

CITY OF KELOWNA

MEMORANDUM

Date: September 30, 2016
File No.: Z16-0056

To: Community Planning (TB)

From: Development Engineering Manager(SM)

Subject: 2273-2275 Aberdeen Street

RU6 to RM1

The Development Engineering Department has the following comments and requirements associated with this rezoning application. The road and utility upgrading requirements outlined in this report will be a requirement of this development. The Development Engineering Technologist for this project is Sergio Sartori

1. **Domestic Water and Fire Protection**

The subject property is currently serviced with two - 19mm water services. The developer will need to determine the domestic and fire protection requirements of this proposed development. Only one service will be permitted for this development. The applicant will arrange for the disconnection of the existing services and the installation of a new larger service. The disconnection of the existing small diameter water services and the tie-in of a larger new service can be provided by City forces at the developer's expense. One metered water service will supply the development. The applicant will be required to sign a Third Party Work Order for the cost of the water service upgrades. For estimate inquiry's please contact Sergio Sartori, by email ssartori@kelowna.ca or phone, 250-469-8589.

2. **Sanitary Sewer**

Our records indicate that this property is currently serviced with a 100mm-diameter sanitary sewer service which is acceptable for this development.

3. **Road Improvements**

Aberdeen St must be upgraded to an urban standard along the full frontage of this proposed development, including curb and gutter, drainage system including catch basins, manholes and pavement removal and replacement, street lighting and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction. A one-time cash payment in lieu of construction must be collected from the applicant for future construction by the City. The cash-in-lieu amount is determined to be **\$10,850.00** not including utility service cost.

- (a) Only the service upgrades must be completed at this time. The City wishes to defer the upgrades to Aberdeen St. fronting this development. Therefore, cash-in-lieu of immediate construction is required and the City will initiate the work later, on its own construction schedule.

Item	Cost
Drainage	\$ 3,625.00

Curb & Gutter	\$ 1,956.00
Sidewalk	\$ 2,445.00
Road Fillet	\$ 1,797.00
Blvd Landscaping	\$ 367.00
Street Lighting	\$ 660.00
Total	\$10,850.00

4. Subdivision

- (a) Grant Statutory Rights of Way if required for utility services.
- (b) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager

5. Development Permit and Site Related Issues

Direct the roof drains into on-site rock pits or splash pads.
Driveway access is permitted from the lane only.

6. Electric Power and Telecommunication Services

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

7. Bonding and Levy Summary(a) Levies

1. Aberdeen Street frontage improvements **\$10,850.00**

(b) Bonding

1. Service upgrades To be determined



Sergio Sartori
Development Engineering Technologist



Development Engineering Manager
(initials)

BP 31946

2273 Aberdeen St

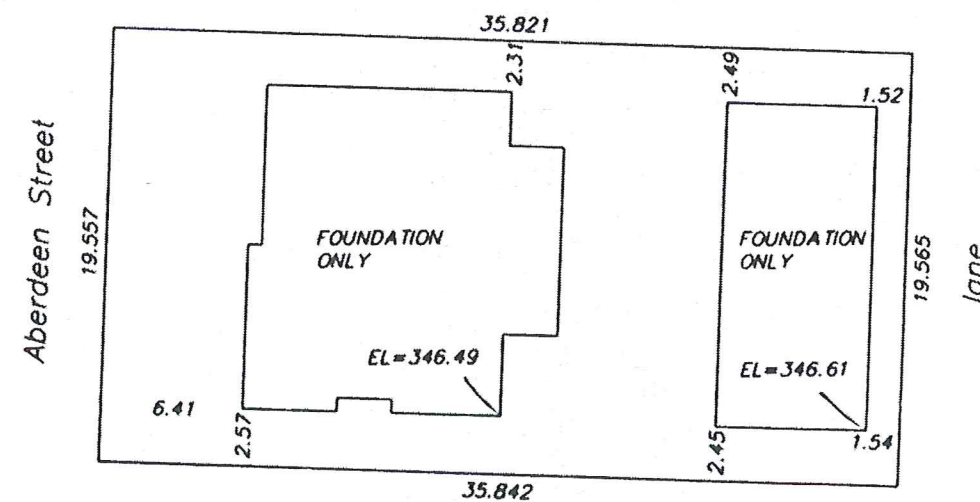
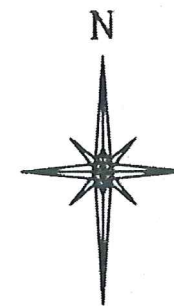
HS

**B.C. LAND SURVEYOR'S CERTIFICATE OF
LOCATION OF BUILDING ON LOT A
PLAN KAP81322 DL 136 O.D.Y.D.**

SCALE 1:300

DISTANCES ARE IN METRES.

AUG 04 2006

CITY OF KELLOWNA
Inspection Services Dept

©

THIS DOCUMENT IS NOT VALID UNLESS
ORIGINALLY SIGNED AND SEALED.

CERTIFIED CORRECT

this 2nd day of August, 2006.

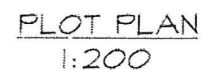
D.A. Goddard BCLS

FILE 13728 FB 305**RE: D. PARKER**

THIS PLAN IS FOR MORTGAGE OR
MUNICIPAL PURPOSES ONLY AND IS
NOT TO BE USED TO DEFINE THE
BOUNDARIES OF THIS LOT.

