



December 10, 2015

To the City of Kelowna,

It is an honour and pleasure to write this letter outlining the project that is recommended for 160 Hwy 33, Kelowna, BC. The purpose of the project is to create a small craft distillery that will sell small product both on-site in the form of cocktails and for take-home consumption. Since it will have a lounge endorsement, we aim to install a wood fired pizza oven that will sell pizza and Calzones: as well as offer beer, wine and other non-alcoholic refreshments. All of the alcoholic products will be served in a responsible manner.

This project has many benefits for the Rutland area including:

- Cleans up an otherwise dormant building and parking lot.
- Creates excitement into the area.
- Creates a minimum of 5 new jobs.
- Provides a new entrant for the Rutland area: There is no distillery or wood fired pizza place.
- Creates potential for tourists to stop which will add to greater residual benefit to the area.
- Allows for something new for locals to visit.

I thank you for taking the time for considering this application. I will be very active throughout the process and will host a public consultation time in the near future.

Best Regards,

Dan Allen

250-212-8602

C4 Distillery District Rezoning / Development Permit Application

160 Highway 33 W, Kelowna, British Columbia

ARCHITECTURAL

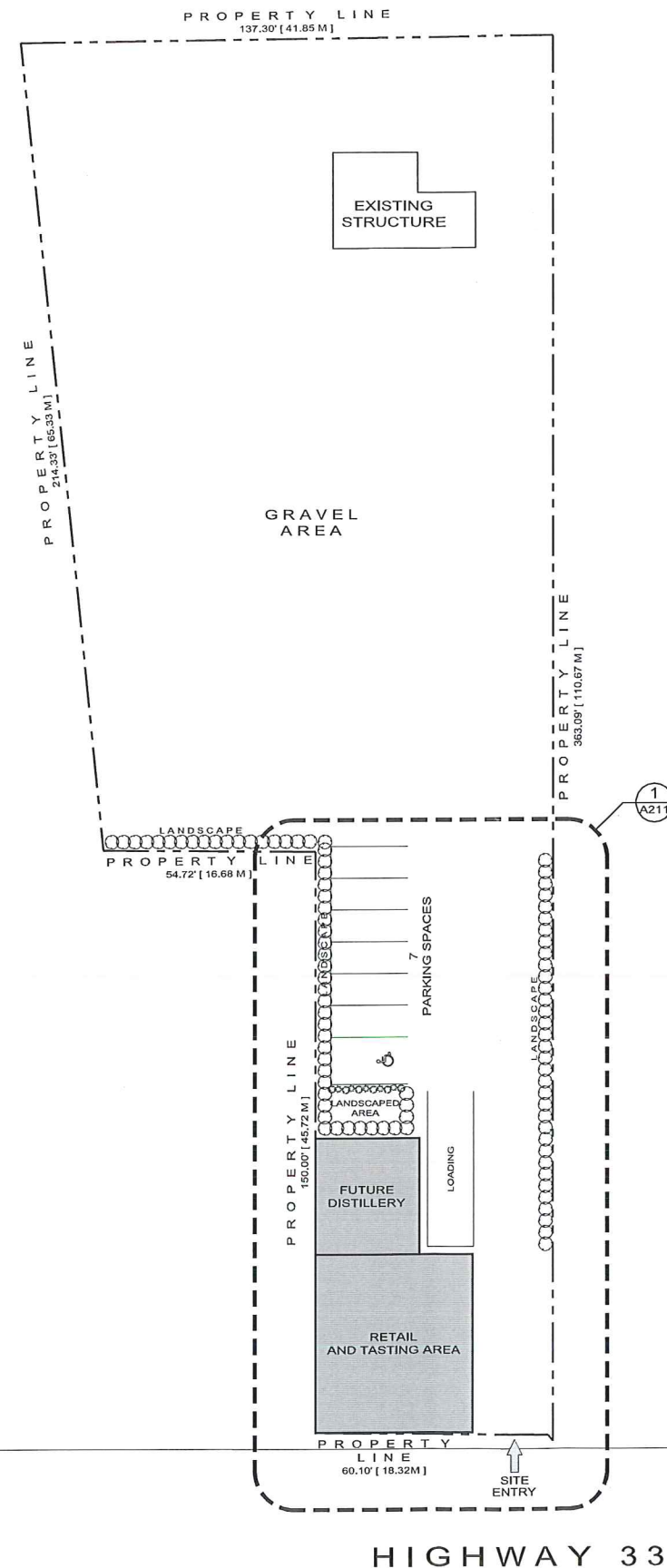
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- A151 DRAWING LISTS
OVERALL SITE PLAN
PROJECT STATISTICS
- A152 SITE PLAN
CONTEXT PLAN
ZONING MAP
EASEMENT MAP
- A153 EXISTING PHOTOS
- A211 EXISTING FLOOR PLAN
PROPOSED FLOOR PLAN
- A401 BUILDING ELEVATIONS

