLACK
COLOUR: TO MATCH BLACK FIBER CEMENT BOARD & WINDOWS/DOORS
- PREFINISHED METAL FLASHING - GRAY/BEIGE
COLOUR: TO MATCH STUCCO FINISH
- GARAGE OVERHEAD DOOR - PAINTED TO MATCH EXTERIOR

EXTERIOR MATERIAL LEGEND

1. STUCCO - LIGHT GREY/BEIGE
2. STUCCO - GRAY/BEIGE
3. CEMENT FIBER BOARD - WOOD GRAIN
4. CEMENT FIBER BOARD - SOLID BLACK
5. WINDOWS - STYLE / MANUFACTURE TO BE CONFIRMED
6. GLASS PATIO DOOR
7. ALUMINUM STORFRONT - GLAZING AND DOORS
8. PAINTED METAL DOORS
9. ALUMINUM / GLASS GUARDRAILS
10. PREFINISHED METAL FLASHINGS
11. OVERHEAD PREFINISHED GARAGE DOOR
12. CONCRETE COLUMNS - PAINTED



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SEAL

Revisions		
No	Date	Description

project
BELAIRE AVE CONDOMINIUM

project address
BELAIRE AVE, KELOWNA, BC

project no. 4000

file

drawing title
BUILDING ELEVATIONS

designed: ☐ notes: ☐ as indicated

drawn: ☐ J.F.

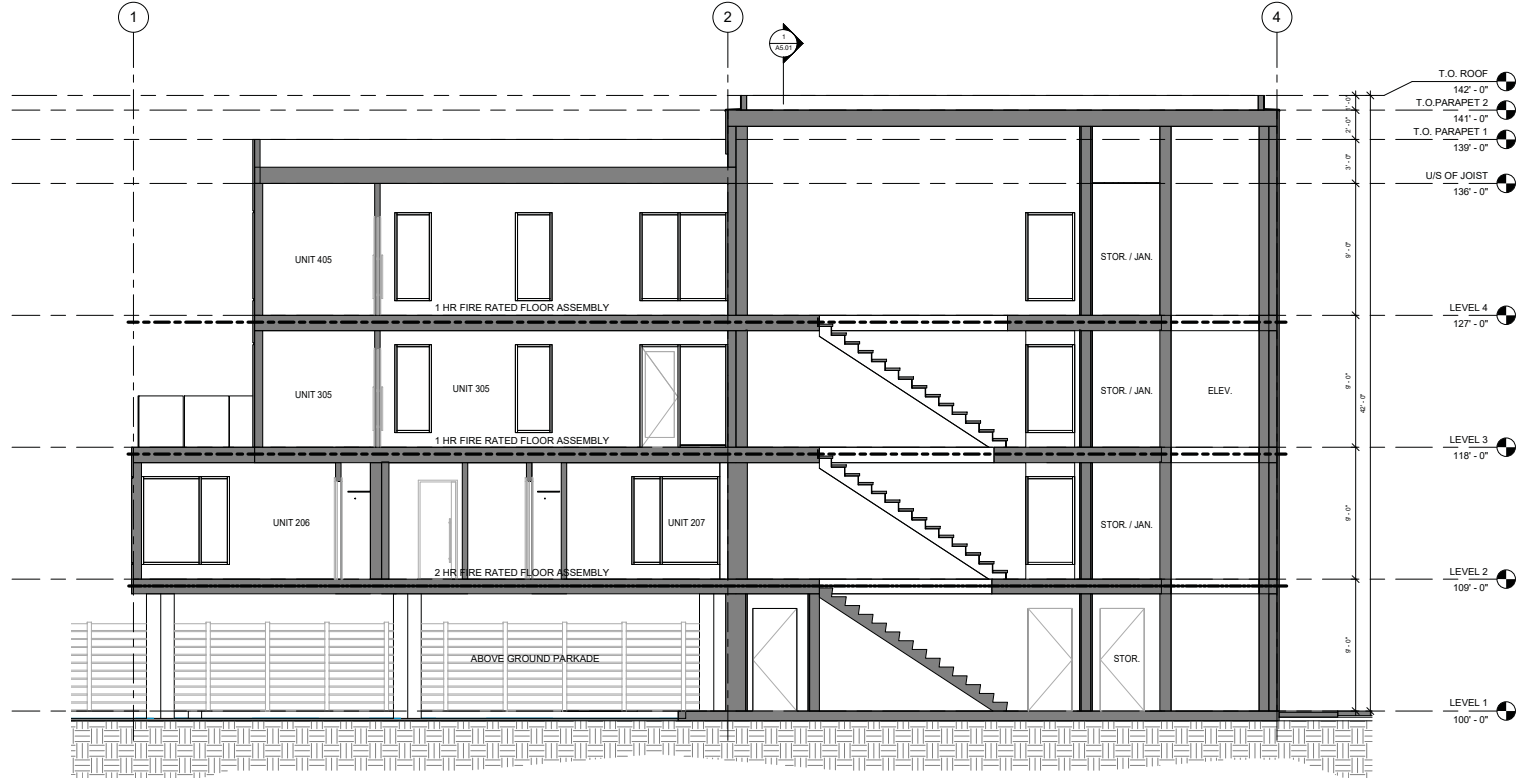
checked: ☐ R.Y.