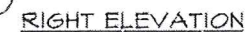
D.A. Goddard Land Surveying Inc.
103-1358 ST. PAUL STREET KELOWNA

Oct 4/06 BP 31946 = 2273-2275 Aberdeen St



EXACT BUILDING
LOCATION TO BE
DETERMINED &
CONFIRMED ON SITE

LOT A
700.9 m2
(LOT 13)



TANER

* BAXTER DESIGN & SHANE BAXTER shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.

* BAXTER DESIGN & SHANE BAXTER makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and subtrades to check and verify all dimensions and details before commencing with the installing of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.


BAXTER DESIGN
Custom Building Design
1790B K.L.O. Road
KELOWNA, B.C.
V1W 3P3
ph: (250) 862-9662
email: baxterdesign@shaw.ca

LOT A - ABERDEEN ST.
DUPLEX PLAN
KELOWNA, B.C.

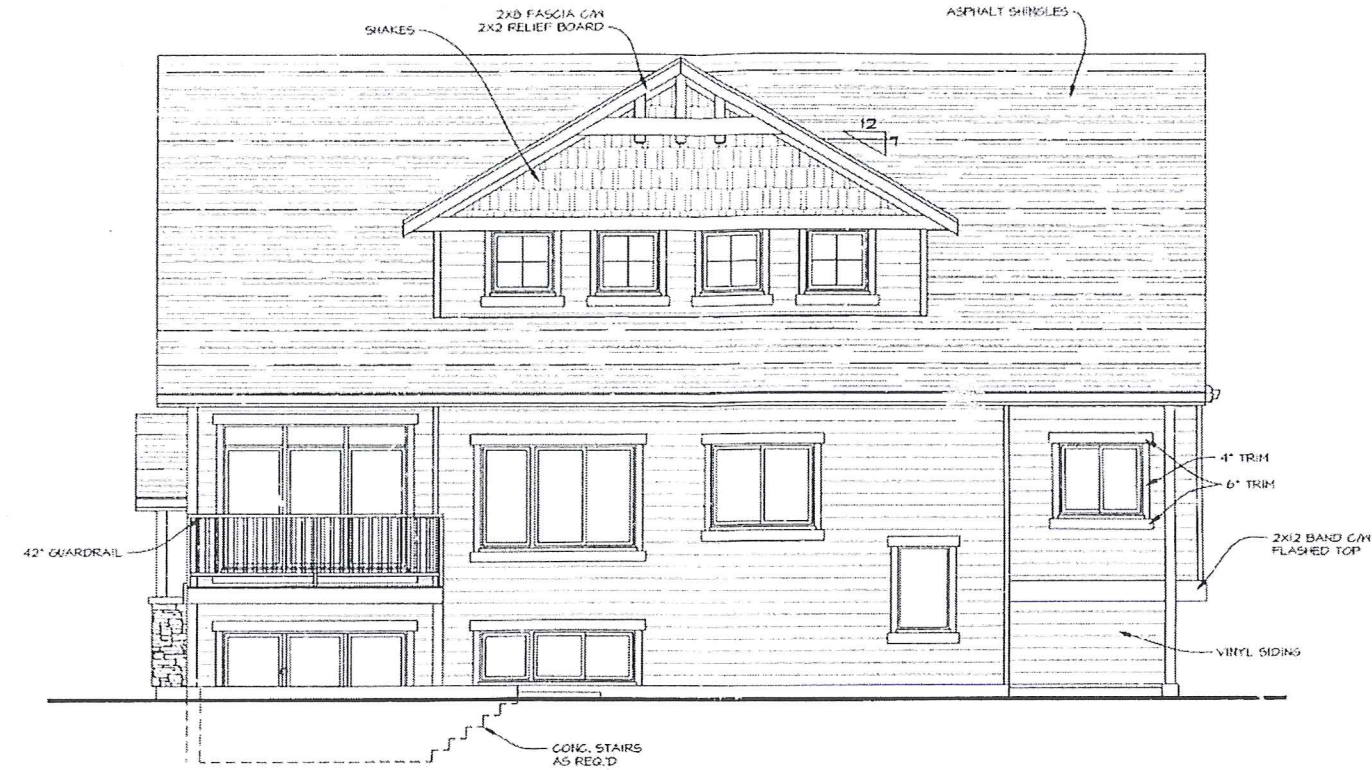
DRAWING SCALE: 1/4" = 1'-0"

DATE: MAY 5 / 06

REV. DATE(S):

DRN. BY: S.H.B.

1/8



REAR ELEVATION



LEFT ELEVATION

ERRORS AND OMISSIONS

- BAXTER DESIGN & SHANE BAXTER shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- BAXTER DESIGN & SHANE BAXTER makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

BAXTER DESIGN
Custom Building Design
17408 K.L.O. Road
KELOWNA, B.C.
V1W 3P3
ph: (250) 862-9662
email: baxterdesign@shaw.ca

LOT A - ABERDEEN ST.
DUPLEX PLAN
KELOWNA, B.C.

