

160 Highway 33 W, Kelowna, British Columbia

Jordan Kutev Architect Inc.
180 - 2250 Boundary Road,
Burnaby, British Columbia
V5M 3Z3
Tel.: 604 299 3222
Fax: 604 299 3826
www.jka.cc

**Greenway
Landscape Architecture**
2280 Park Crescent,
Coquitlam, British Columbia
V3J 6T4
Tel.: 604 461 9120
Email: paul@greenwayla.ca

- L-1 LANDSCAPE PLAN



Project Name: Retail / Distillery Civic address: 160 Highway 33 W, Kelowna, British Columbia		
Legal Description: Lot A Section 26 Township 26 Land District 41 Plan 74060 Proposed Zoning: C4 Site area: 35850.02 sq.ft. [3330.57 sq.m.]		
	Allowed / required	Proposed
Uses	Breweries and Distillery, minor	Retail / Distillery
Main Floor		
Site coverage	75.00%	Surface Coverage 2651.50 sq. ft. [246.33 sq.m.] 7.39%
Building Height	49.21 ft. [15.00 m.] or 4 Storeys	14.50 ft. [4.42 m.] 1 Storey
Setbacks		
Front	0.00 ft. [0.00 m.]	0.00 ft. [0.00 m.]
Side (East)	0.00 ft. [0.00 m.]	21.00 ft. [6.40 m.]
Side (West)	0.00 ft. [0.00 m.]	0.00 ft. [0.00 m.]
Rear	0.00 ft. [0.00 m.]	319.75 ft. [97.45 m.]
Floor Area Ratio (FAR)	1	0.07
Total Floor Area	35850.02 sq.ft. [3330.57 sq.m.]	2651.50 sq.ft. [246.33 sq.m.]
Off-Street Parking Spaces	5 Parking spaces	5 Parking spaces 4 Full Size Vehicle Parking 1 Accessible Parking
Commercial	1.75 per 1076.39 sq.ft. [100 sq.m.] GFA	4 Full Size Vehicle Parking
Accessible Parking Spaces Commercial	1 Accessible Parking Space	1 Accessible Parking Space
Off-Street Loading Spaces Commercial	1 Loading space	1 Loading space
Bicycle Parking Spaces Commercial Class I	1 Bicycle Parking space 0.20 per 1076.39 sq.ft. [100 sq.m.] GFA or 1 per 10 Employees	1 Bicycle Parking space
Class II	2 Bicycle Parking spaces 0.60 per 1076.39 sq.ft. [100 sq.m.] GFA	2 Bicycle Parking spaces

NORTH

jordan kutev
architect inc

l 604 299 3222
f 604 299 3826
e info@jka.cc
180 - 2250 boundary road
burnaby bc v5m 3z3
www.jka.cc

PRIME CONSULTANT

CONSULTANT

SEARCH

29MAR2016	ISSUED FOR REZONING AND DEVELOPMENT PERMIT
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NO	DATE	REMARKS
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Retail / Distillery

160 Highway 33 W
Kelowna, British Columbia

DRAWING LISTS
PROJECT STATISTICS
OVERALL SITE PLAN

REZONING APPLICATION
DEVELOPMENT PERMIT

A151

SCALE:
1" = 20'

DRAWN BY:
MP

PROJECT NO: 1500

DATE:

CHECKED BY:
JK



1 EXISTING
SOUTH ELEVATION & ADJACENT WEST PROPERTY
SCALE: NTS



2 EXISTING
SOUTH ELEVATION / EAST ELEVATION / DRIVEWAY
SCALE: NTS



3 EXISTING
DRIVEWAY / EXISTING REAR GRAVEL AREA
SCALE: NTS



4 EXISTING
SOUTH ELEVATION & ADJACENT EAST PROPERTY
SCALE: NTS



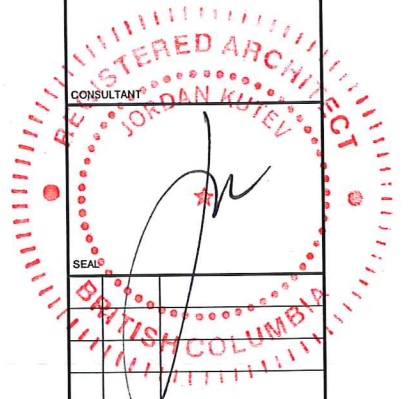
5 EXISTING
SOUTH ELEVATION & ADJACENT WEST PROPERTY
SCALE: NTS

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INFORMATION RELATING TO THESE DRAWINGS.

jordan kutev
architect inc

t 604 299 3222
f 604 299 3826
e info@jka.cc
180-2250 boundary road
burnaby bc v5m 3z3
www.jka.cc

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1 29MAR2015 ISSUED FOR REZONING AND DEVELOPMENT PERMIT

NO DATE REMARKS

Retail / Distillery

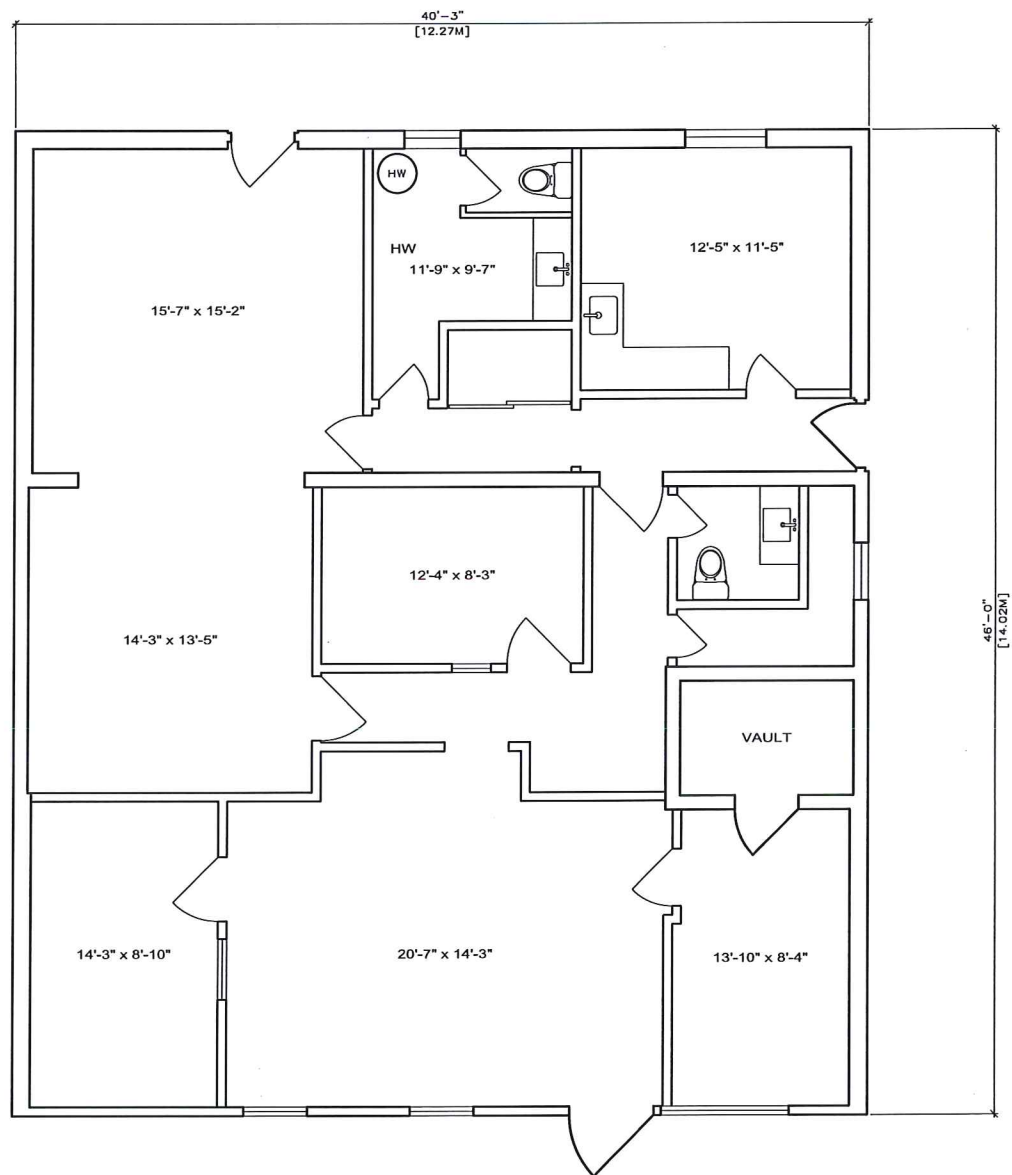
160 Highway 33 W
Kelowna, British Columbia

