



CITY OF KELOWNA

MEMORANDUM

Date: July 25, 2016
File No.: Z16-0042

To: Community Planning (LK)

From: Development Engineering Manager(PI)

Subject: 4377 Kensington Road

RU1 to RU6

The Development Engineering Department has the following comments and requirements associated with this rezoning application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Sergio Sartori

1. **Domestic Water and Fire Protection**

This property is currently serviced with a 19mm diameter PVC water service. Two 19mm copper or 25mm poly water services are required to meet current by-law requirements. The water service requirements can be provided by the City at the owner's cost. **The applicant will be required to sign a Third Party Work Order for the cost of the water service upgrades.** For estimate inquiry's please contact Sergio Sartori, by email ssartori@kelowna.ca or phone, 250-469-8589.

The developer must obtain the necessary permits and have all existing utility services disconnected prior to removing or demolishing the existing structures. The City of Kelowna water meter contractor must salvage existing water meters, prior to building demolition. If water meters are not salvaged, the developer will be invoiced for the meters.

2. **Sanitary Sewer**

Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service. An inspection chamber (IC) complete with brooks box should be installed on the service at the owner's cost. Service upgrades can be provided by the City at the applicant's cost. **The applicant will be required to sign a Third Party Work Order for the cost of the service upgrade.** For estimate inquiry's please contact Sergio Sartori, by email ssartori@kelowna.ca or phone, 250-469-8589.

3. **Road Improvements**

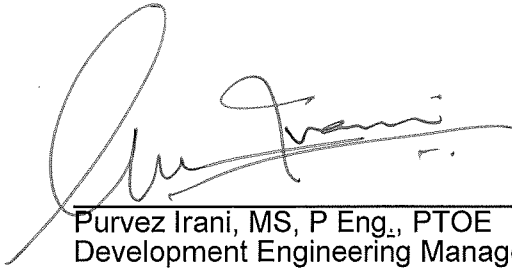
- (a) Kensington Rd has been upgraded to an urban standard along the full frontage of this proposed development therefore no further upgrades are required.

5. **Development Permit and Site Related Issues**

Direct the roof drains into on-site rock pits or splash pads.

6. Electric Power and Telecommunication Services

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

A handwritten signature in black ink, appearing to read 'Purvez Irani', is written over a horizontal line.

Purvez Irani, MS, P Eng., PTOE
Development Engineering Manager
SS

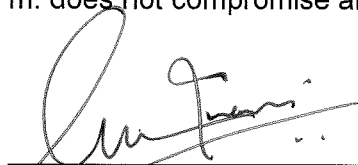
CITY OF KELOWNA

MEMORANDUM

Date: July 25, 2016
File No.: DVP16-0168
To: Community Planning (LK)
From: Development Engineer Manager (PI)
Subject: 4377 Kensington Road

The Development Engineering comments and requirements regarding this DVP application are as follows:

This development variance permit application to vary the required frontage from 18.0 m to 17.03 m. does not compromise any municipal services.



Purvez Irani, MS, P Eng., PTOE
Development Engineering Manager

SS

CITY OF KELOWNA

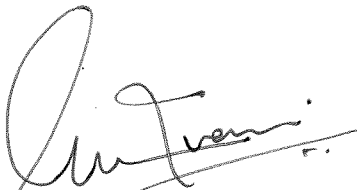
MEMORANDUM

Date: July 26, 2016
File No.: DP16-0169
To: Community Planning (LK)
From: Development Engineer Manager (PI)
Subject: 4377 Kensington Road

The Development Engineering comments and requirements regarding this Development Permit application are as follows:

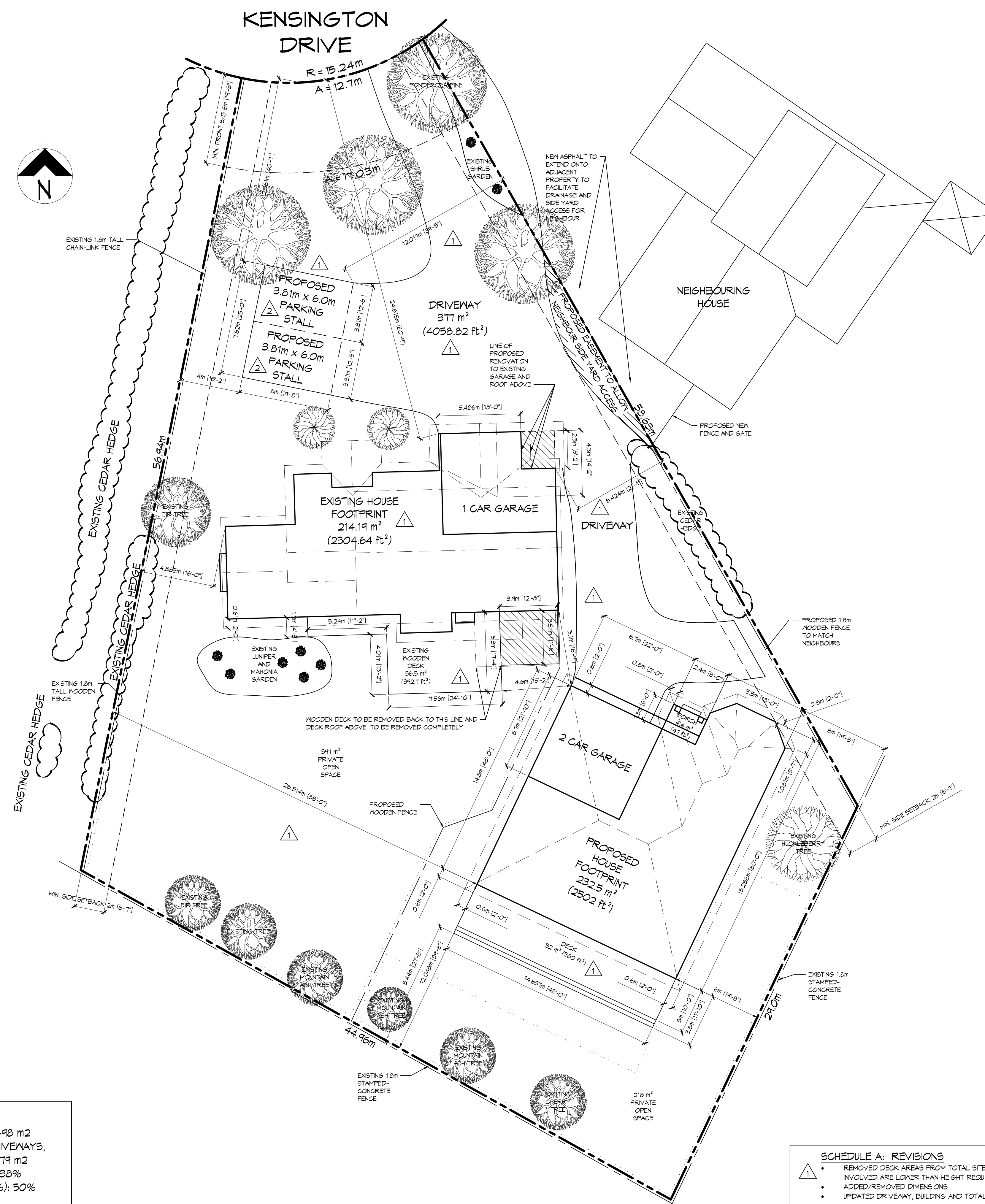
1. General.