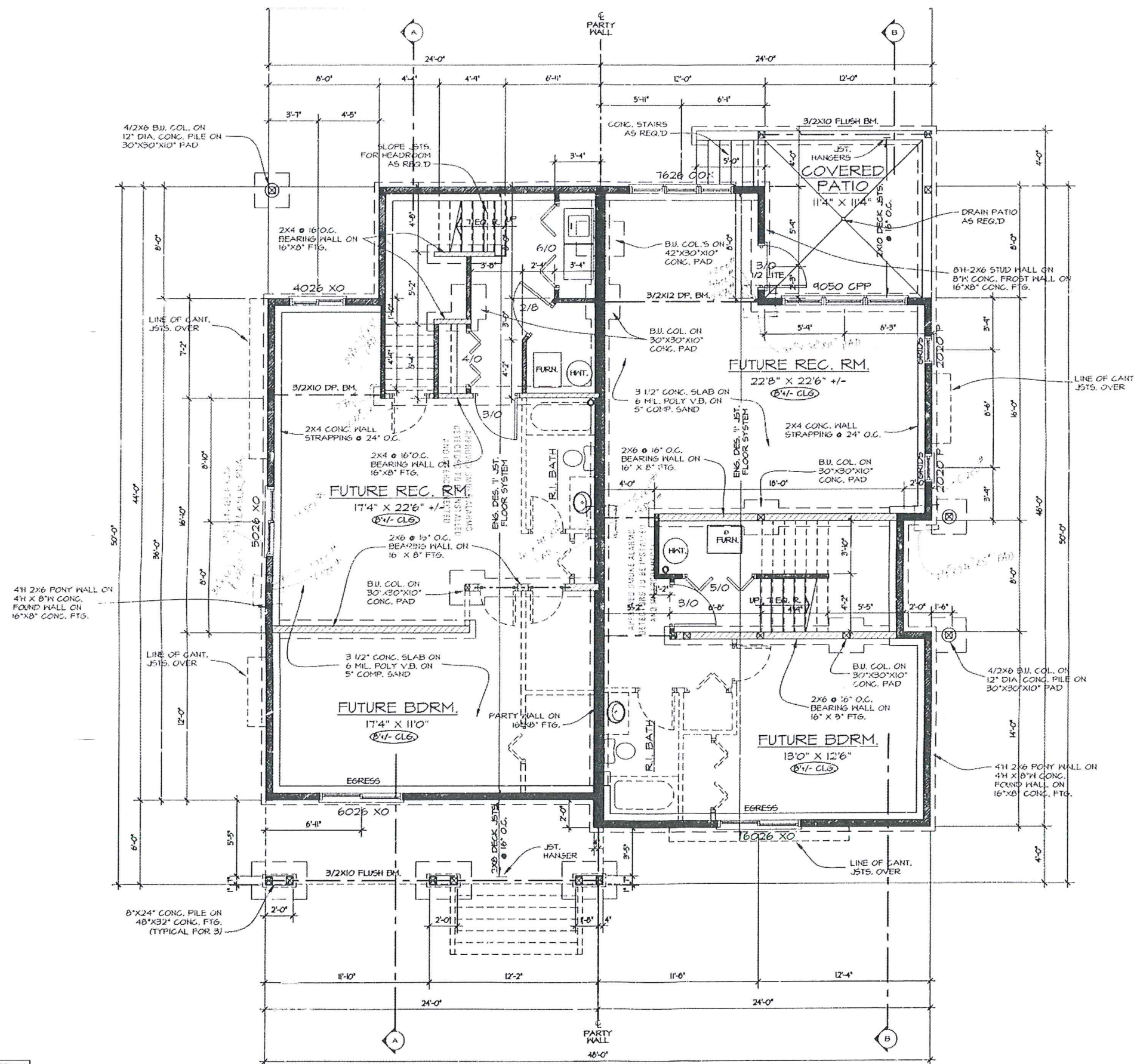
DRAWING SCALE: 1/4" = 1'-0"

DATE: MAY 5 / 06

REV. DATE(S):

DRN. BY: S.H.B.

2/6



OMISSIONS

I shall not be responsible for any variances and specifications, or adjustments required in the field at the job site, and is the sole contractor.

I makes every effort to provide complete and correct information. However, we assume no liability for any omissions or errors. It is the responsibility of the sub-trades to check and verify all dimensions and details on these plans and make the necessary corrections.

UNIT 'A'
BASEMENT / FOUNDATION PLAN
DEVELOPED & FUTURE DEVELOPED AREA 900 SQ.FT.

UNIT 'B'
BASEMENT / FOUNDATION PLAN
DEVELOPED & FUTURE DEVELOPED AREA 910 SQ.FT.



BAXTER DESIGN
Custom Building Design

17908 K.L.O. Road
KELOWNA, B.C.
V1W 3P3

ph: (250) 862-3662
email: baxterdesign@shaw.ca

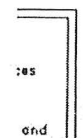
LOT A - ABERDEEN ST.
DUPLEX PLAN
KELOWNA, B.C.

DRAWING SCALE: 1/4" = 1'-0"

DATE: MAY 5 / 06

REV. DATE(S):

DRN. BY: S.H.B.