LANDSCAPE

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- L-1 LANDSCAPE PLAN

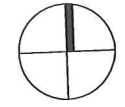


PROJECT STATISTICS

Retail / Distillery 160 Highway 33 W, Kelowna, British Columbia		
Project Name:	Retail / Distillery	
Civic address:	160 Highway 33 W, Kelowna, British Columbia	
Legal Description:	Lot A Section 26 Township 26 Land District 41 Plan 74060	
Proposed Zoning:	C4	
Site area:	35850.02 sq.ft. [3330.57 sq.m.]	
Uses	Allowed / required	Proposed
Main Floor	Breweries and Distillery, minor	Retail / Distillery
Site coverage	75.00%	Surface Coverage 2651.50 sq.ft. [246.33 sq.m.] 7.39%
Building Height	49.21 ft. [15.00 m.] or 4 Storeys	14.50 ft. [4.42 m.] 1 Storey
Setbacks Front	0.00 ft. [0.00 m.]	0.00 ft. [0.00 m.]
Side (East)	0.00 ft. [0.00 m.]	21.00 ft. [6.40 m.]
Side (West)	0.00 ft. [0.00 m.]	0.00 ft. [0.00 m.]
Rear	0.00 ft. [0.00 m.]	319.75 ft. [97.45 m.]
Floor Area Ratio (FAR)	1	0.07
Total Floor Area	35850.02 sq.ft. [3330.57 sq.m.]	2651.50 sq.ft. [246.33 sq.m.]
Off-Street Parking Spaces	5 Parking spaces	5 Parking spaces 4 Full Size Vehicle Parking 1 Accessible Parking
Commercial	1.75 per 1076.39 sq.ft. [100 sq.m.] GFA	4 Full Size Vehicle Parking 1 Accessible Parking
Accessible Parking Spaces Commercial	1 Accessible Parking Space	1 Accessible Parking Space
Off-Street Loading Spaces Commercial	1 Loading space	1 Loading space
Bicycle Parking Spaces Commercial Class I	1 Bicycle Parking space 0.20 per 1076.39 sq.ft. [100 sq.m.] GFA or 1 per 10 Employees	1 Bicycle Parking space
Class II	2 Bicycle Parking spaces 0.60 per 1076.39 sq.ft. [100 sq.m.] GFA	2 Bicycle Parking spaces

ALL RIGHTS RESERVED. PROPERTY OF THE ARCHITECTS. USE OR REPRODUCTION FOR OTHER THAN THE PROJECT FOR WHICH THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING WITH CITIES AND BY-LAWS AND SHALL ADVISE THE ARCHITECTS OF ANY DISCREPANCIES. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER. DO NOT SCALE THE DRAWINGS.

THE CONTRACTOR IS ADVISED FOR INFORMATION ONLY. THE CONTRACTOR AND ANY PERSONS USING THE DRAWING FOR INFORMATION AND ADVISED TO REFER TO THE ORIGINAL CONTRACT DOCUMENTS FOR ELECTRICAL, LANDSCAPE AND OTHER DESIGN DISCIPLINE DRAWINGS FOR INFORMATION FROM THE DESIGNER.



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PRIME CONSULTANT

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SEAL

1 29MAR2018 ISSUED FOR REZONING AND DEVELOPMENT PERMIT

NO DATE REMARKS

Retail / Distillery

160 Highway 33 W
Kelowna, British Columbia

DRAWING LISTS
PROJECT STATISTICS
OVERALL SITE PLAN

REZONING APPLICATION
DEVELOPMENT PERMIT

A151

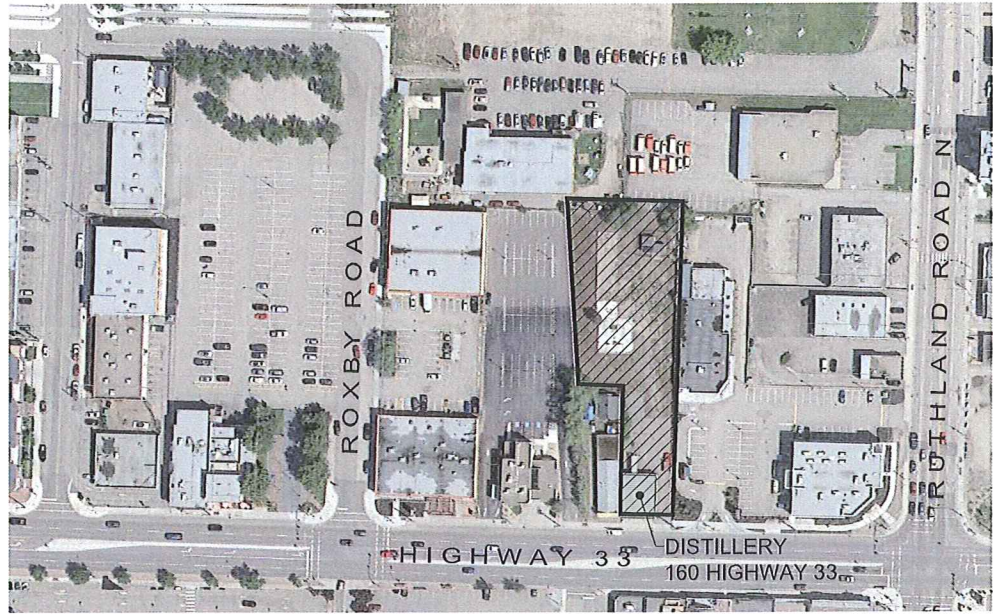
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CHECKED BY: JK