drawing no.

A4.02

print NOV 28, 2016

NOT FOR CONSTRUCTION



1 BUILDING SECTION @ STAIRWELL
1/4" = 1'-0"

ATTACHMENT B

This forms part of application
Z17-0023

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Initials AC



FIRE SEPARATION LEGEND

1 HR FRR
2 HRS FRR

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URBAN PLANNING
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SEAL

Revisions		
No	Date	Description
1	MAR 6, 2017	ISSUED FOR DP

project
BELAIRE AVE CONDOMINIUM

project address
BELAIRE AVE, KELOWNA, BC

project no. 4010

drawing title
BUILDING SECTIONS

designed by J.F.

drawn by J.F.

checked by R.Y.

drawing no.

A5.00

print NOV 28, 2016

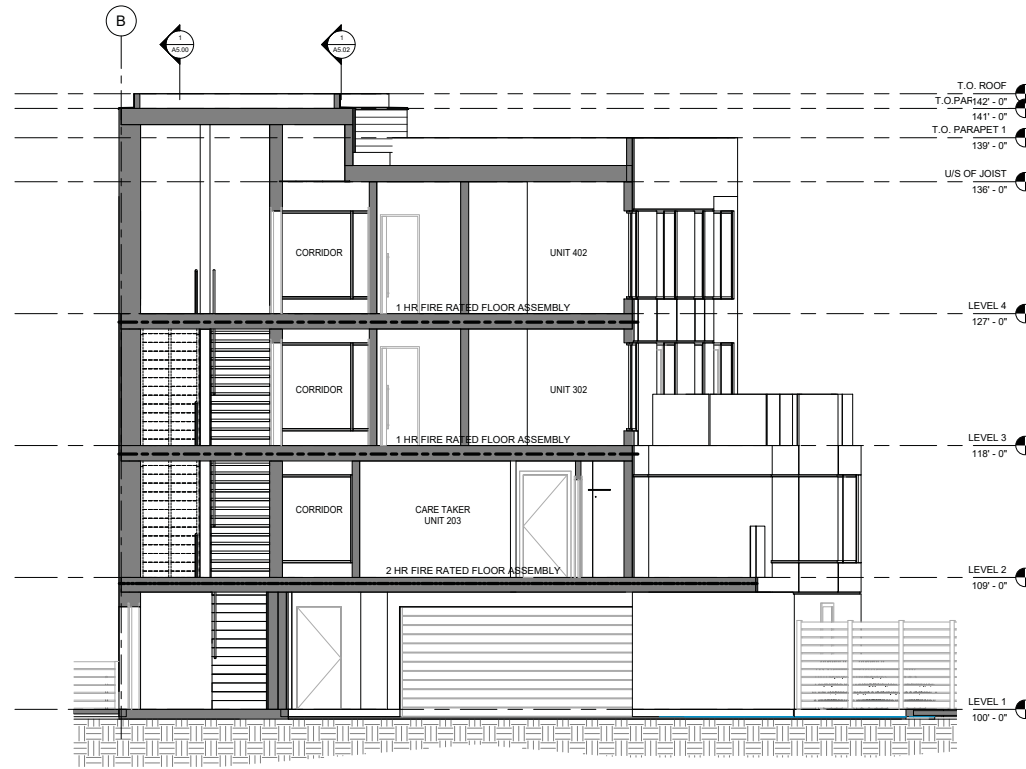
NOT FOR CONSTRUCTION

ATTACHMENT B

This forms part of application

Z17-0023

Planner
Initials AC



1 BUILDING SECTION @ STAIRWELL
A5.01 1/4" = 1'-0"

FIRE SEPARATION LEGEND

1 HR FRR
2 HR FRR

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SEAL

Revisions

No	Date	Description

project
BELAIRE AVE CONDOMINIUM

project address
BELAIRE AVE, KELOWNA, BC

project no. 4010

file

drawing title

BUILDING SECTIONS

designed: A5.01

drawn: J.F.