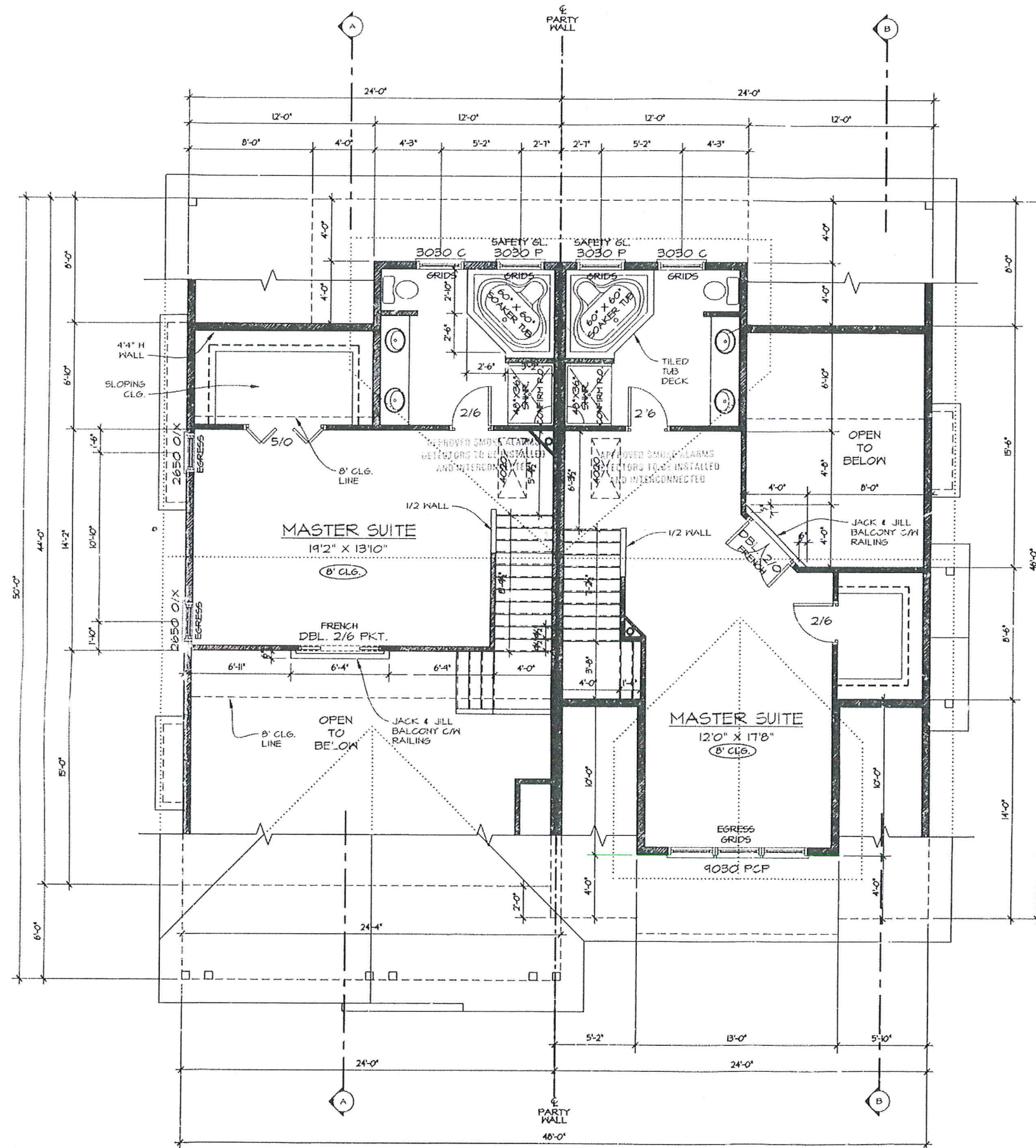

BAXTER DESIGN
Custom Building Design

1790B K.L.O. Road
KELOWNA, B.C.
V1W 3P3
ph: (250) 862-9662
email: baxterdesign@shaw.ca

LOT A - ABERDEEN ST.
DUPLEX PLAN
KELOWNA, B.C.

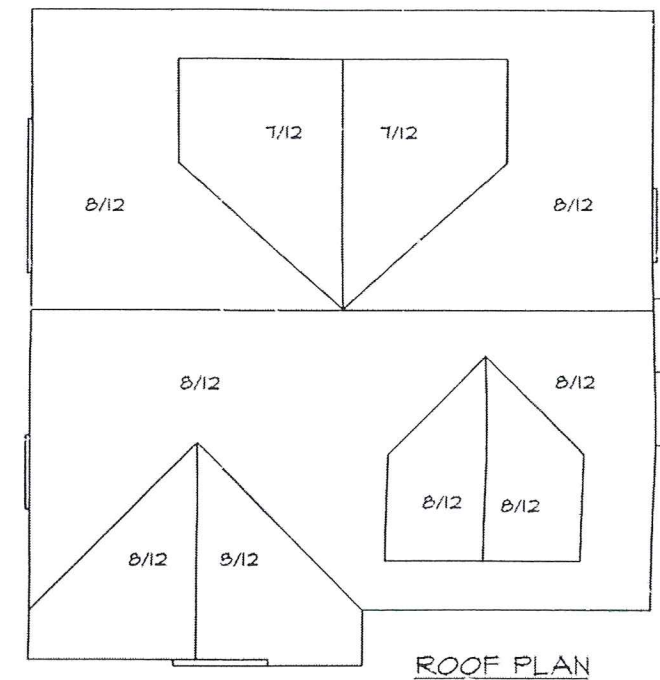
DRAWING SCALE: 1/4" = 1'-0"