EXISTING PHOTOS

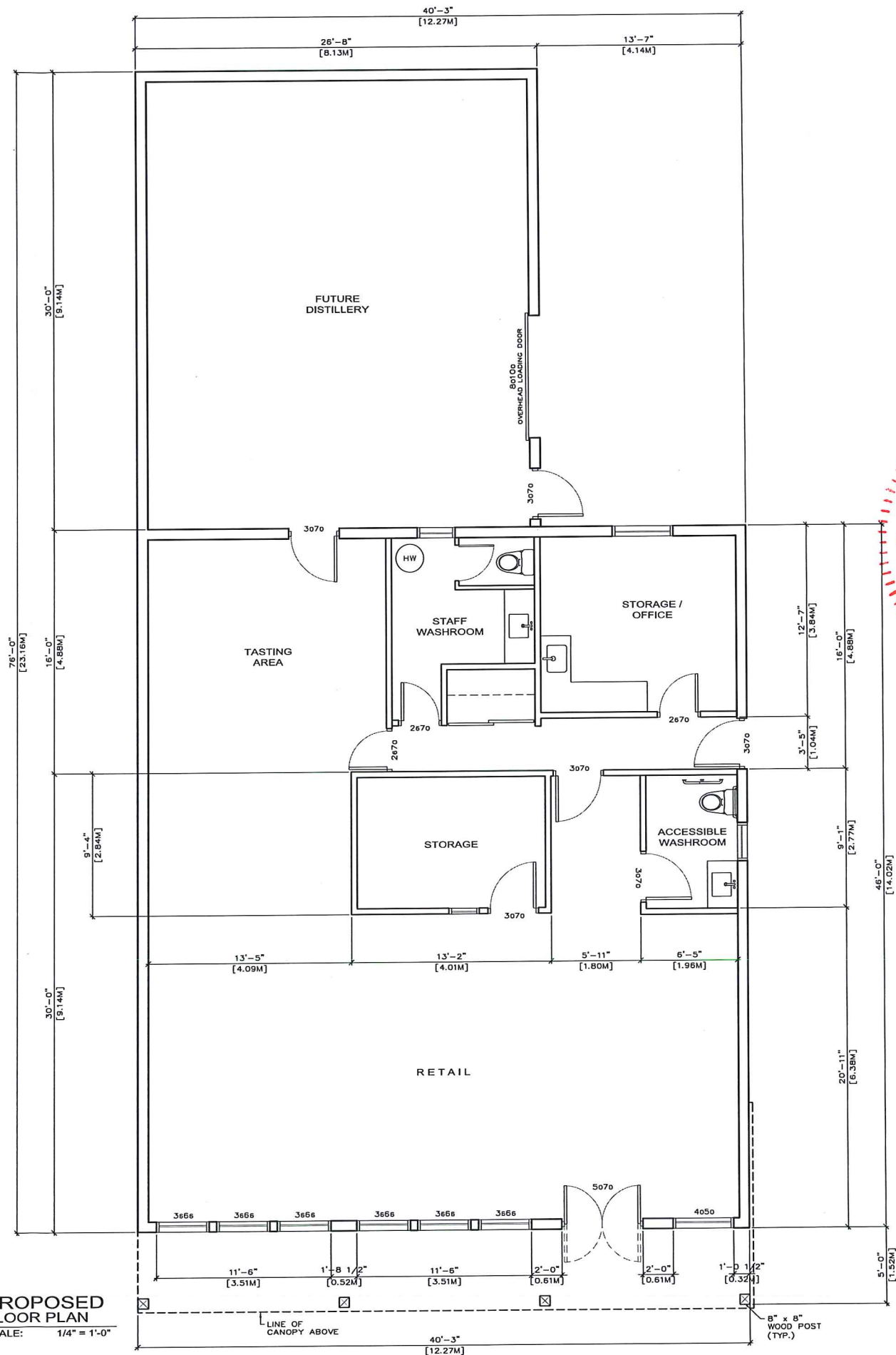
REZONING APPLICATION
DEVELOPMENT PERMIT

A153

SCALE: NTS	PROJECT NO: 1526
DRAWN BY: MP	DATE: NOV2015
CHECKED BY: JK	



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NORTH

jordan kutev
architect inc

1 604 299 3222
f 604 299 3826
e info@jka.cc
180-2250 boundary road
burnaby bc v5m 3z3
www.jka.cc

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NO DATE REMARKS

Retail / Distillery

160 Highway 33 W
Kelowna, British Columbia

EXISTING FLOOR PLAN
PROPOSED FLOOR PLAN

REZONING APPLICATION
DEVELOPMENT PERMIT

A211

SCALE: 1/4" = 1'-0"