PROJECT NO: 1526
DATE: NOV2015

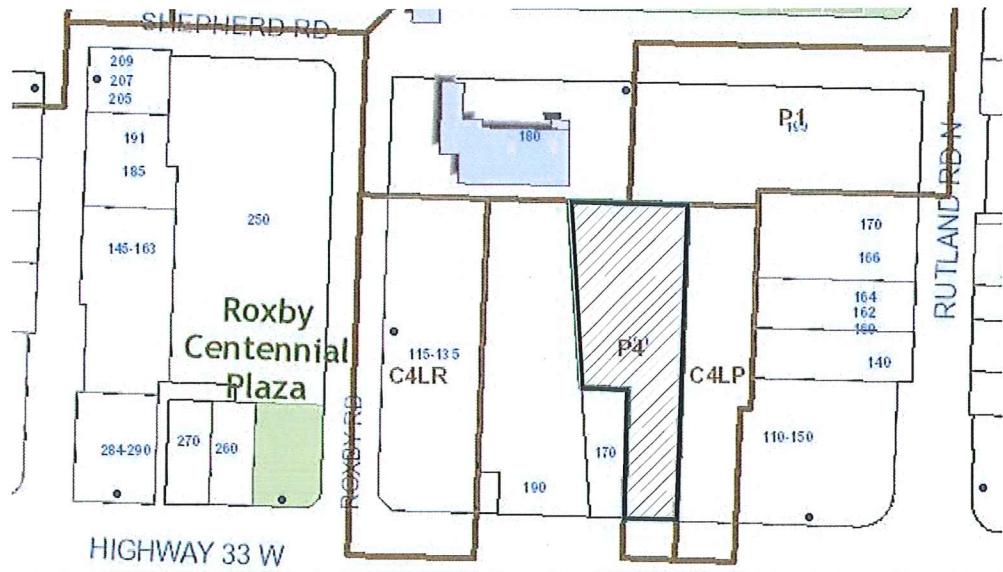
ROXBY ROAD

RUTLAND ROAD N

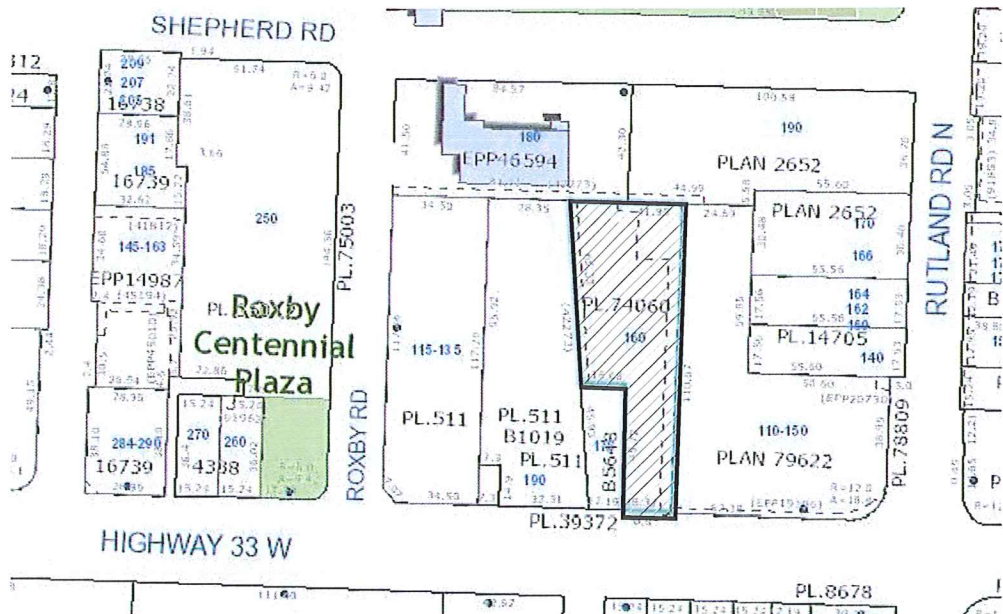
HIGHWAY 33



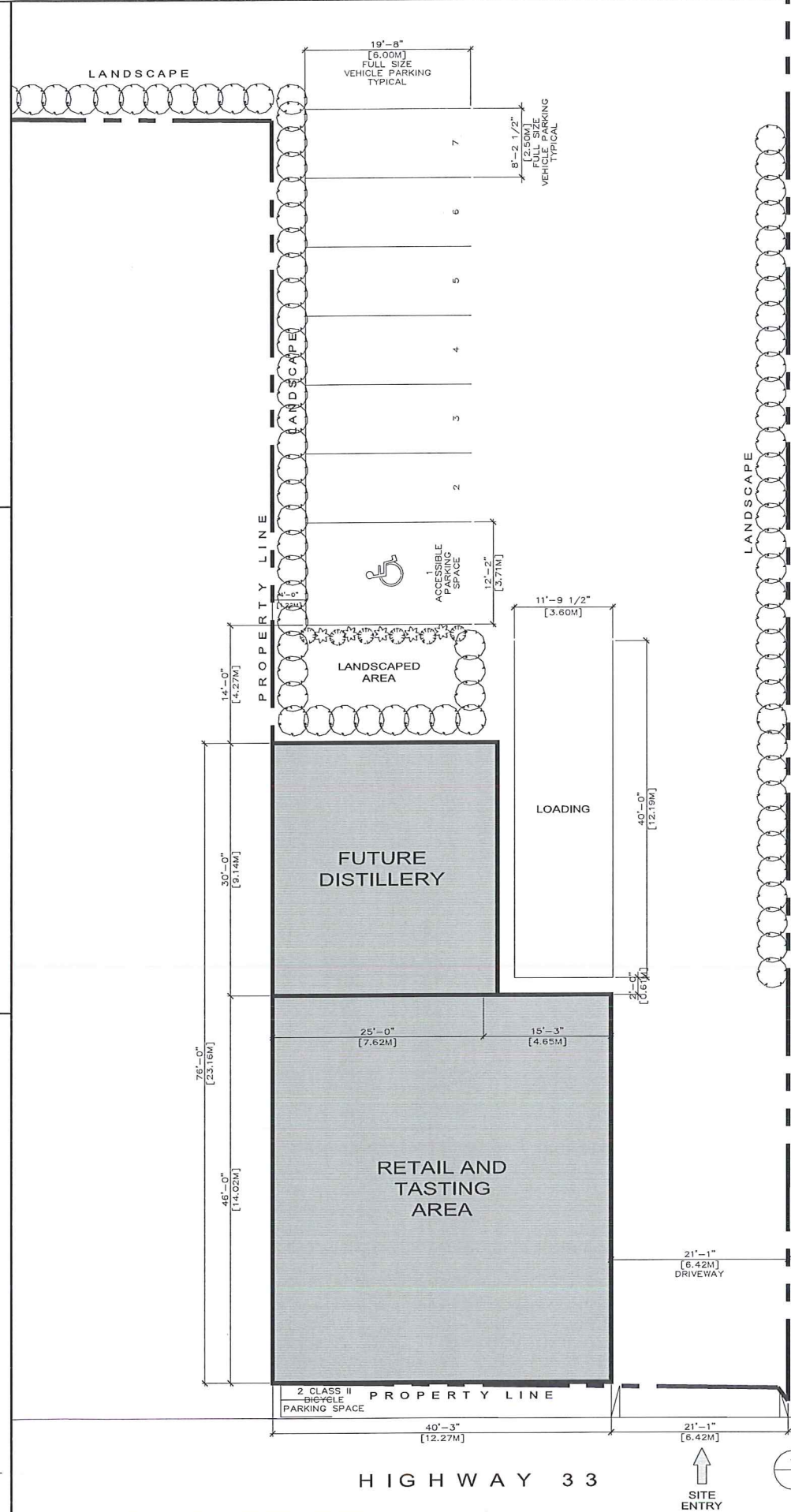
2 CONTEXT PLAN
SCALE: NTS



3 ZONING MAP
SCALE: NTS

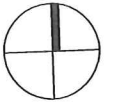


4 EASEMENT MAP
SCALE: NTS



1 SITE PLAN
SCALE: 1/8" = 1' - 0"

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LANDSCAPE AND PLANTING QUANTITIES ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR.



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NO	DATE	REMARKS
1	29MAR2016	ISSUED FOR REZONING AND DEVELOPMENT PERMIT

SEAL

Retail / Distillery

160 Highway 33 W
Kelowna, British Columbia

SITE PLAN
CONTEXT PLAN
ZONING MAP
EASEMENT MAP

REZONING APPLICATION