DATE: MAY 5 / 06

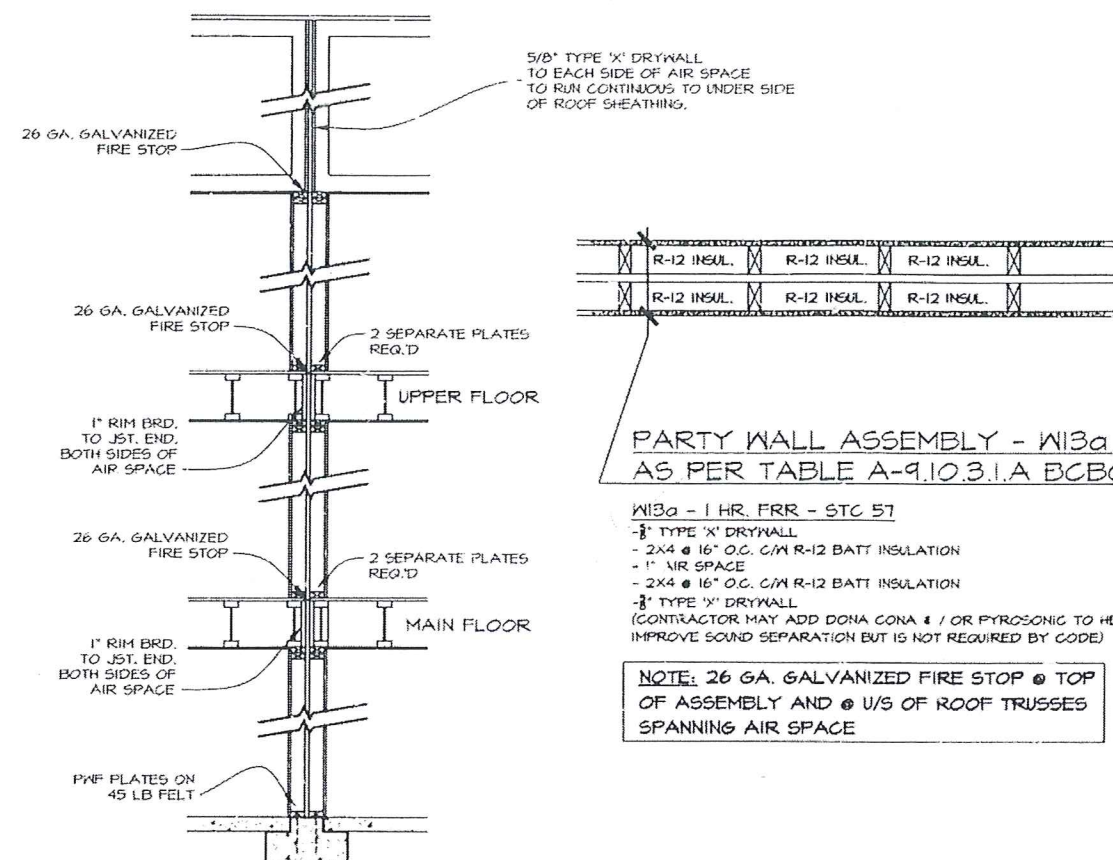
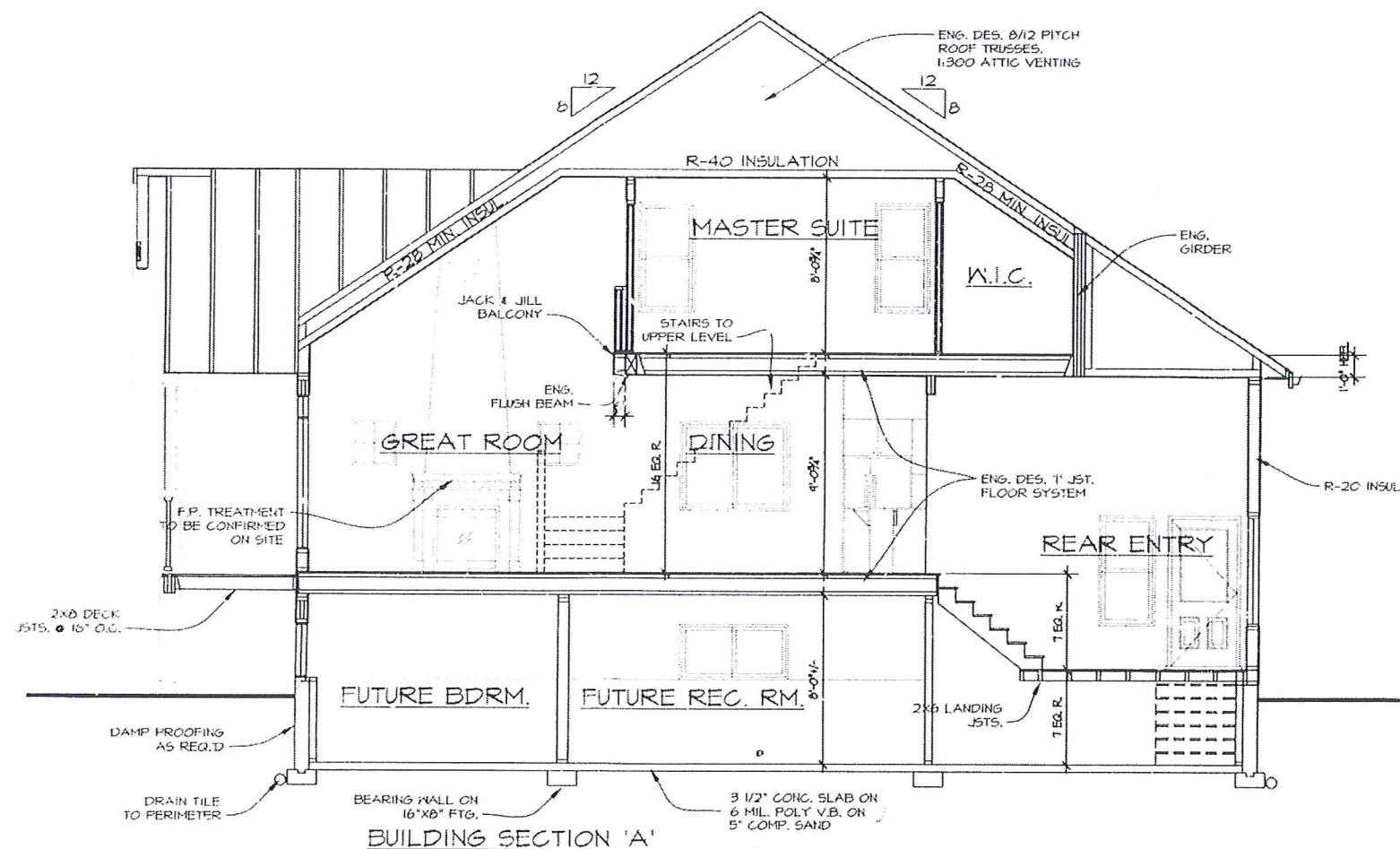