- a) All the offsite infrastructure and services upgrades are addressed in the Rezoning Engineering Report under file Z16-0042.



Purvez Irani, MS, P Eng., PTOE
Development Engineering Manager

SS

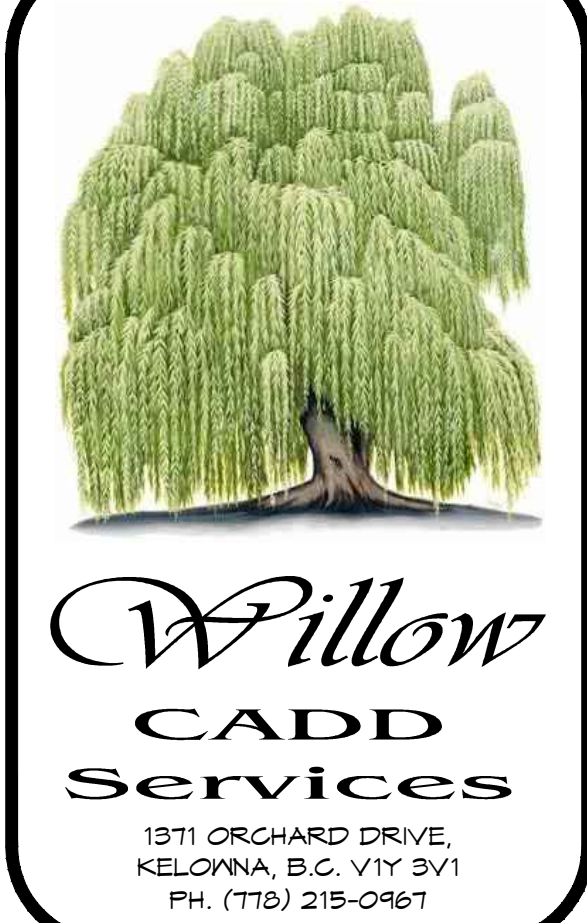


SITE AREA: 2317.4 m²
TOTAL BUILDING COVERAGE: 498 m²
TOTAL SITE COVERAGE (INCL. DRIVEWAYS, SIDEWALKS AND DECKS): 874.71 m²
TOTAL SITE COVERAGE (%): 38%
ALLOWABLE SITE COVERAGE (%): 50%

SCHEDULE A: REVISIONS	
1	REMOVED DECK AREAS FROM TOTAL SITE COVERAGE BECAUSE ALL DECKS INVOLVED ARE LOWER THAN HEIGHT REQUIRED FOR INCLUSION
2	ADDED/REMOVED DIMENSIONS
3	UPDATED DRIVEWAY, BUILDING AND TOTAL SITE COVERAGE
4	REPLACED 2-CAR GARAGE W/ 2-3.81m x 6.0m PARKING STALLS SET BACK 4.0m FROM NEST PROPERTY LINE