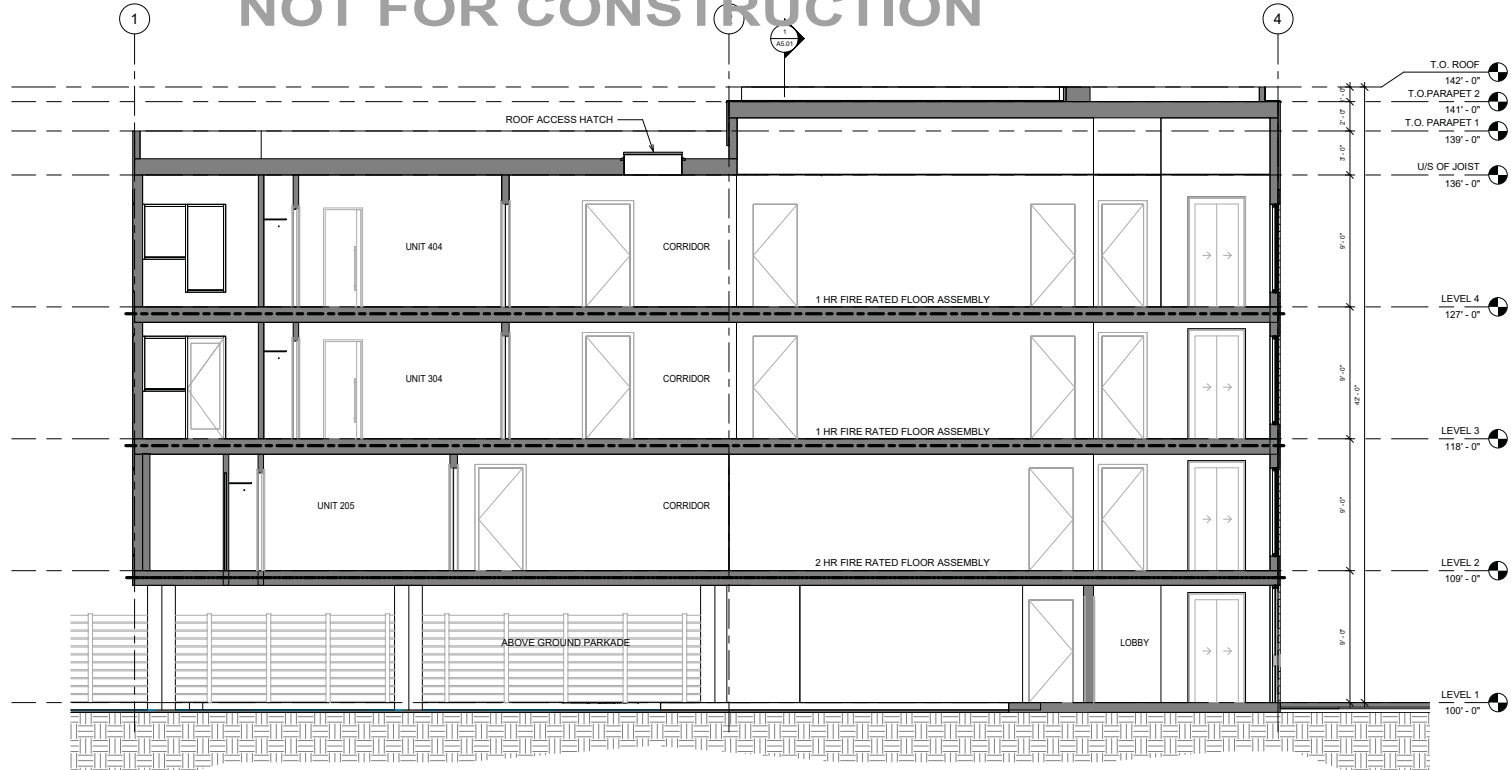
checked: R.Y.

drawing no.