UNIT 'A'
UPPER FLOOR PLAN 532 SQ.FT.

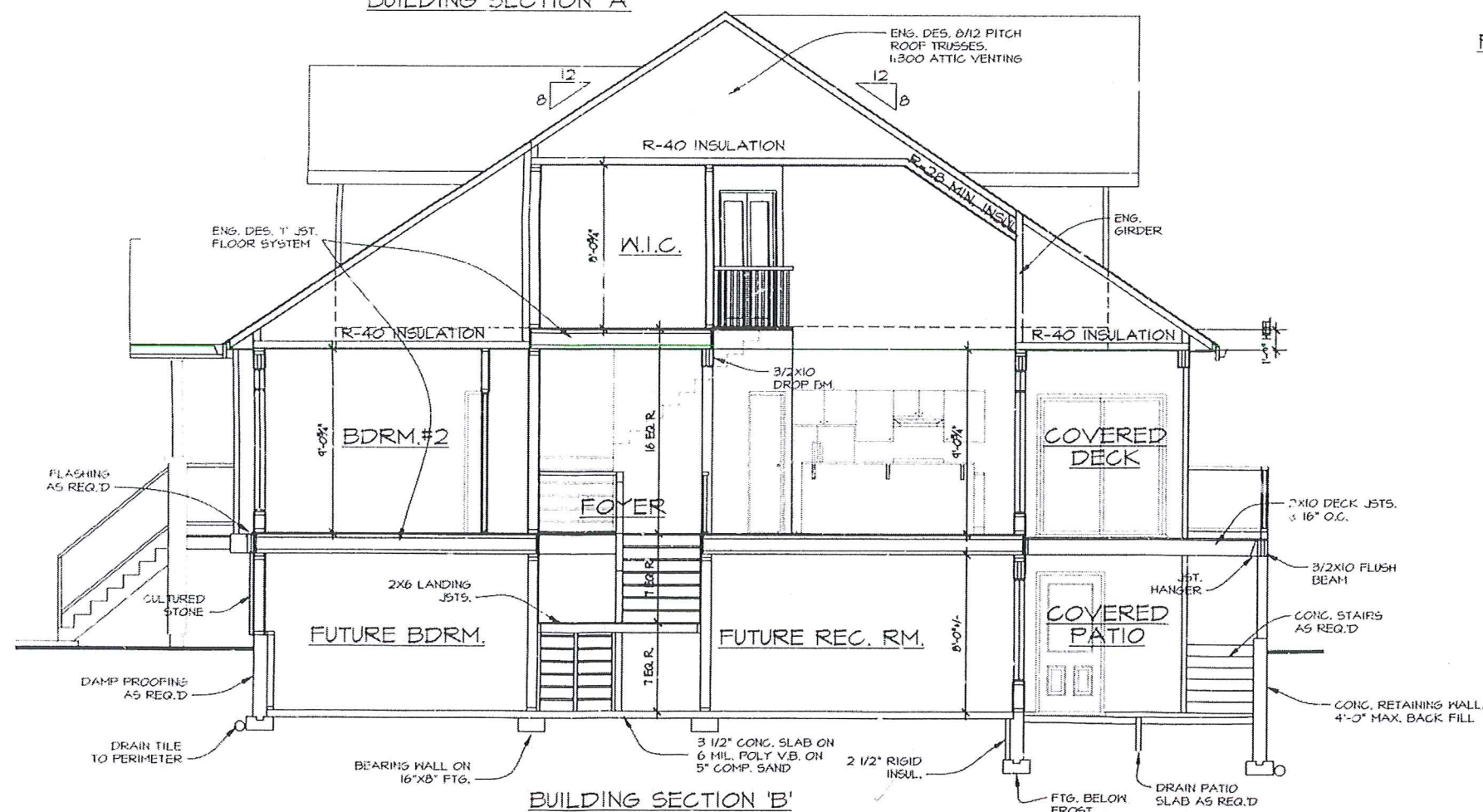
UNIT 'B'
UPPER FLOOR PLAN 524 SQ.FT.