- GENERAL NOTES**
- THESE PLANS HAVE BEEN DESIGNED AND DRAFTED IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE 2012 AND THE CANADIAN WOOD COUNCIL SPAN BOOK 2004 EDITION. ALL STRUCTURAL MEMBERS HAVE BEEN DESIGNED FOR A ROOF SNOW LOAD OF 2.5 KPA. CONTRACTOR TO VERIFY LOCAL SNOW AND RAIN LOAD GUIDELINES PRIOR TO CONSTRUCTION.
 - IT IS THE RESPONSIBILITY OF THE BUILDING OWNER AND/OR BUILDER TO ENSURE CONSTRUCTION COMPLIES WITH APPLICABLE BUILDING CODES AND BYLAWS AND CONFORMS TO ACCEPTABLE BUILDING PRACTICES.
 - ALL CONSTRUCTION, MATERIALS, AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND IN A TIMELY FASHION.
 - THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON THE DRAWINGS AND ON THE BUILDING SITE BEFORE COMMENCING CONSTRUCTION.
 - IN THE EVENT OF A DISCREPANCY BETWEEN SCALED DIMENSIONS AND THOSE NOTED ON THE DRAWINGS, THE LATTER SHALL TAKE PRECEDENCE.
 - LUMBER SPECIES AND GRADES TO BE AS FOLLOWS UNLESS NOTED OTHERWISE:
JOISTS, RAFTERS, STRINGERS, PLATES: DOUGLAS FIR #2 & BETTER.
STUDS: D. FIR OR SPF STUD GRADE.
POSTS, BEAMS AND LINTELS: #2 D. FIR OR BETTER.
SILLS, SLEEPERS AND PLATES IN CONTACT WITH CONCRETE: PRESSURE TREATED DOUGLAS FIR.
FLOOR AND WALL SHEATHING TO BE MIN. 15.5MM U.N.O. ROOF SHEATHING TO BE MIN. 12.5 U.N.O.
 - ALL LINTELS TO BE MINIMUM 2-38X235 UNLESS NOTED OTHERWISE, AND TO HAVE MINIMUM 35MM END BEARING.
 - SOLID BLOCKING REQUIRED BETWEEN JOISTS AND RAFTERS AT BEARING WALLS.
 - 1 ROW OF CROSS BRIDGING SHALL BE PROVIDED MID-SPAN BETWEEN FLOOR JOISTS AT A SPACING NO GREATER THAN 2100MM AS PER CBC 1988 9.23.9.4.
 - LEDGERS AND FOUNDATION SILL PLATES SHALL BE BOLTED TO CONCRETE FOUNDATION WITH 15.5MM DIAM. ANCHOR BOLTS @1220MM O.C. UNLESS NOTED OTHERWISE.
 - NAILING SCHEDULE FOR FRAMING TO CONFORM TO NATIONAL STANDARDS.
 - ROOF VENTS SHALL BE PROVIDED TO A MINIMUM 1:300 OF THE INSULATED CEILING AREA. ROOF, GABLE AND/OR EAVE TYPE VENTS SHALL BE UNIFORMLY DISTRIBUTED ON OPPOSITE SIDES OF THE BUILDING AND AT TOP AND BOTTOM OF THE ATTIC SPACE. ALL VENTS SHALL BE DESIGNED TO PREVENT THE ENTRY OF INSECTS, SNOW, OR RAIN.
 - MINIMUM 63MM CONTINUOUS AIRSPACE TO BE MAINTAINED TO ALLOW AIRFLOW FROM ROOF VENTS TO ATTIC SPACES.
 - CONTINUOUS ULTRA-VIOLET RESISTANT 6MM POLY VAPOUR BARRIER TO BE INSTALLED ON THE WARM SIDE OF INSULATION IN ALL EXTERIOR WALLS AND CEILINGS.
 - MINIMUM INSULATION REQUIREMENTS ARE AS FOLLOWS (CONTRACTOR TO VERIFY WITH LOCAL BUILDING CODES IF INSULATION SHOULD BE INCREASED OR DECREASED FROM THE FOLLOWING VALUES):
ROOF JOISTS: R-32
ATTIC SPACES: R-40
FRAMED WALLS: R-20
SUSPENDED FRAMED FLOORS: R-28
SUSPENDED CONCRETE FLOORS: R-12
CONCRETE FOUNDATION WALLS: R-12
CONCRETE SLAB ON GRADE: R-12
 - CRAWL SPACES, HEATED OR UNHEATED, SHALL BE NATURALLY VENTED TO A MINIMUM 1:500 OF THE FLOOR AREA. ALL VENTS SHALL BE UNIFORMLY DISTRIBUTED AND CONSTRUCTED TO PREVENT THE ENTRY OF INSECTS, SNOW OR RAIN.
 - ALL ATTIC AND CRAWL SPACES TO HAVE AN MINIMUM 500MM X 700MM ACCESS OPENING PROVIDED.
 - CONTRACTOR TO ENSURE PROPER INSTALLATION OF PLUMBING, HEATING, AND ELECTRICAL EQUIPMENT AND MATERIALS AS PER THE MANUFACTURER'S SPECIFICATIONS AND IN ACCORDANCE WITH THE B.C.B.C.
 - ALL STAIRS, LANDINGS, BALCONIES, AND PORCHES HIGHER THAN 900MM (OR 2 RISERS) ABOVE GROUND SHALL BE PROTECTED WITH GUARDS AT ALL OPEN SIDES. GUARDS SHALL BE DESIGNED TO PREVENT CLIMBING AND HAVE NO OPENING GREATER THAN 100MM. INTERIOR GUARD HEIGHT SHALL BE MINIMUM 900MM AND EXTERIOR GUARD HEIGHT SHALL BE MINIMUM 1070MM.
 - ALL WINDOWS SHALL BE DOUBLE GLAZED OR INSULATED GLASS.
 - BEDROOM EGRESS: PROVIDE MINIMUM NET CLEAR OPENING OF 0.32 METERS SQUARED AND NO DIMENSION LESS THAN 380MM. MAXIMUM HEIGHT OF WINDOW FROM SUBFLOOR TO FINISHED WINDOW SILL TO BE 1500MM.
 - ALL CERAMIC WALL TILE INSTALLED IN AREAS PRONE TO WATER AND/OR PHYSICAL IMPACT TO BE UNDERLAID WITH 12.5MM REINFORCED CONCRETE BACKER BOARD.
 - EXHAUST FANS, RANGE HOOD, AND CLOTHES DRYER TO VENT OUTSIDE VIA METAL DUCTS. EXHAUST VENTILATION RATE:
BATHROOM - 25 L/S (60 CFM)
KITCHEN - 40 L/S (80 CFM)
 - SMOKE DETECTORS SHOULD BE CONNECTED TO THE RESIDENCE POWER SOURCE (110V).
 - CLIMATIC DATA FOR THE DESIGN OF BUILDINGS IN KELOWNA:
GROUND SNOW LOAD
SS 1.8kPa
SR 0.1kPa
HOURLY WIND PRESSURES
1/10 0.34kPa
1/30 0.43kPa
1/100 0.53kPa
SEISMIC
ZA 1
ZV 1
FROST DEPTH 600MM
 - SPECIFIED SNOW LOAD: (0.8 X 1.8KPA + 0.1 KPA) = 1.5KPA

LEGAL DESCRIPTION
4377 KENSINGTON DRIVE
LOT 21, DL 167, PLAN 27559



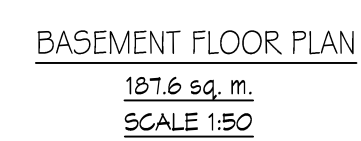
No.	REVISIONS	DATE
1	SEE SCHEDULE A	21-6-2016
2	SEE SCHEDULE A	20-7-2016

JOB TITLE
PROPOSED DEVELOPMENT
4377 KENSINGTON DRIVE, KELOWNA

DRAWING TITLE
SITE PLAN AND SITE COVERAGE

DATE
JULY 5/2015
DRAW BY
D.P.
JOB No.
WCS 02-15
SCALE
1:150
DRAWING No.

A1



[illegible]

PROPOSED
DEVELOPMENT
4377
KENSINGTON
DRIVE, KELOWNA

DRAWING TITLE

PROPOSED
HOUSE
ELEVATIONS

DATE
MARCH 18/2015

DRAWN BY
D.P.

IOB No.
WCS 02-15

SCALE
1:50

DRAWING No.

A3





JOB TITLE

PROPOSED
DEVELOPMENT
4377
KENSINGTON
DRIVE, KELOWNA

DATE
JULY 5/2015
DRAWN BY
D.P.

SCALE
1:50

A4



[illegible]