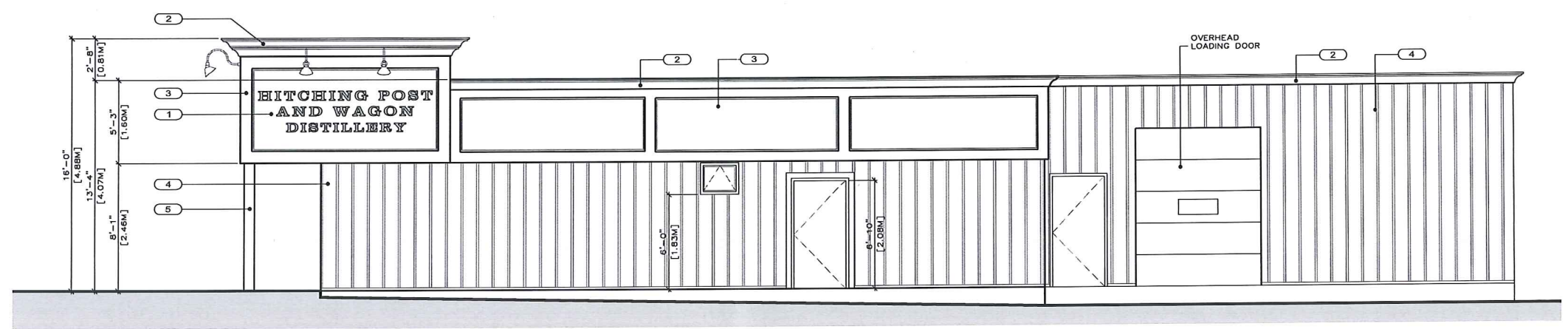
PROJECT NO: 1526

DRAWN BY: MP DATE: NOV2015

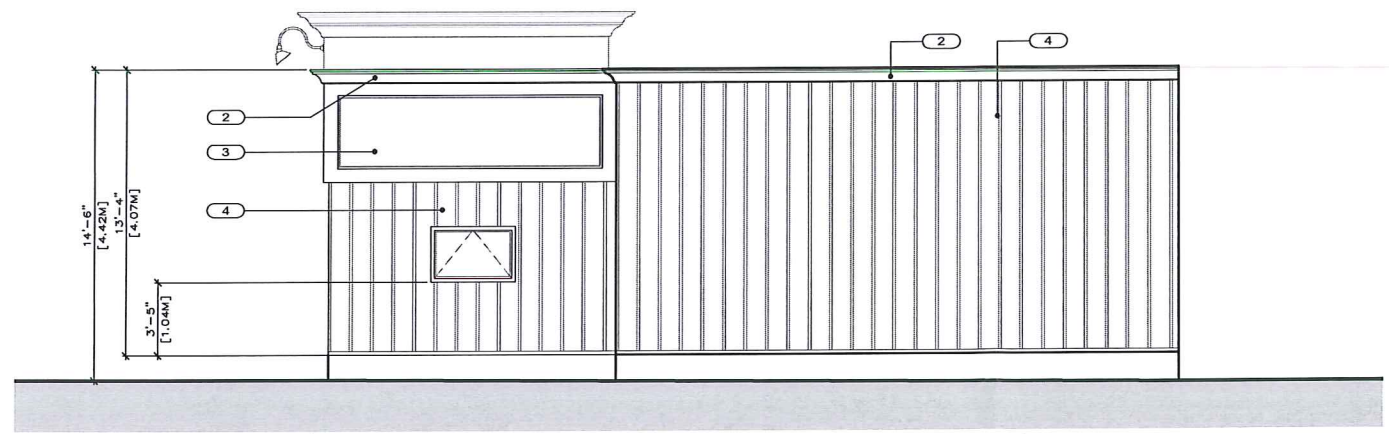
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1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



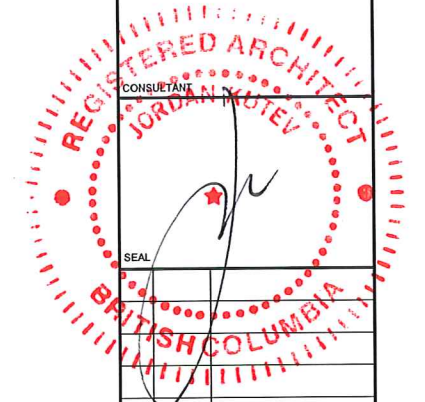
3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

- EXTERIOR FINISH LEGEND**
- 1 SIGNAGE
 - 2 WOOD CORNICE
STAINED & VARNISHED
 - 3 WOOD PARAPET WALL
STAINED & VARNISHED
 - 4 WOOD BOARD & BATTEN
 - 5 WOOD COLUMN
STAINED & VARNISHED
 - 6 DOUBLE GLAZED DOOR/WINDOW
IN VINYL FRAME
with 4" WOOD TRIM

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jordan kutev
architect inc
404 299 3222
404 299 3826
info@jka.cc
180-2250 boundary road
burnaby bc v5m 3z3
www.jka.cc