ROOF PLAN



PARTY WALL SECTION



ROOF CONSTRUCTION

- ASPHALT SHINGLES
- 30# ROOFING FELT
- 7/16" O.S.B. ROOF SHEATHING
- C/M 'H' CLIPS
- ENGINEER DESIGNED ROOF TRUSS SYSTEM
- R-40 INSULATION
- 6 MIL. POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD

INTERIOR WALL CONSTRUCTION

- 1/2" GYPSUM BOARD TO BOTH SIDES OF 2x4 SPRUCE STUDS @ 16" O.C.

INTERIOR FLOOR CONSTRUCTION

- FINISHED FLOORING
- 1/4" UNDERLAY (STURDI-WOOD) @ LINO AREAS
- 5/8" T.G. SPRUCE PLYWOOD SUB-FLOOR
- ENGINEER DESIGNED FLOOR SYSTEM
- 1/2" GYPSUM BOARD TO FINISHED AREAS

BASEMENT SLAB

- 3 1/2" CONC. SLAB @ 20 MPa
- 6 MIL. POLY. VAPOUR BARRIER
- 5" COMPACTED GRANULAR FILL

EXTERIOR WALL CONSTRUCTION

- HORIZONTAL VINYL SIDING
- PERMAX PAPER
- 3/8" O.S.B. WALL SHEATHING
- 2x6 SPRUCE STUDS @ 24" O.C.
- R-20 INSULATION
- 6 MIL. POLY VAPOUR BARRIER
- 1/2" GYPSUM BOARD

STAIR CONSTRUCTION

- EQUAL RISERS OF 5/8" PLYWOOD AS INDICATED
- 9 1/2" RUN
- 10 1/2" TREADS OF 1" O.S.B.
- 2x12 STRINGERS
- 2'-8" HANDRAIL HEIGHT

UNIT 'A'

PORCH CONSTRUCTION

- 5/4"x6" SUNPINE SPACED DIMENSIONAL DECKING
- 2x8 SPRUCE DECK JOISTS @ 16" O.C.

UNIT 'B'

DECK CONSTRUCTION

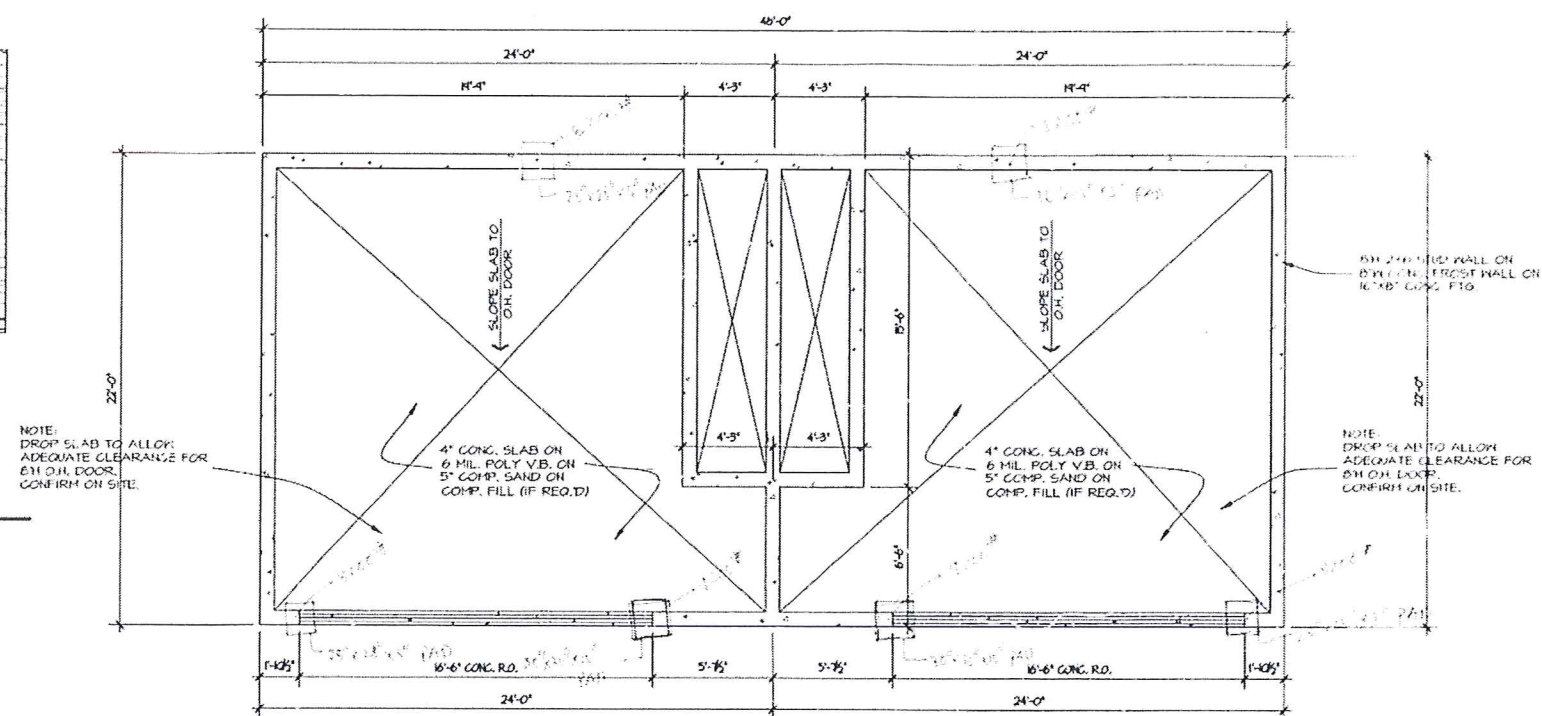
- WEATHER PROOF MEMBRANE
- 5/8" T.G. SPRUCE PLYWOOD DECKING
- 2x10 SPRUCE DECK JOISTS @ 16" O.C.