A5.01

print NOV 28, 2016

NOT FOR CONSTRUCTION



1 BUILDING SECTION @ CORRIDOR
A3.01 1/4" = 1'-0"

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SEAL

Revisions

No	Date	Description

ATTACHMENT B

This forms part of application

Z17-0023

Planner Initials AC



FIRE SEPARATION LEGEND

1 HR FRR
2 HRS FRR

project
BELAIRE AVE CONDOMINIUM

project address
BELAIRE AVE, KELOWNA, BC

project no. 4010

file

drawing title
BUILDING SECTIONS

designed by

drawn by J.F.

checked by

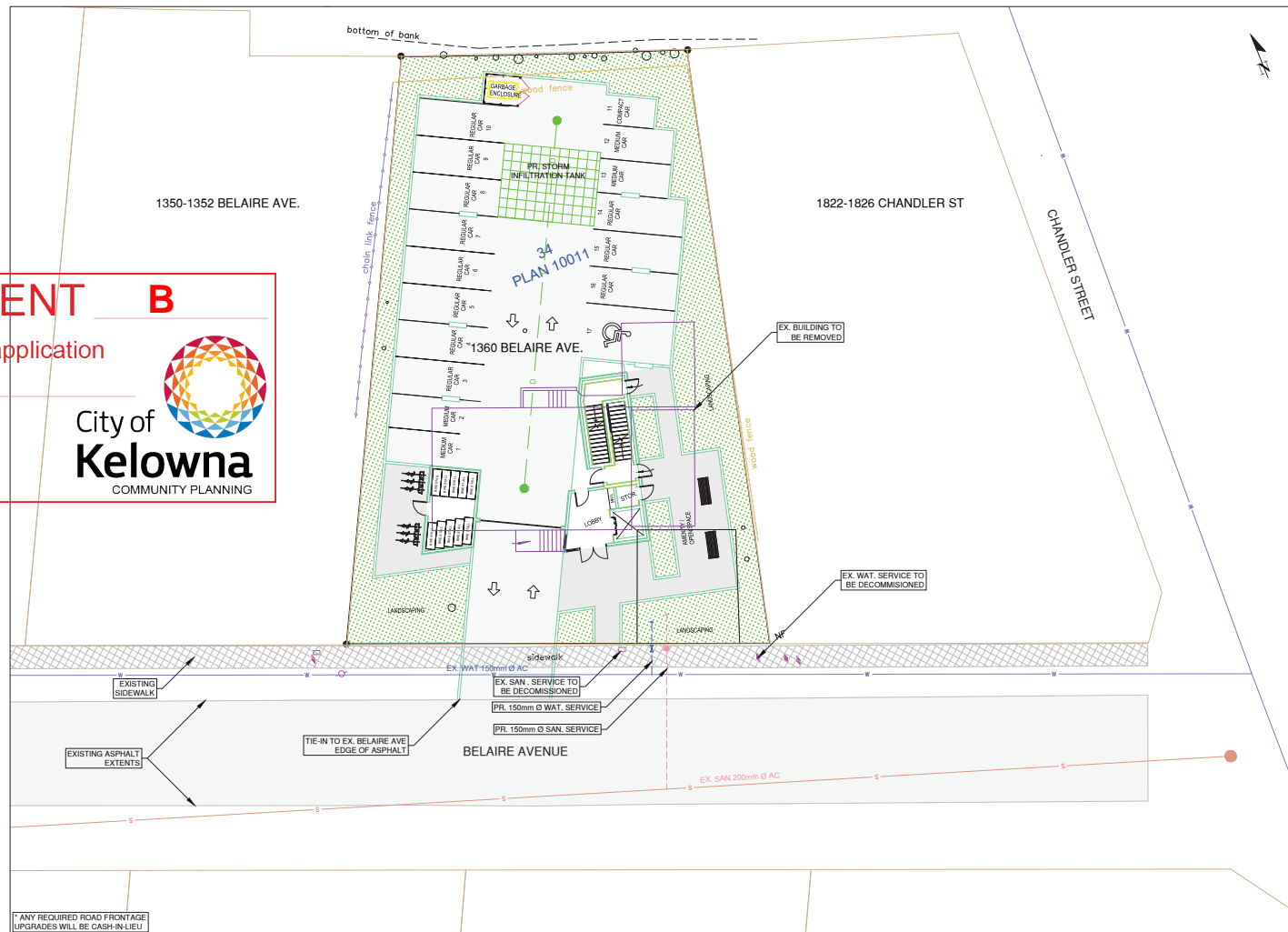
drawing no.