DEVELOPMENT PERMIT

A152

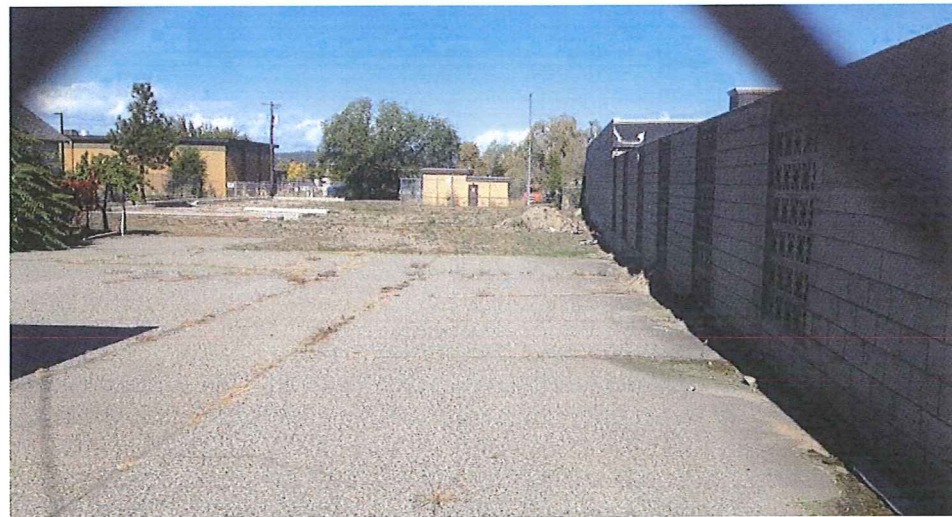
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DRAWN BY: MP DATE:
CHECKED BY: JK NOV2015



1 EXISTING SOUTH ELEVATION & ADJACENT WEST PROPERTY
SCALE: NTS



2 EXISTING SOUTH ELEVATION / EAST ELEVATION / DRIVEWAY
SCALE: NTS



3 EXISTING DRIVEWAY / EXISTING REAR GRAVEL AREA
SCALE: NTS



4 EXISTING SOUTH ELEVATION & ADJACENT EAST PROPERTY
SCALE: NTS



5 EXISTING SOUTH ELEVATION & ADJACENT WEST PROPERTY
SCALE: NTS

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SEAL

1	29MAR2016	ISSUED FOR REZONING AND DEVELOPMENT PERMIT
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NO	DATE	REMARKS

Retail / Distillery

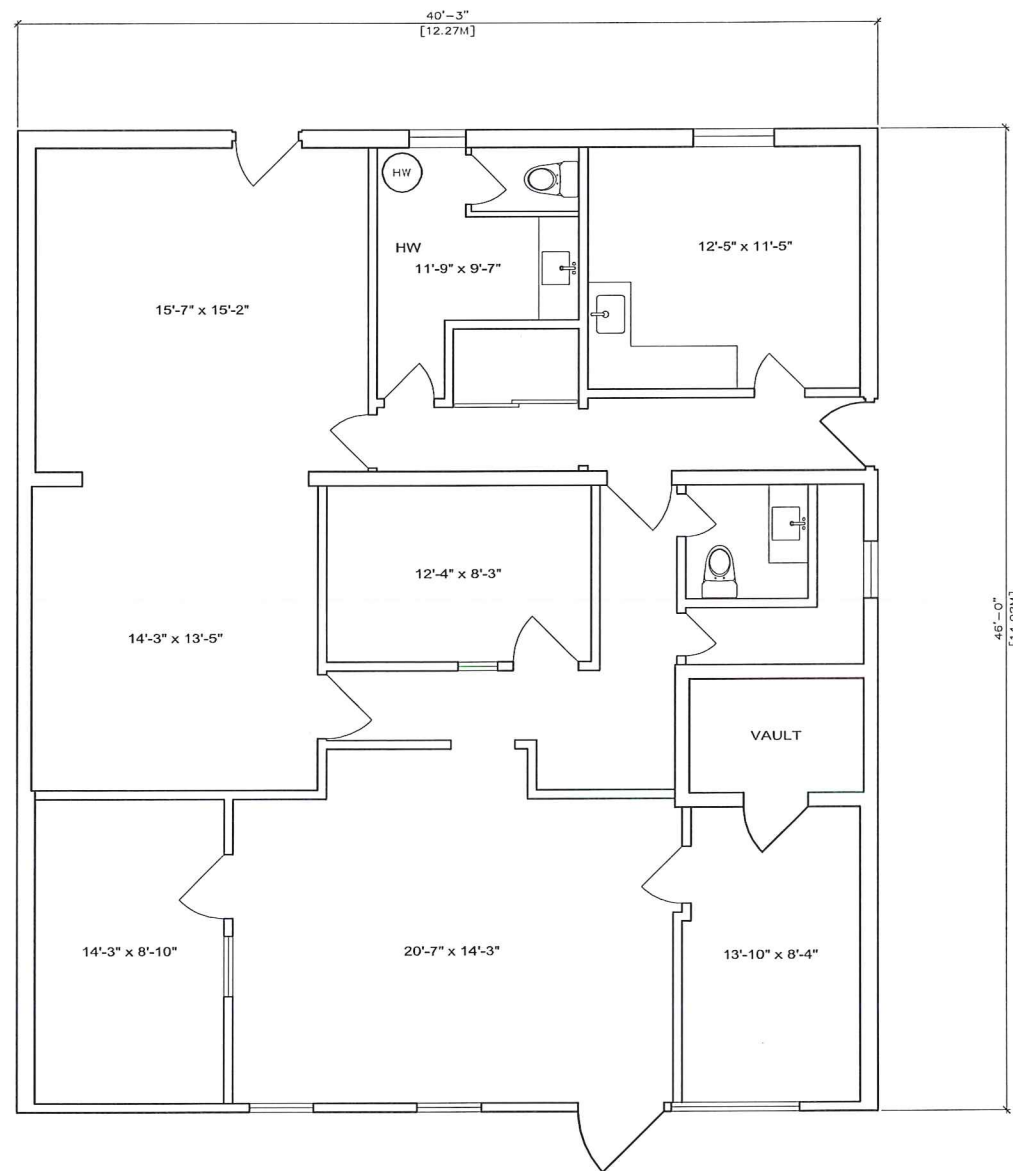
160 Highway 33 W
Kelowna, British Columbia