PROPOSED
DEVELOPMENT
4377
KENSINGTON
DRIVE, KELOWNA

DRAWING TITLE

EXISTING HOUSE
EAST AND WEST
ELEVATIONS

DATE
JULY 5/2015

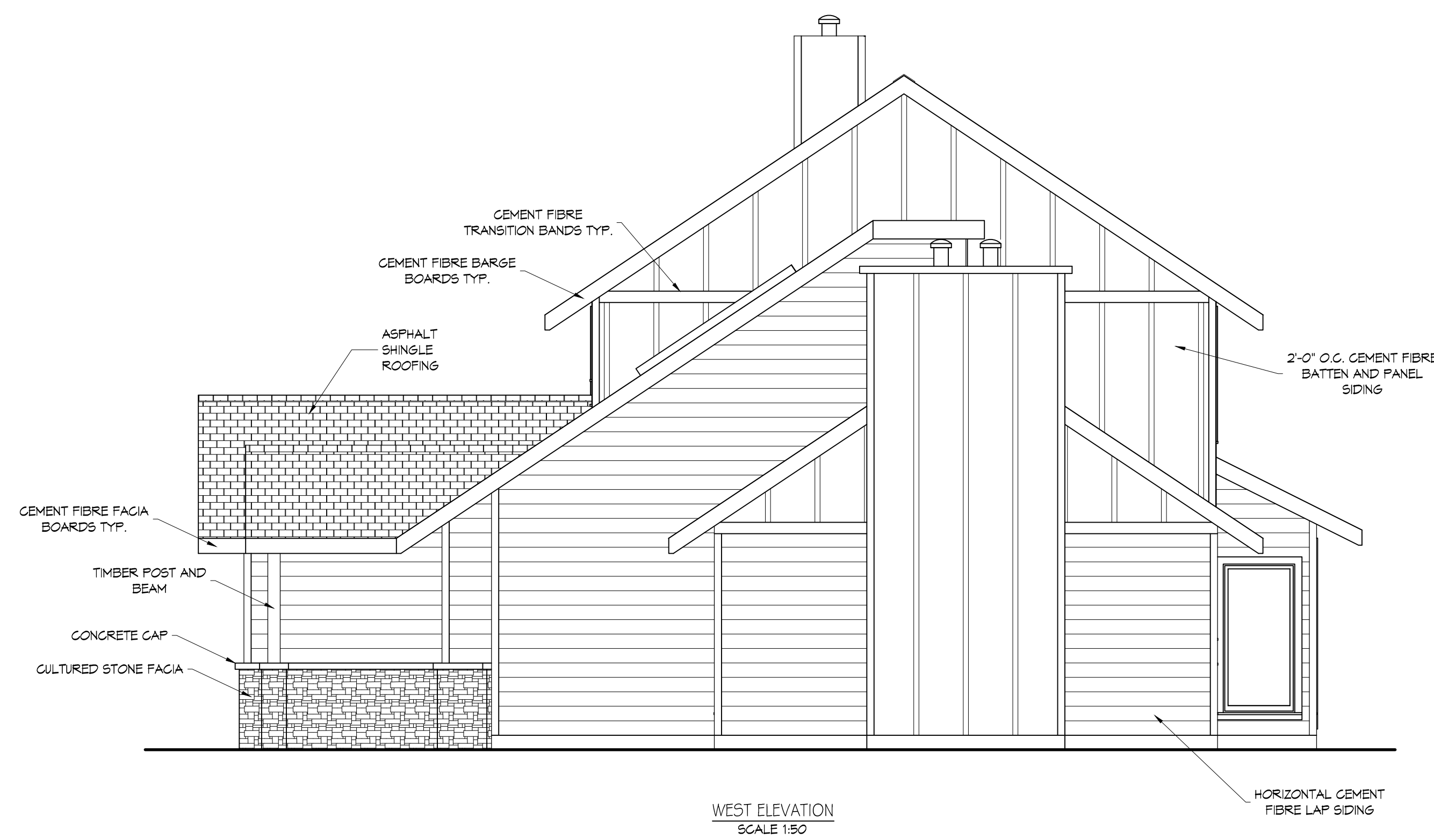
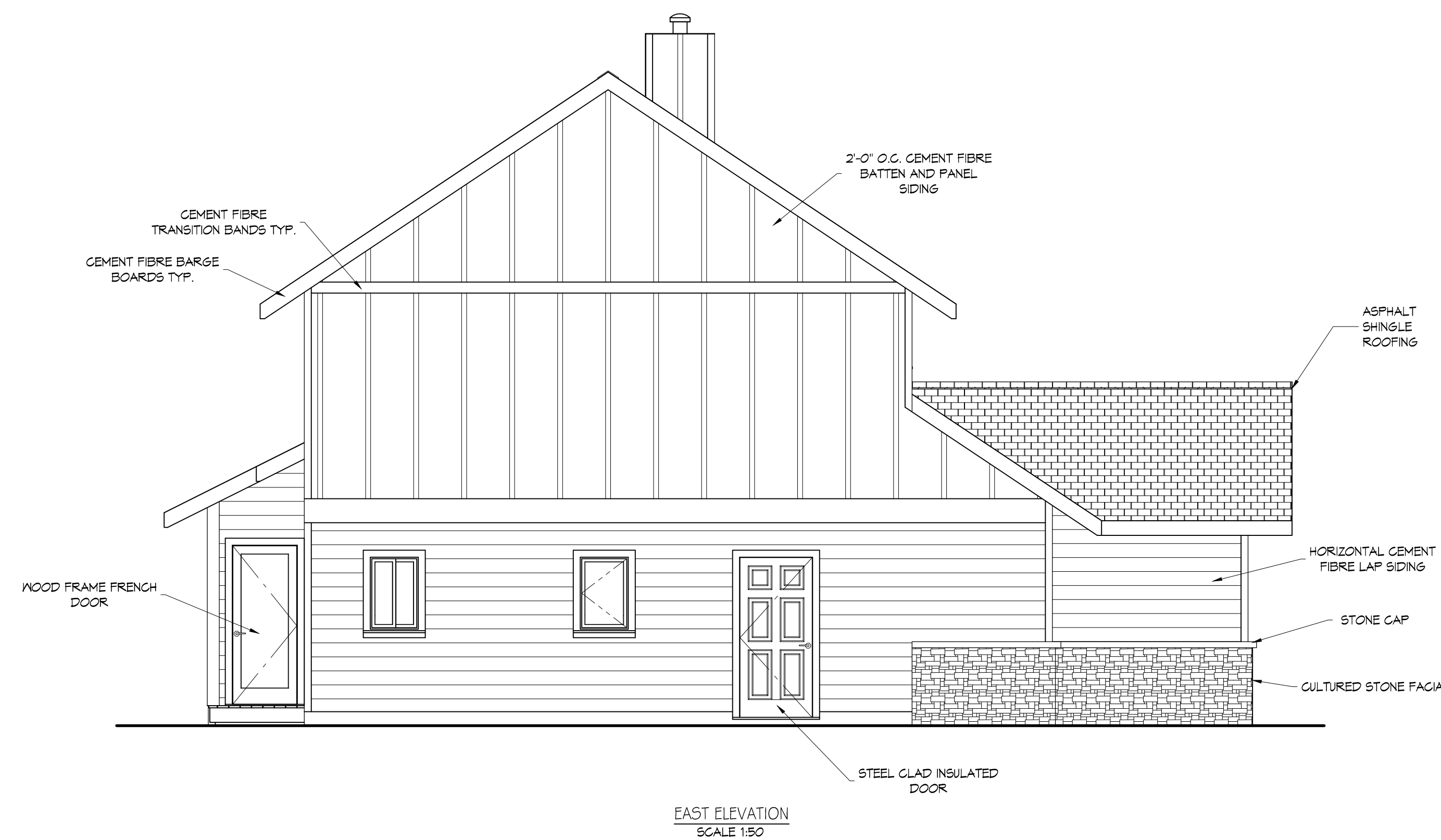
DRAWN BY
D.P.