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NO DATE REMARKS

Retail / Distillery

160 Highway 33 W
Kelowna, British Columbia

BUILDING ELEVATIONS

REZONING APPLICATION
DEVELOPMENT PERMIT

A401

SCALE: 1/4" = 1'-0"
PROJECT NO: 1526
DRAWN BY: MP
DATE: NOV2015
CHECKED BY: JK

PLANT LIST - Distillery - 160 Hwy 33 W

updated March 29, 2016

SYMBOL	TOTAL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
TREES					
6	Amelanchier alnifolia	Saskatoon	1.5m tall multi-stem		
1	Parrotia persica	Persian Ironwood	6cm cal., B&B multi-stem		
SHRUBS					
10	Cornus alba 'Prairie Fire'	Prairie Fire Dogwood	#1 pot	900 o.c.	
9	Hydrangea arborescens Annabelle	Anabelle Hydrangea	#1 pot	900 o.c.	
15	Mahonia aquifolium	Oregon Grape	#1 pot	750 o.c.	
15	Potentilla fruticosa 'Gold Star'	Gold Star Shrubby Cinquefoil	#1 pot	700 o.c.	
15	Physocarpus opulifolius 'Diablo'	Diablo Ninebark	#1 pot	850 o.c.	
8	Polystichum munitum	Sword Fern	#1 pot	700 o.c.	
15	Salix purpurea 'Nana'	Dwarf Arctic Willow	#1 pot	600 o.c.	
3	Yucca glauca	Small Soapweed	#1 pot	500 o.c.	
2	Syringa x prestoniae 'Donald Wyman'	Donald Wyman Preston Lilac	#2 pot	1200 o.c.	
GROUND COVERS					
21	Microbiota decussant	Russian Cypress	#1 pot	600 o.c.	
ORNAMENTAL GRASSES					
9	Arrhenatherum variegatum	Variegated Oat Grass	#1 pot	400 o.c.	
36	Calamagrostis Karl Foerster	Karl Foerster Reed Grass	#1 pot	600 o.c.	
47	Panicum virgatum	Switch Grass	#1 pot	500 o.c.	
PERENNIALS					
Ep	Erigeron 'Pink Jewel'	Pink Jewel Fleabane	#1 pot	400 o.c.	

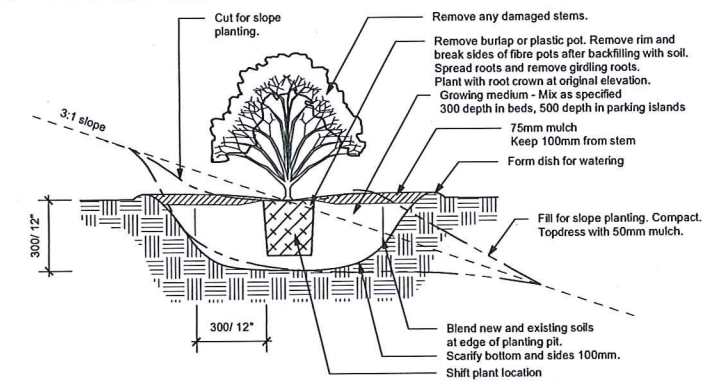
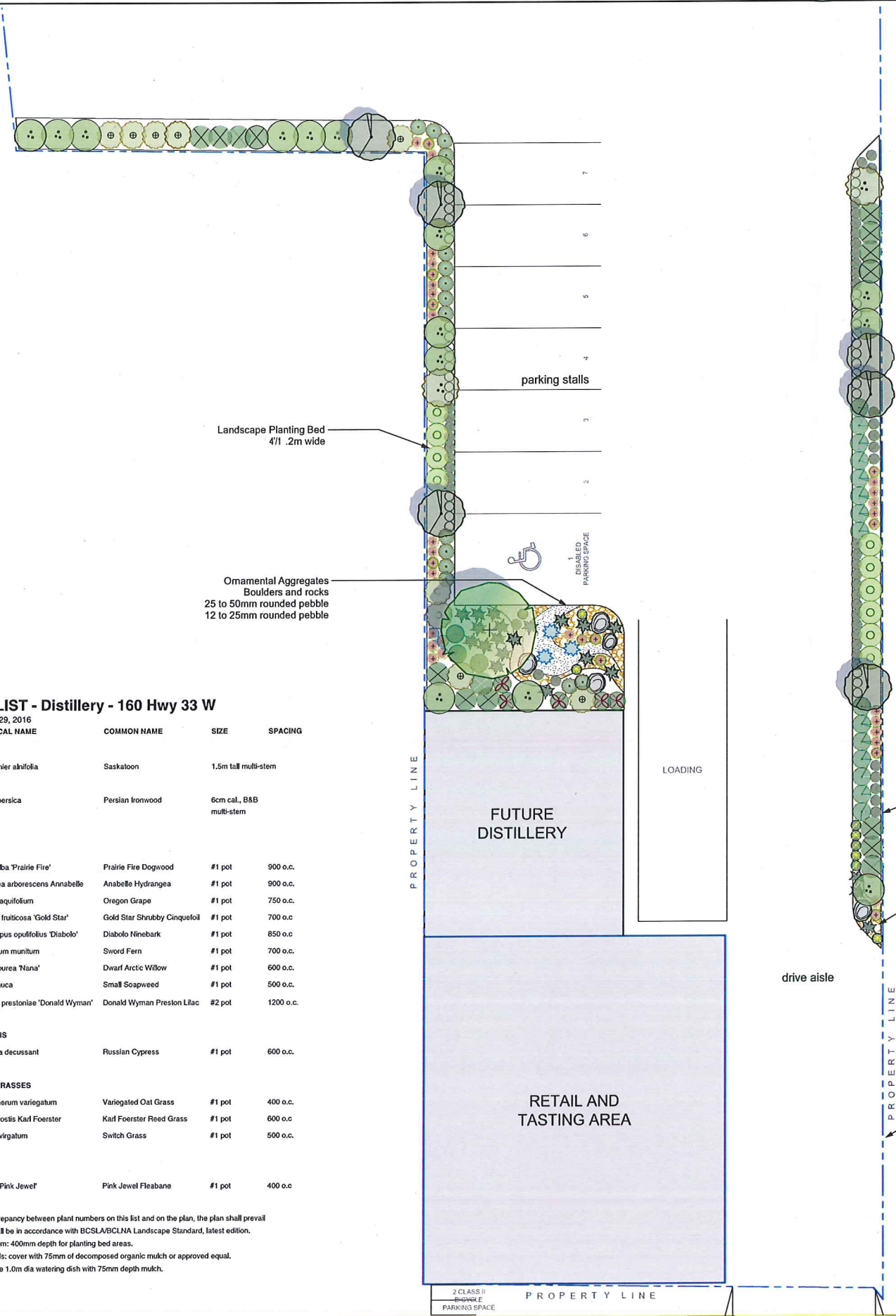
NOTES:

- 1) In case of discrepancy between plant numbers on this list and on the plan, the plan shall prevail
- 2) All planting shall be in accordance with BCSLA/BCLNA Landscape Standard, latest edition.
- 3) Growing medium: 400mm depth for planting bed areas.
- 4) All planting beds: cover with 75mm of decomposed organic mulch or approved equal.
- 5) All trees to have 1.0m dia watering dish with 75mm depth mulch.

1 Landscape Plan

1" = 8' - 0"

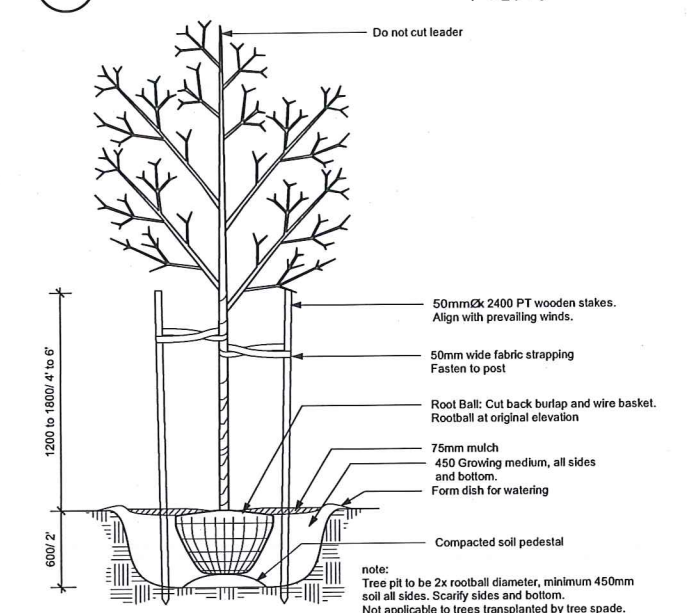
HIGHWAY 33



Note:
Planting and plant material in accordance with latest BCSLA/BCLNA Landscape Standard.
Soil depth for shrubs 300mm depth plus 300mm around all sides.
Planting soil depth to be continuous in planting beds.