EXISTING PHOTOS

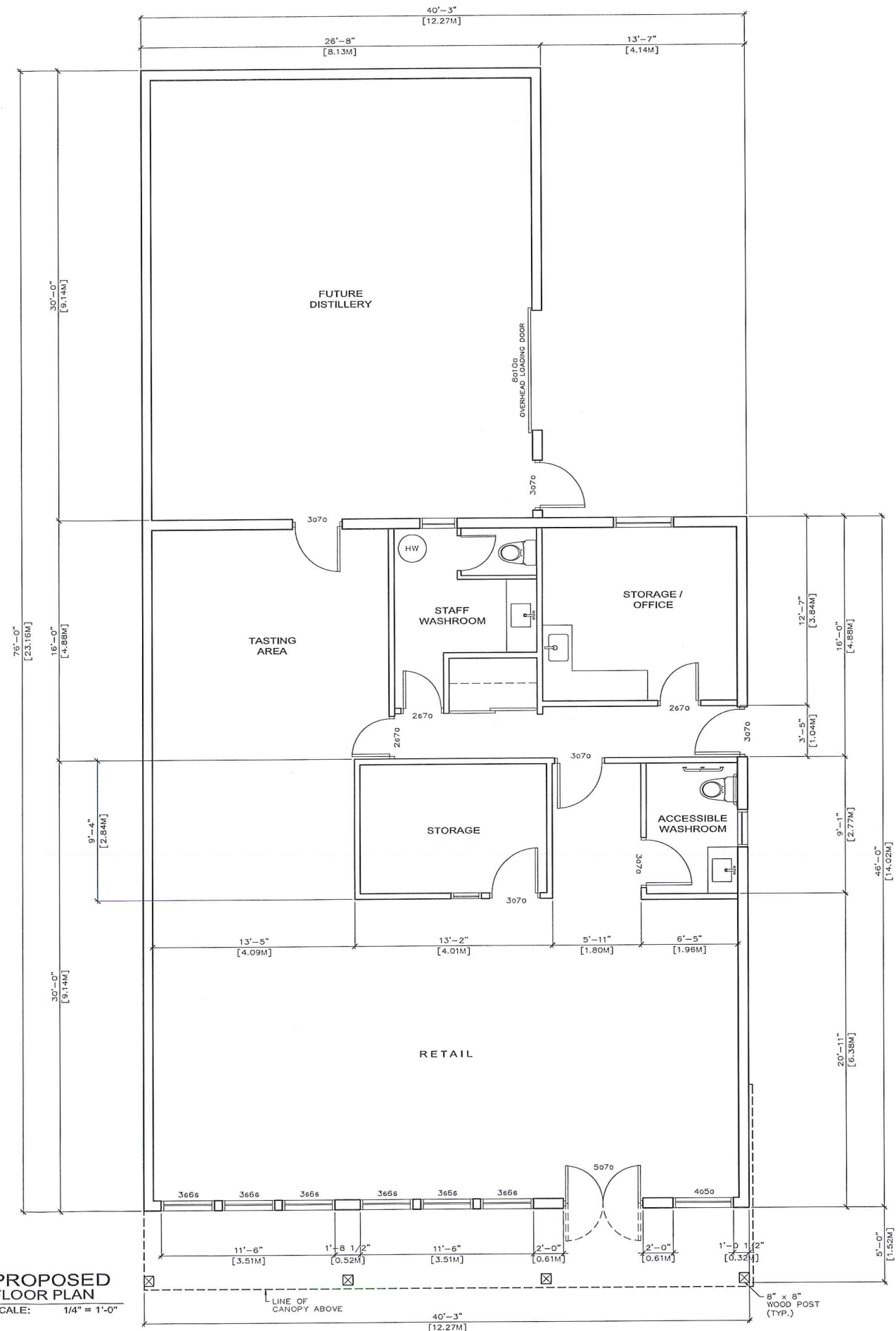
REZONING APPLICATION
DEVELOPMENT PERMIT

A153

SCALE: NTS	PROJECT NO: 1526
DRAWN BY: MP	DATE:
CHECKED BY: JK	NOV2015



2 EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

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THE CONTRACTOR SHALL REVIEW THE DOCUMENTS FOR CONFORMANCE WITH CODES AND BY-LAWS AND SHALL HOLD THE ARCHITECTS OF ANY DISCREPANCIES, THE CONTRACTOR SHALL CHECK AND CARRY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGNER.
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NO	DATE	REMARKS
1	29MAR2016	ISSUED FOR REZONING AND DEVELOPMENT PERMIT