VINYL
FORMS

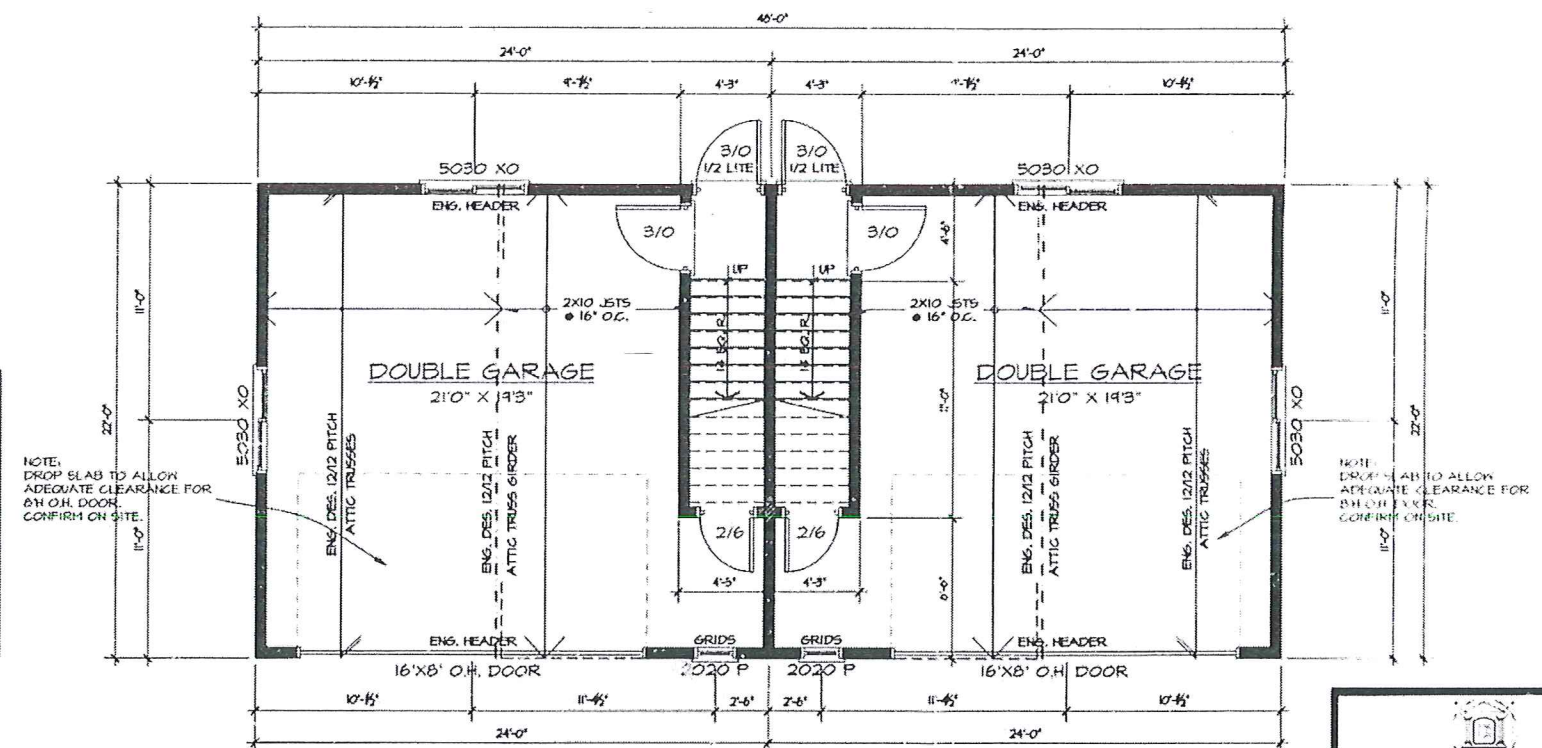
FRONT ELEVATION

SIDE ELEVATION

REAR ELEVATION



FOUNDATION PLAN



MAIN FLOOR PLAN

ERRORS AND OMISSIONS

* BAXTER DESIGN & SHANE BAXTER shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.

* BAXTER DESIGN & SHANE BAXTER makes every effort to provide complete and accurate construction drawings. However, we assume no liability for errors or omissions which may occur. It is the responsibility of the contractor to check and verify all dimensions and details before commencing with their portion of the work. Should any discrepancies or errors be found, the contractor is to please advise our office so we can make the necessary corrections.


BAXTER DESIGN
Custom Building Design
1790B K.L.O. Road
KELOWNA, B.C.
V1W 3P3
ph: (250) 862-9662
email: baxterdesign@shaw.ca

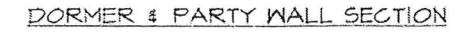
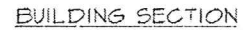
LOT A - ABERDEEN ST.
4 CAR GARAGE
KELOWNA, B.C.

DRAWING SCALE: 1/4" = 1'-0"

DATE: MAY 5 / 06

REV. DATE(S):

ORN. BY: S.H.B.

 $\frac{2}{2}$