print NOV 28, 2016

A5.02

This forms part of application
Z17-0023

Planner Initials AC



No.	YY/MM/DD	BY	REVISION	CH'KD



BASE	JP
DESIGN	JP
APPROVED	JBK
DATE	2017/03/06
SCALE	1:150

CITY OF KELOWNA
DESIGN AND CONSTRUCTION

SERVICING PLAN
BELAIRE AVENUE CONDOMINIUM
BELAIRE AVE, KELOWNA, B.C.

<p>The location of existing underground utilities are shown in an approximate way only & have not been independently verified by the owner or its representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agree to be fully responsible for any and all damages which might be occasioned by the contractor's failure to exactly locate and preserve any and all underground utilities.</p>	
DRAWING NO.	REV. NO.
101	-

Landscape Water Conservation Report

LANDSCAPE WATER USE AREA

Applicant: **Iniste Design** Address: **1360 Belaire Avenue Kelowna BC**

Step 1: Measure Total Landscape Area (LA)

Area of site that will absorb water:

242 sq.m.

Note: Include boulevard, and proposed lawn, plants, mulch, pervious decks or paving stones. Do not include areas that are not pervious such as buildings, paved driveways, concrete patios etc.

Step 2: Divide Into Landscape Treatments*		Plant Factor	Irrig Efficiency	Hydrozone Area	% of Total LA	Estimated Water
Note: each of the areas below are a 'HYDROZONE'		(PF)	(IE)	(HA)		(WU)
Unwatered Pervious Areas (not impervious paving)						
Mulch (Stone, bark or sand)		N/A	N/A		0%	N/A
Pervious deck (Spaced wood deck)		N/A	N/A		0%	N/A
Pervious paving (ie: AquaPave, Rima Pave)		N/A	N/A		0%	N/A
Naturalized meadow (wildflowers)		N/A	N/A		0%	N/A
Naturalized area (Existing natural area)		N/A	N/A		0%	N/A
Other:		N/A	N/A		0%	N/A
Swimming or ornamental pool		1	1	0	0%	0
Watered Planting Beds (shrubs or groundcover)						
<i>Planting Type</i>	<i>Irrig Efficiency</i>					
Low water use plants	High (Drip or Bubbler)	0.3	0.9	63	26%	17
Low water use plants	Moderate (Spray or Rotor)	0.3	0.7	38	16%	13
Moderate water use plants	High (Drip or Bubbler)	0.5	0.9	52	21%	23
Moderate water use plants	Moderate (Spray or Rotor)	0.5	0.7		0%	0
High water use plants	High (Drip or Bubbler)	0.7	0.9		0%	0
High water use plants	Moderate (Spray or Rotor)	0.7	0.7		0%	0
Watered Mown Lawn Areas						
Low		1	0.7	89	37%	102
Special Landscape Areas (SLA)						
Vegetable Garden	High (Drip or Bubbler)	1	0.9		0%	0
Vegetable Garden	Moderate (Spray or Rotor)	1	0.7		0%	0
Sports Lawn (Commercial / Parks)	Moderate (Spray or Rotor)	1	0.7		0%	0
Rainwater or Recycled Water Use		0.3	1		0%	0
Totals				242	100%	155
Special Landscape Area (SLA) Sub total				0		

*If proposed design conditions are not shown on the form please contact Water Smart 250-460-0678

Landscape Water Conservation Report

Applicant:

see cover

Address:

see cover

CALCULATE & COMPARE WATER BUDGET TO ESTIMATED WATER USE

Total Landscape Area	242	sq.m.
Landscape Water Budget (WB)	194	cu.m./yr.
Estimated Landscape Water Use (WU)	155	cu.m./yr.
Under (-OVER) Budget (Must be under Water Budget WB)	39	cu.m./yr.
	OK	



I confirm by completing the attached Landscape Water Conservation Report, that the project will conform to industry best practices for landscape and irrigation installation in Kelowna. I also acknowledge that the landscape treatments of the project will conform to the Hydrozone areas as identified in the Landscape Area Water Use Area table.