JOB No.
WCS 02-15

SCALE
1:50

DRAWING No.

A5





BRITISH COLUMBIA LAND SURVEYOR'S SITE PLAN SHOWING EXISTING
HOUSE ON LOT 21, DISTRICT LOT 167, ODYD, PLAN 27559.

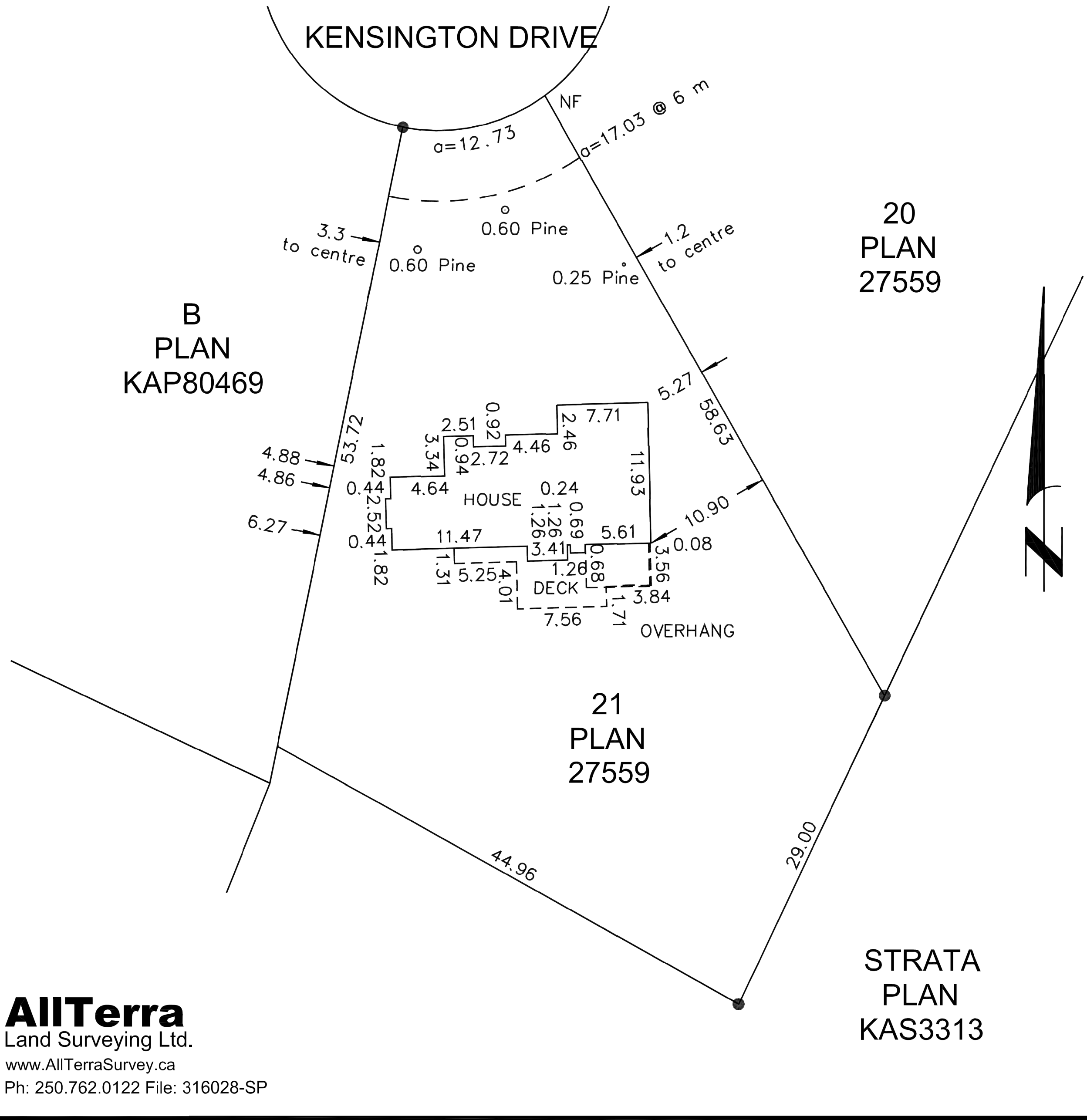
PID: 004-795-130
CIVIC ADDRESS: 4377 Kensington Drive
CLIENT: Lupul

Lot dimensions shown are derived from Land Title Office records.

Scale 1:500 Metric. Distances shown are in metres and decimals thereof.

This plan is based upon a field survey completed on March 31, 2016.

- Denotes Iron Post found
- NF Denotes nothing found



AllTerra
Land Surveying Ltd.
www.AllTerraSurvey.ca
Ph: 250.762.0122 File: 316028-SP

1 EXISTING CONDITIONS - AIR PHOTO
SCALE: APPROX. 1:200

2 EXISTING CONDITIONS - SITE SURVEY
SCALE: NTS

BLA
Landscape Architecture

BALDERSTON LANDSCAPE ARCHITECTURE LTD.
716 LAWSON AVENUE, SUITE A
KELOWNA, BC V1Y 6S8
t: 1.250.860.2974
e: elizabeth@blastudio.ca

ATTENTION

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SURVEY INFORMATION
PREPARED BY: AllTerra Land Surveying Ltd.
COORDINATE SYSTEM:
COMPILED DATE: 2016/04/06

SEAL

REVISIONS			
NO.	DATE	ISSUE/REVISION	APP.
1	2016.07.25	DEVELOPMENT PERMIT	GL

PROJECT/CLIENT
4377 KENSINGTON DRIVE
LUPUL PROPERTIES LTD.