Retail / Distillery
160 Highway 33 W
Kelowna, British Columbia

EXISTING FLOOR PLAN
PROPOSED FLOOR PLAN

REZONING APPLICATION
DEVELOPMENT PERMIT

A211

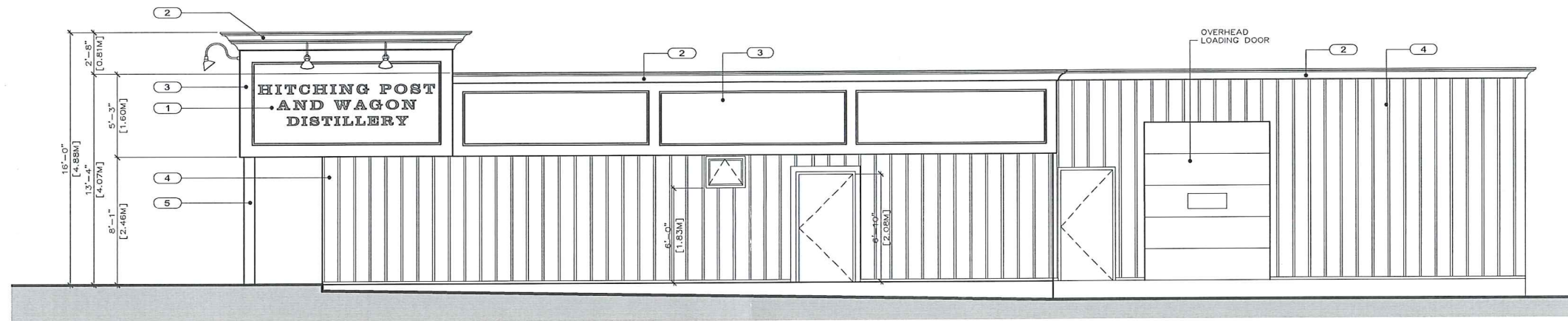
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DRAWN BY: MP	DATE:
CHECKED BY: JK	NOV2015



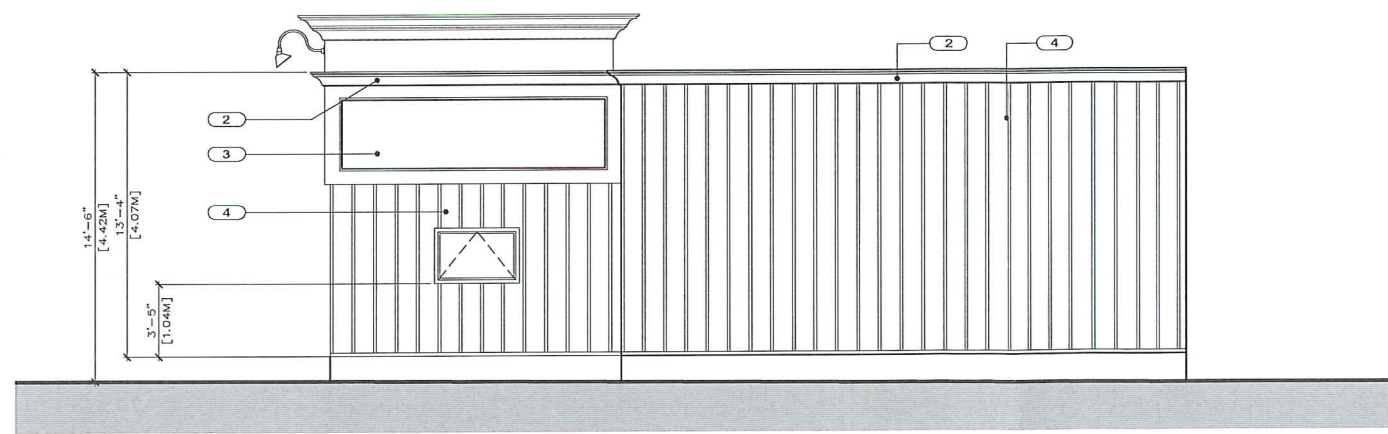
1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISH LEGEND

1	SIGNAGE
2	WOOD CORNICE STAINED & VARNISHED
3	WOOD PARAPET WALL STAINED & VARNISHED
4	WOOD BOARD & BATTEN
5	WOOD COLUMN STAINED & VARNISHED
6	DOUBLE GLAZED DOOR/WINDOW IN VINYL FRAME with 4" WOOD TRIM