Regan Hyde, CID

Name of Applicant (person submitting the form)

Date:

03-Mar-17

FOR CITY OF KELOWNA OFFICE USE ONLY

The calculations above satisfy the requirements of the Water Regulation Bylaw 10480 Section 4.4.2 and 4.4.3. and the application is hereby APPROVED with the signature of the Water Manager or designate.

Name of Kelowna Water Smart designate
For Water Manager

Date:

March 6, 2017

City of Kelowna
1435 Water Street
Kelowna, B.C. V1Y 1J4

SUBJECT: 1360 Beldaire Avenue – Beldaire Condominium Development Landscape Bonding

On behalf of New Town Services, INSITE DESIGN estimates a landscape development cost of **\$16,643.00** for the supply and installation of soft landscaping components for above noted development. This cost includes: growing medium; shrubs and perennial landscaping; planting mulch and; automatic irrigation system. This cost is exclusive of any City multiplier for bonding.

Should you have any questions pertaining to this letter, please do not hesitate to contact the undersigned.

Yours truly,



David James, MBCSLA, M.L.Arch, B.E.S
Principal, INSITE DESIGN INC.

ATTACHMENT		B
This forms part of application		
# Z17-0023		
Planner Initials	AC	 City of Kelowna COMMUNITY PLANNING



ATTACHMENT B

This forms part of application

Z17-0023

Planner
Initials

AC



City of Kelowna
COMMUNITY PLANNING

ISSUED FOR DP - NOT FOR CONSTRUCTION

NOTES

1. PLANT MATERIAL AND CONSTRUCTION SHALL MEET OR EXCEED B.C.N.J. STANDARDS.
2. ALL PERENNIAL AND SHRUB PLANTING AREAS TO HAVE A MIN. 0.45m GROWING MEDIUM DEPTH.
3. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A TIMED AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
4. PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANT SELECTIONS MAY VARY DEPENDING ON AVAILABILITY.
5. ALL PLANTING BEDS SHALL HAVE A MINIMUM 50mm DEPTH OF APPROVED MULCH.
6. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE IN CONSTRUCTION.

1	17/03/08	ISSUED FOR DP
•	17/03/03	FOR CLIENT REVIEW
NOL	YMD	DESCRIPTION
REVISIONS / ISSUED		

CLIENT



**NEW TOWN
SERVICES**
250-860-8788
www.newtownservices.com

PROJECT

BELAIRE AVENUE
CONDOMINIUM DEVELOPMENT

1360 BELAIRE AVE.
KELOWNA, B.C.



DEAL:

SCALE: 1:100

2004 DE

ESCAPE

2

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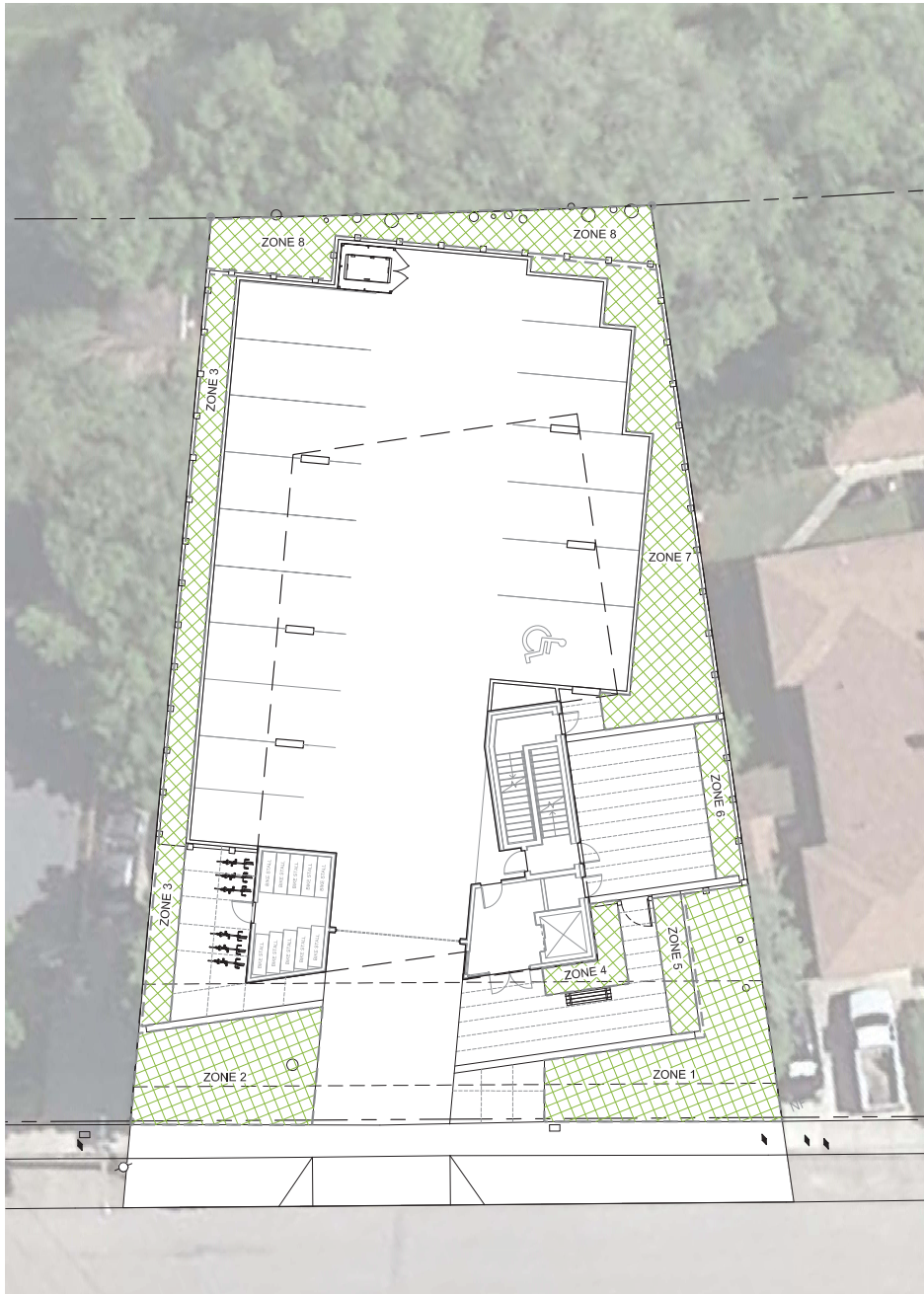
OP-1

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BELAIRE CONDOMINIUMS - REPRESENTATIVE PLANT LIST

Qty	Botanical Name	Common Name	Size	Root	Mature Size (H x W)
Shrubs					
6	<i>Cornus sericea</i> 'Farrow'	Arctic Fire Red Twig Dogwood	#02	Potted	1.25m x 1.0m
3	<i>Eonymus alatus</i> 'Compactus'	Compact Burning Bush	#02	Potted	1.5m x 1.75m
6	<i>Mahonia aquifolium</i>	Oregon Grape	#02	Potted	1.25m x 1.25m
1	'Sambucus racemosa 'Plumosa Aurea'	Golden Plum Elder	#05	Potted	3.0m x 2.0m
8	'Syringa patula 'Miss Kim'	Miss Kim Lilac	#02	Potted	1.5m x 1.5m
Perennials / Groundcovers / Vines					
7	'Achillea millefolium 'Moonshine'	Moonshine Yarrow	#01	Potted	0.6m x 0.6m
5	<i>Allium karataviense</i>	Purple Flowering Allium	#01	Potted	0.2m x 0.15m
15	<i>Arcostaphylos uva-ursi</i>	Kinkinnick	#01	Potted	0.1m x 0.5m
8	<i>Echinacea purpurea</i> 'Pow Wow'	PowWow Purple Coneflower	#01	Potted	0.75m x 0.6m
7	'Hemerocallis 'Hyeron'	Hyperion Daylily	#01	Potted	0.9m x 0.75m
13	<i>Perovskia atriplicifolia</i> 'Little Spire'	Little Spire Russian Sage	#01	Potted	0.5m x 0.6m
11	'Rudbeckia fulgida var. sullivantii 'Goldstrum'	Goldstrum Coneflower	#01	Potted	0.75m x 0.6m
11	<i>Salvia x sylvestris</i> 'Mainacht'	May Night Salvia	#01	Potted	0.45m x 0.45m
Ornamental Grasses					
19	'Calamagrostis acutiflora 'Karl Foerster'	Karl Foerster	#01	Potted	1.5m x 0.75m
6	<i>Chasmanthium latifolium</i>	Northern Sea Oats	#01	Potted	1.0m x 0.75m
19	<i>Deschampsia caespitosa</i> 'Bronzeschleier'	Bronze Tufted Hair Grass	#01	Potted	1.0m x 0.6m
12	<i>Imperata cylindrica</i> 'Red Baron'	Japanese Blood Grass	#01	Potted	0.5m x 0.5m
6	'Miscanthus sinensis 'Purpureascens'	Flame Grass	#01	Potted	1.25m x 1.0m
8	<i>Pennisetum alopecuroides</i> 'Little Bunny'	Little Bunny Fountain Grass	#01	Potted	0.5m x 0.5m
5	'Saccharum ravennae'	Northern Pampas Grass	#01	Potted	2.5m x 1.2m