ISSUED FOR
DEVELOPMENT PERMIT

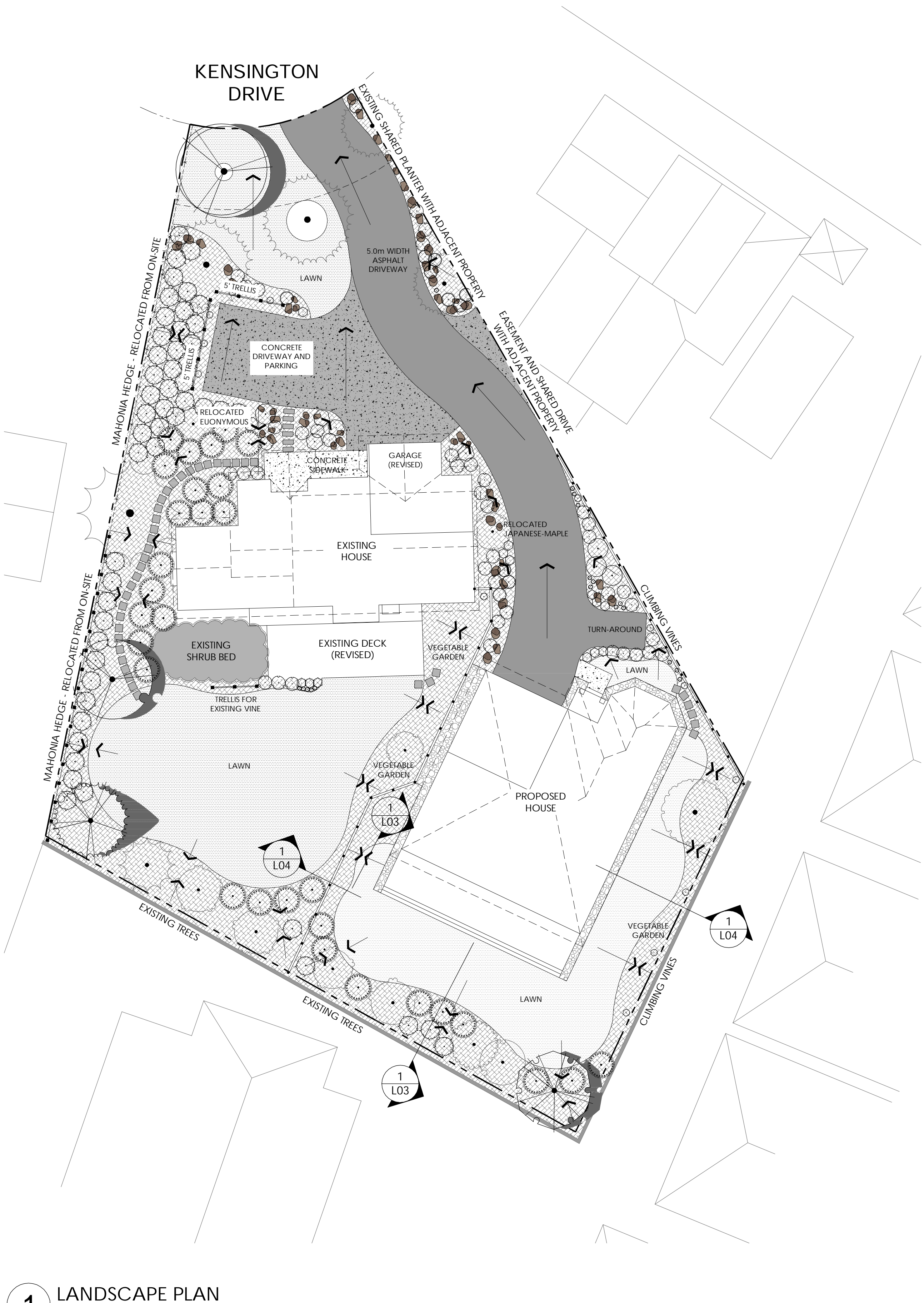
DRAWING NAME
EXISTING CONDITIONS

DRAWN BY: EB
DATE: 2016.06.06
CHECKED BY: XX
DATE: YYYY/MM/DD
APPROVED BY: GARY LUPUL
DATE: 2016.06.10
SCALE: AS NOTED
PROJECT NO: 0012.0001.01

DRAWING NO.

L01

SHEET NO. 1 of 4
REVISION NO. 1



1 LANDSCAPE PLAN
SCALE 1:200

LEGEND

- LARGE BOULDER
 - 750 X 500 X 500 mm
 - TO MATCH ADJACENT PROPERTY
- SMALL BOULDER
 - 500 X 500 X 500 mm
 - TO MATCH ADJACENT PROPERTY
- STEPPING STONE
 - 500 X 500 X 60 mm
 - CONCRETE OR NATURAL STONE
- WALKWAY STONE
 - 800 X 350 X 60 mm
 - CONCRETE OR NATURAL STONE
- RIVER ROCK MULCH C/W ALUMINIUM EDGER
 - 100 - 150 mm DIA WASHED RIVER ROCK
 - OVER 50 mm DEPTH GRANULAR BASE
- BARK MULCH
 - 75 mm DEPTH
 - OVER 450 mm DEPTH GROWING MEDIUM
- SOD
 - ECOTURF OR APPROVED EQUAL
 - OVER 150 mm DEPTH GROWING MEDIUM
- CONCRETE SIDEWALK
- ASPHALT DRIVEWAY
- CONCRETE DRIVEWAY
- PROPOSED WOOD FENCE
- PROPOSED TRELLIS
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING CONCRETE FENCE
 - FROM ADJACENT DEVELOPMENT
- DIRECTION OF SURFACE DRAINAGE
 - MIN. 2 % - MAX 30 % LANDSCAPE SURFACES

EXISTING TREES

- JAPANESE MAPLE (RELOCATED ON SITE)
- EUONYMOUS (RELOCATED ON SITE)
- MOUNTAIN ASH
- CHERRY
- BURR OAK
- MAPLE
- ELDERBERRY
- DOUGLAS FIR
- PONDEROSA PINE

PLANTING NOTES:

- KELOWNA PLANT HARDINESS ZONE 6a
- ALL PLANTS IN PLANT LIST ARE LOW TO MODERATE WATER USE
- ALL PLANT MATERIAL SHOWN AT 3/4 MATURE PLANT WIDTH
- TREES AND SHRUBS TO BE PLANTED AS PER CITY OF KELOWNA STANDARD TREE AND SHRUB PLANTING DETAILS

NOTES:

- SEE BUILDING PLANS FOR DIMENSIONED SITE LAYOUT PLAN AND FENCE DETAILS
- TIMED IRRIGATION WILL BE PROVIDED FOR EACH SEPARATE STRATA LOT TO COVER THE PLANTING ON THAT LOT
- SITE LIGHTING WILL CONSIST OF FRONT AND BACK PORCH LIGHTS ON EACH UNIT AND LIGHTS ON THE GARAGE ENTRIES; A PHOTO SENSITIVE LIGHT WILL BE LOCATED ON THE SIDE OF THE WEST HOUSE GARAGE NEXT TO THE DRIVEWAY