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

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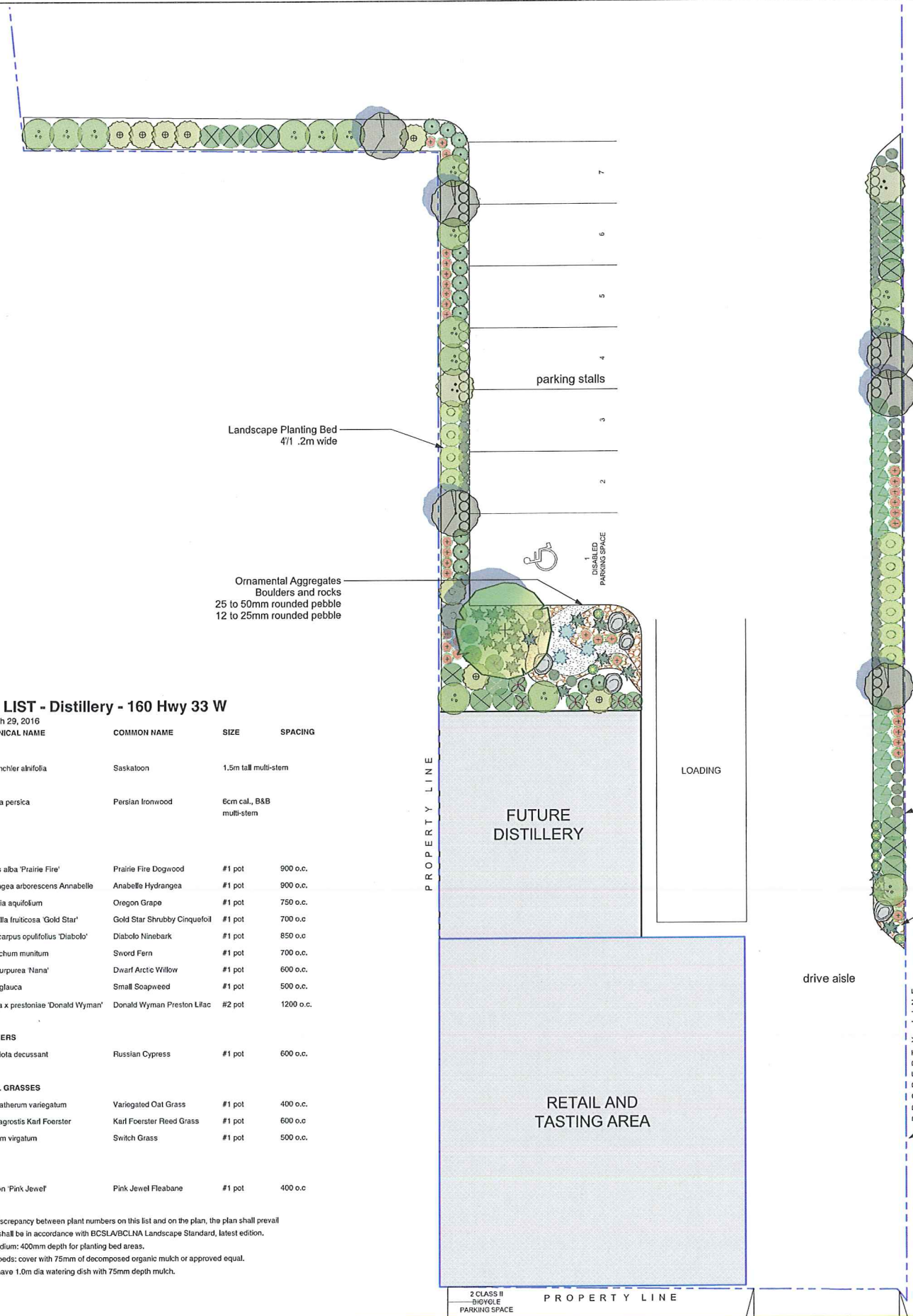
Retail / Distillery
160 Highway 33 W
Kelowna, British Columbia

BUILDING ELEVATIONS

REZONING APPLICATION
DEVELOPMENT PERMIT

A401

SCALE: 1/4" = 1'-0"	PROJECT NO: 1526
DRAWN BY: MP	DATE:
CHECKED BY: JK	NOV2015



PLANT LIST - Distillery - 160 Hwy 33 W

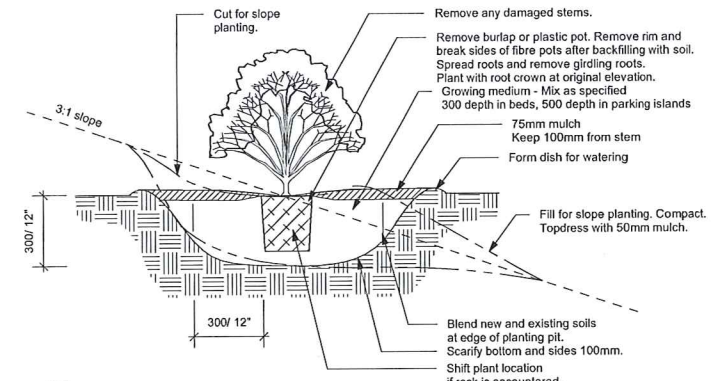
updated March 29, 2016

SYMBOL	TOTAL BOTANICAL NAME	COMMON NAME	SIZE	SPACING	
TREES					
6	<i>Amelanchier alnifolia</i>	Saskatoon	1.5m tall multi-stem		
1	<i>Parrotia persica</i>	Persian Ironwood	6cm cal., B&B multi-stem		
SHRUBS					
10	<i>Cornus alba 'Prairie Fire'</i>	Prairie Fire Dogwood	#1 pot	900 o.c.	
9	<i>Hydrangea arborescens Annabelle</i>	Anabelle Hydrangea	#1 pot	900 o.c.	
15	<i>Mahonia aquifolium</i>	Oregon Grape	#1 pot	750 o.c.	
15	<i>Potentilla fruticosa 'Gold Star'</i>	Gold Star Shrubby Cinquefoil	#1 pot	700 o.c.	
15	<i>Physocarpus opulifolius 'Diabolo'</i>	Diabolo Ninebark	#1 pot	850 o.c.	
8	<i>Polystichum munium</i>	Sword Fern	#1 pot	700 o.c.	
15	<i>Salix purpurea 'Nana'</i>	Dwarf Arctic Willow	#1 pot	600 o.c.	
3	<i>Yucca glauca</i>	Small Soapweed	#1 pot	500 o.c.	
2	<i>Syringa x prestoniae 'Donald Wyman'</i>	Donald Wyman Preston Lilac	#2 pot	1200 o.c.	
GROUND COVERS					
21	<i>Microbiota decussant</i>	Russian Cypress	#1 pot	600 o.c.	
ORNAMENTAL GRASSES					
9	<i>Arhenatherum variegatum</i>	Variiegated Oat Grass	#1 pot	400 o.c.	
36	<i>Calamagrostis Karl Foerster</i>	Karl Foerster Reed Grass	#1 pot	600 o.c.	
47	<i>Panicum virgatum</i>	Switch Grass	#1 pot	500 o.c.	
PERENNIALS					
Ep	33	<i>Erigeron 'Pink Jewel'</i>	Pink Jewel Fleabane	#1 pot	400 o.c.