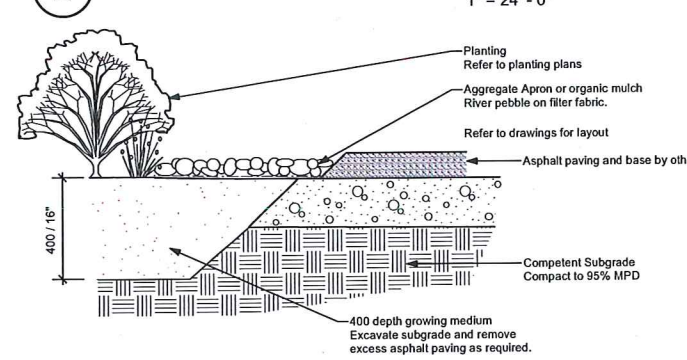
1 Shrub Planting

1" = 24' - 0"



2 Tree Planting

1" = 24' - 0"



3 Parking Area Planting

not to scale

GENERAL NOTES

1. All work to satisfaction of the Owner.
2. All work in compliance with City of Kelowna municipal standards.
3. Dispose of all excavated and surplus materials off site, recycle where feasible.
4. Contractor to confirm location of any site service before proceeding.
5. Contractor to confirm actual site conditions and layout before proceeding.
6. All dimensions are in millimeters, unless noted otherwise.
7. Contractor to coordinate landscape construction with work of other disciplines, including civil, electrical, and architectural, as directed by the Owner.
8. Contractor to make good all damage to satisfaction of the Owner, at no additional cost.
9. Public to be protected from harm at all times. Do not leave work areas in an unsafe or hazardous condition, fence and/or make safe as required.
10. Sidewalks and street to be kept clean at all times and cleaned to the satisfaction of the City.
11. All work to be completed consistent with all drawings and specifications.
12. Ensure positive drainage for all landscape areas.

Refer to architectural and civil engineering drawings.
Site grading and drainage, including retaining wall design by others.

Tree locations to be adjusted in the field as determined by location of underground services. Confirm locations before digging.

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#	DATE	ISSUE/REVISION
1.	Mar 29, 16	DEVELOPMENT PERMIT



Greenway
Landscape Architecture
2280 Park Crescent
Coquitlam BC V3J 6T4
T 604 461 9120
E paul@greenwayla.ca

Paul Whitehead RBCSLA
Registered Landscape Architect #246

CLIENT

PROJECT

Retail / Distillery
160 Highway 33 W
Kelowna BC

DRAWING

Landscape Plan

DRAWING NUMBER

L-1

SCALE AS NOTED

DRAWN PACV

PROJECT NUMBER 1604

EXTERIOR FINISH LEGEND

- 1 SIGNAGE
- 2 WOOD CORNICE
STAINED & VARNISHED
- 3 WOOD PARAPET WALL
STAINED & VARNISHED
- 4 WOOD BOARD & BATTEN
- 5 WOOD COLUMN
STAINED & VARNISHED
- 6 DOUBLE GLAZED DOOR/WINDOW
IN VINYL FRAME
with 4" WOOD TRIM



Front Elevation

Retail / Distillery

160 Highway 33, Kelowna, British Columbia

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architecture planning interior design



Retail / Distillery

160 Highway 33, Kelowna, British Columbia



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architecture planning interior design



Retail / Distillery

160 Highway 33, Kelowna, British Columbia

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