PLANT SCHEDULE									
TREES	QTY	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	REMARKS	VERY LOW	LOW	MEDIUM
	1	ACER X FREEMANII 'JEFFSRED' / AUTUMN BLAZE MAPLE	B@B	60 MM					X
	1	PINUS PONDEROSA / PONDEROSA PINE	B@B		3.0M HT			X	
	1	QUERCUS MACDANIELLI 'CLEMONS' TM / HERITAGE OAK	B@B	60 MM					X
	1	QUERCUS MACROCARPA / BURR OAK	B@B	60 MM			X		
SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	CONT			REMARKS	VERY LOW	LOW	MEDIUM
	39	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / FEATHER REED GRASS	#2 CONT				X	X	X
	4	EUONYMUS ALATUS 'COMPACTUS' / COMPACT BURNING BUSH	#3 CONT						X
	30	JUNIPERUS SABINA / SAVIN JUNIPER				RELOCATED FROM ON-SITE		X	X
	10	LAVANDULA ANGUSTIFOLIA 'HIDCOTE BLUE' / HIDCOTE BLUE LAVENDER				RELOCATED FROM ON-SITE		X	
	41	MAHONIA AQUIFOLIUM / OREGON GRAPE				RELOCATED FROM ON-SITE		X	
	8	PARTHENOCISSUS QUINQUEFOLIA / VIRGINA CREEPER	#1 CONT						X
	11	PENNISETUM ALOPECUROIDES / FOUNTAIN GRASS	#2 CONT				X		
	13	PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE' TM / LITTLE SPIRE RUSSIAN SAGE	#2 CONT					X	
	4	ROSA X 'NEARLY WILD' / NEARLY WILD ROSE	#3 CONT					X	
	3	WISTERIA MACROSTACHYA 'BLUE MOON' / WISTERIA	#1 CONT					X	X

BALDERSTON LANDSCAPE ARCHITECTURE LTD.
716 LAWSON AVENUE, SUITE A
KELOWNA, BC V1Y 6S8
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SURVEY INFORMATION
PREPARED BY: Allterra Land Surveying Ltd.
COORDINATE SYSTEM:
COMPILATION DATE: 2016/04/06

SEAL

REVISIONS			
NO.	DATE	ISSUE/REVISION	APP.
1	2016.07.20	DEVELOPMENT PERMIT	GL
2	2016.07.25	DEVELOPMENT PERMIT	GL

PROJECT/CLIENT

4377 KENSINGTON DRIVE

LUPUL PROPERTIES LTD.

ISSUED FOR

DEVELOPMENT PERMIT

DRAWING NAME

LANDSCAPE PLAN

NORTH

DRAWN BY: EB
DATE: 2016.06.06
CHECKED BY: XX
DATE: YYYY/MM/DD
APPROVED BY: GARY LUPUL
DATE: 2016.06.10
SCALE: 1:200
PROJECT NO: 0012.0001.01

DRAWING NO.

L02

SHEET NO. 2 of 4

REVISION NO. 2



BALDERSTON LANDSCAPE ARCHITECTURE LTD.
716 LAWSON AVENUE, SUITE A
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e: elizabeth@blastudio.ca

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1	2016.07.25	DEVELOPMENT PERMIT	GL

PROJECT/CLIENT

4377 KENSINGTON DRIVE

LUPUL PROPERTIES LTD.

ISSUED FOR

DEVELOPMENT PERMIT

DRAWING NAME

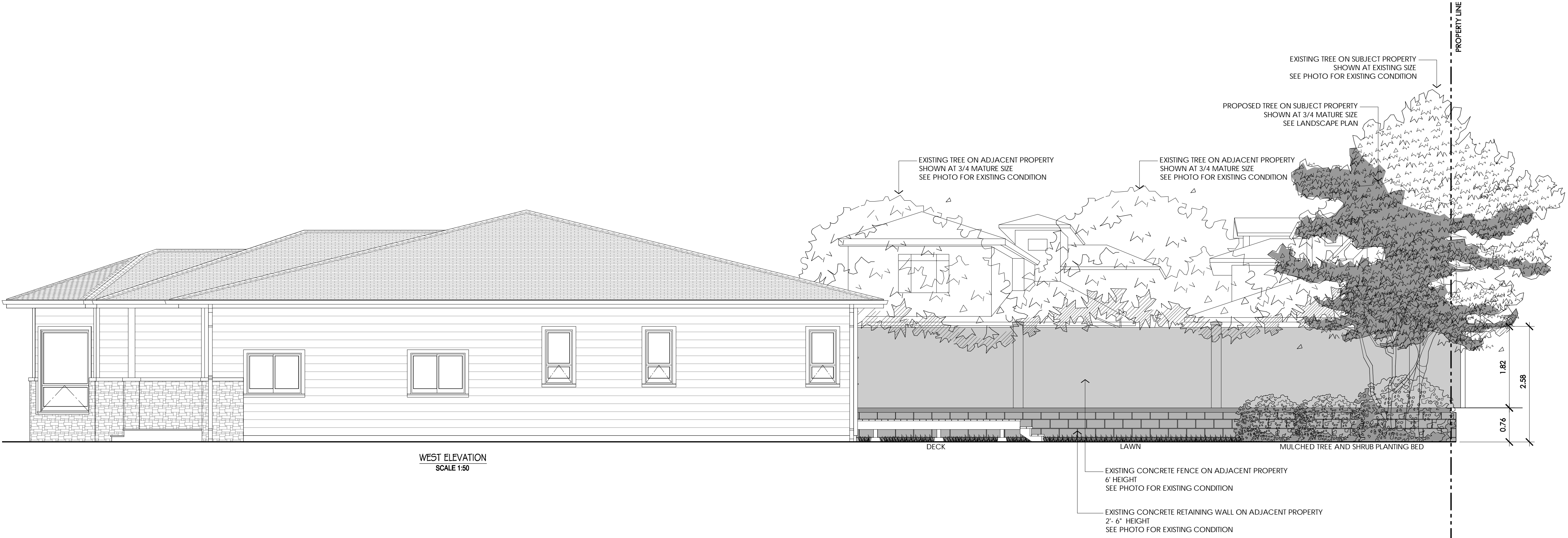
LANDSCAPE SECTION

	DRAWN BY:	EB
	DATE:	2016.07.20
	CHECKED BY:	XX
	DATE:	YYYY/MM/DD
	APPROVED BY:	GARY LUPUL
	DATE:	2016.07.20
	SCALE:	AS NOTED
PROJECT NO:		0012.0001.01

DRAWING NO.

L03

SHEET NO. REVISION NO.
3 of 4 1



WEST ELEVATION
SCALE 1:50

1 SECTION - WEST ELEVATION
1:50

P-BL-PRO-KENS-329333-02



2 PHOTO - EXISTING CONDITIONS - WEST ELEVATION
1:50

P-BL-PRO-KENS-329333-03

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COORDINATE SYSTEM:
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SEAL

REVISIONS

NO.	DATE	ISSUE/REVISION	APP.