NOTES:

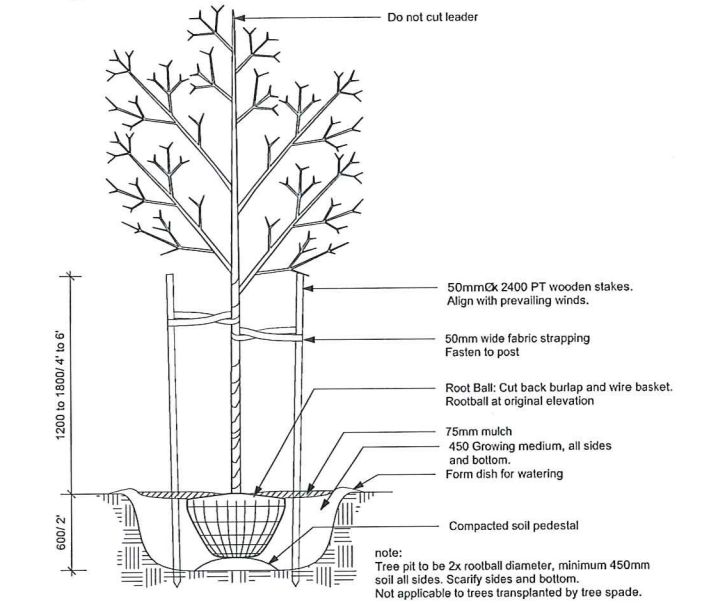
- 1) In case of discrepancy between plant numbers on this list and on the plan, the plan shall prevail
- 2) All planting shall be in accordance with BC SLA/BC LNA Landscape Standard, latest edition.
- 3) Growing medium: 400mm depth for planting bed areas.
- 4) All planting beds: cover with 75mm of decomposed organic mulch or approved equal.
- 5) All trees to have 1.0m dia watering dish with 75mm depth mulch.

1 Landscape Plan 1" = 8' - 0"

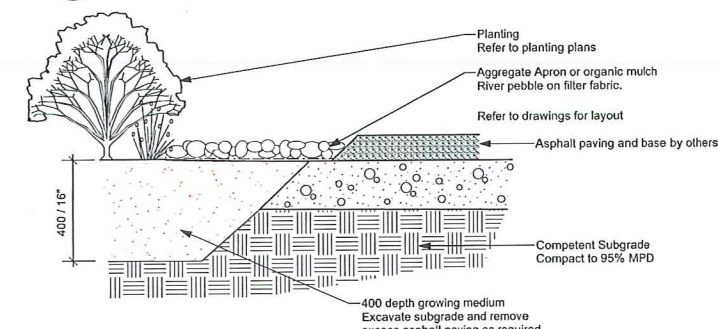


Note:
Planting and plant material in accordance with latest BC SLA/BC LNA Landscape Standard.
Soil depth for shrubs 300mm depth plus 300mm around all sides.
Planting soil depth to be continuous in planting beds.

1 Shrub Planting 1" = 24' - 0"



2 Tree Planting 1" = 24' - 0"



3 Parking Area Planting not to scale

GENERAL NOTES

1. All work to satisfaction of the Owner.
2. All work in compliance with City of Kelowna municipal standards.
3. Dispose of all excavated and surplus materials off site, recycle where feasible.
4. Contractor to confirm location of any site service before proceeding.
5. Contractor to confirm actual site conditions and layout before proceeding.
6. All dimensions are in millimeters, unless noted otherwise.
7. Contractor to coordinate landscape construction with work of other disciplines, including civil, electrical, and architectural, as directed by the Owner.
8. Contractor to make good all damage to satisfaction of the Owner, at no additional cost.
9. Public to be protected from harm at all times. Do not leave work areas in an unsafe or hazardous condition, fence and/or make safe as required.
10. Sidewalks and street to be kept clean at all times and cleaned to the satisfaction of the City.
11. All work to be completed consistent with all drawings and specifications.
12. Ensure positive drainage for all landscape areas.

Refer to architectural and civil engineering drawings.
Site grading and drainage, including retaining wall design by others.
Tree locations to be adjusted in the field as determined by location of underground services. Confirm locations before digging.

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#	DATE	ISSUE/REVISION
1.	11 Mar 29, 16	DEVELOPMENT PERMIT



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E paul@greenwayla.ca

Paul Whitehead RBCSLA
Registered Landscape Architect #246

CLIENT

PROJECT
Retail / Distillery
160 Highway 33 W
Kelowna BC

DRAWING
Landscape Plan

DRAWING NUMBER
L-1

SCALE AS NOTED
DRAWN PACW
PROJECT NUMBER 1604

HIGHWAY 33



EXTERIOR FINISH LEGEND

- 1 SIGNAGE
- 2 WOOD CORNICE
STAINED & VARNISHED
- 3 WOOD PARAPET WALL
STAINED & VARNISHED
- 4 WOOD BOARD & BATTEN
- 5 WOOD COLUMN
STAINED & VARNISHED
- 6 DOUBLE GLAZED DOOR/WINDOW
IN VINYL FRAME
with 4" WOOD TRIM



Front Elevation

Retail / Distillery

160 Highway 33, Kelowna, British Columbia

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architecture planning interior design



Retail / Distillery

160 Highway 33, Kelowna, British Columbia

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architecture planning interior design



Retail / Distillery

160 Highway 33, Kelowna, British Columbia

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