* Denotes 'Okanagan Inspired' plant species



ATTACHMENT B

This forms part of application

Z17-0023

Planner
Initials AC



BELAIRE CONDOMINIUMS - HYDROZONES

*Hydrozone	Unit	Total	Landscape	Water Use	Mulch Type	Irrigation Comments
1,2 (on-site)	m2	89	Turf (Sod)	High	N/A	Low Volume Pop-Up Spray
3,4,5,6	m2	63	Grass / Perennial	Low	Bark	High Efficiency Subsurface Drip
7	m2	52	Shrub Hedge / Perennial	Moderate	Bark	High Efficiency Subsurface Drip
8	m2	38	Native Shrubs	Low	Bark	Temporary Irrigation

* See Plan for Hydrozone Location

IRRIGATION HYDROZONE NOTES:

1. IRRIGATION SYSTEM TO HAVE HIGH-EFFICIENCY SPRAY, DRIPLINE AND EMITTER COMPONENTS.
2. IRRIGATION SYSTEM TO BE EQUIPPED WITH A BACKFLOW PREVENTION DEVICE, WATER METER, FLOW SENSOR AND SHUT-OFF VALVE.
3. SCH. 40 SLEEVING TO BE PROVIDED UNDER ALL HARD SURFACES AND FEATURES.
4. ALL IRRIGATION MAINLINES TO BE LOCATED ON PRIVATE PROPERTY.

ISSUED FOR DP - NOT FOR CONSTRUCTION

NOTES

1. PLANT MATERIAL AND CONSTRUCTION SHALL MEET OR EXCEED B.C.L.N.A STANDARDS.
2. ALL PERENNIAL AND SHRUB PLANTING AREAS TO HAVE A MIN. 0.45m GROWING MEDIUM DEPTH.
3. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A TIED AUTOMATIC UNDERGROUND IRRIGATION SYSTEM.
4. PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANT SELECTIONS MAY VARY DEPENDING ON AVAILABILITY.
5. ALL PLANTING BEDS SHALL HAVE A MINIMUM 50mm DEPTH OF APPROVED MULCH.
6. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. DRAWING IS NOT INTENDED FOR USE IN CONSTRUCTION.

NO.	Y/M/D	DESCRIPTION	REVISIONS / ISSUED
1	17/03/08	ISSUED FOR DP	
2	17/03/03	FOR CLIENT REVIEW	



PROJECT:
BELAIRE AVENUE
CONDOMINIUM DEVELOPMENT

1380 BELAIRE AVE.
KELOWNA, B.C.

DESIGNED BY: DLU	SCALE: 1:100
DRAWN BY: DLU	
CHECKED BY: DLU	
PROJECT NO: 17410	

SHEET TITLE: HYDROZONE PLAN

SHEET NO: LDP-2

ATTACHMENT

B

This forms part of application
Z17-0023

Planner Initials

AC

City of Kelowna

COMMUNITY PLANNING



NO.	YY/MM/DD	BY	REVISION	CHKD



BASE	JP
DESIGN	JP
APPROVED	JBK
DATE	2017/03/06
SCALE	1:150

CITY OF KELOWNA
DESIGN AND CONSTRUCTION

GRADING PLAN
BELAIRE AVENUE CONDOMINIUM
BELAIRE AVENUE, KELOWNA, B.C.

The location of existing underground utilities are shown to an appropriate scale and as far as is known and has been independently verified by the owner or its representative. The contractor shall maintain the same location of all existing utilities shown on the plan, and shall be fully responsible for any and all damage which may be caused by the contractor's failure to locate and remove any and all underground utilities.	
DRAWING NO.	REV. NO.
102	-