PROJECT/CLIENT

4377 KENSINGTON DRIVE

LUPUL PROPERTIES LTD.

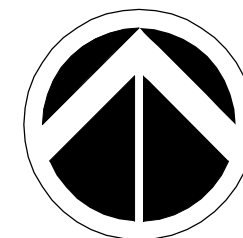
ISSUED FOR

DEVELOPMENT PERMIT

DRAWING NAME

LANDSCAPE SECTION

NORTH



DRAWN BY:	EB
DATE:	2016.07.24
CHECKED BY:	XX
DATE:	YYYY/MM/DD
APPROVED BY:	GARY LUPUL
DATE:	2016.07.24
SCALE:	AS NOTED
PROJECT NO:	0012.0001.01

DRAWING NO.

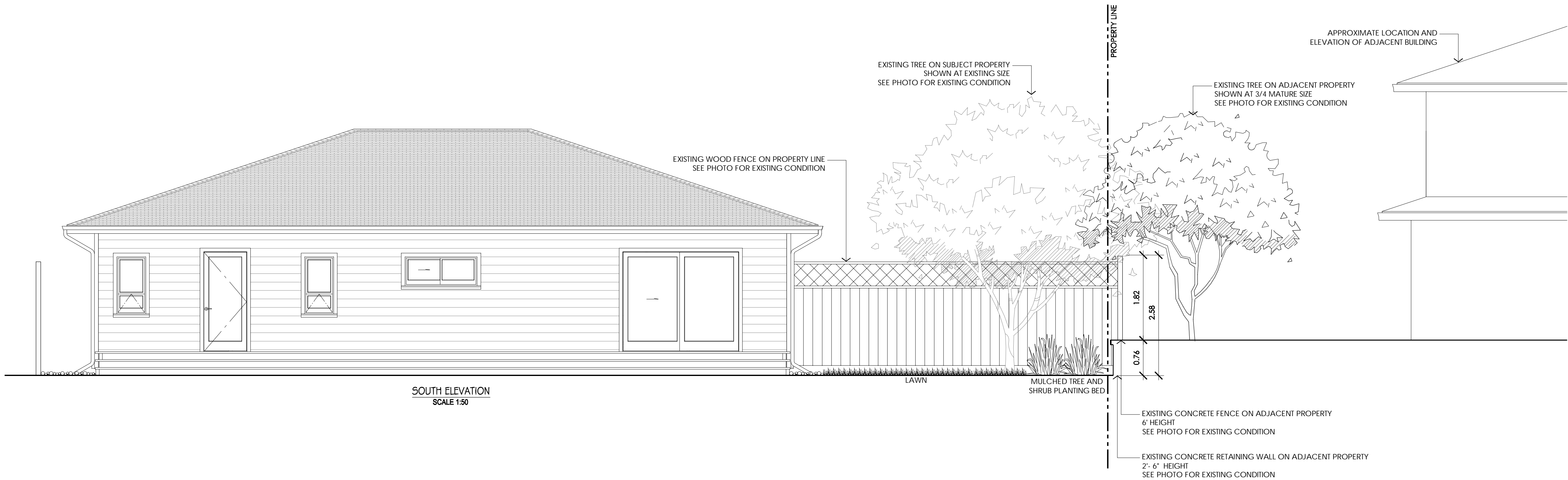
L04

SHEET NO.

REVISION NO.

4 of 4

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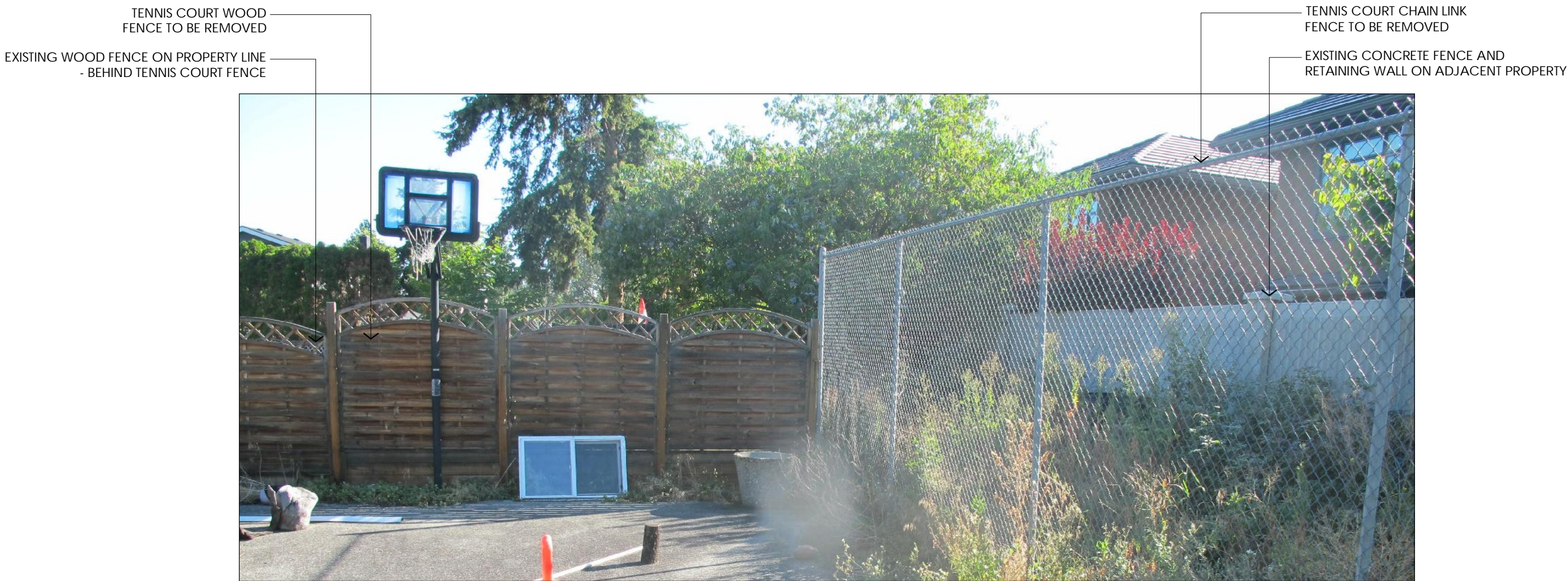


SOUTH ELEVATION
SCALE 1:50

1 SECTION - SOUTH ELEVATION

1:50

P-BL-PRO-KENS-329333-04



2 PHOTO - EXISTING CONDITIONS - SOUTH ELEVATION

1:50

P-BL-PRO-KENS-329333-05