ATTACHMENT A
This forms part of application
DP25-0094
Planner Initials JK
City of Kelowna
COMMUNITY PLANNING

Development Permit

DP25-0094

City of Kelowna

This permit relates to land in the City of Kelowna municipally known as

1720 Hidden Hills Drive

and legally known as

Lot 110 Sections 9 and 16 Township 23 Osoyoos Division Yale District Plan EPP138043

and permits the land to be used for the following development:

Multiple Suburban Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Approval:	**July 21, 2025**
Development Permit Area:	Form and Character DPA
Existing Zone:	RU5 – Multiple Suburban Housing
Future Land Use Designation:	S-RES – Suburban Residential

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner:	Glenwest Properties Ltd., Inc. No. C0889227
Applicant:	Ryan Wheeler - Wilden

_____

Nola Kilmartin
Development Planning Department Manager
Planning & Development Services

_____

Date of Issuance

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP25-0094 for Lot 110 Sections 9 and 16 Township 23 Osoyoos Division Yale District Plan EPP138043, located 1720 Hidden Hills Drive, Kelowna, BC, subject to the following:

a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";

b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";

c) Landscaping to be provided on the land be in accordance with Schedule "C";

d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **$849,105.00**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the Landscape Agreement or their designates.

PROJECT INFO:

CIVIC ADDRESS:
1850 BEGBIE RD, KELOWNA BC. V1V 2C6

LEGAL DESCRIPTION:
PLAN KAP69724 LOT A SECTION 4 5 8 9
TOWNSHIP 23 EXC PLS:
KAP71944
KAP73768
KAP75949
KAP78547
KAP80107
KAP81912
KAP85278
KAP86750
EPP24895
EPP93548
EPP101624
EPP115845
EPP123935

ZONING:
RU1 IN SITE AREA (MF2;P3;RR1;RU1;RL2 BEYOND)
SITE AREA:
152 ACRES (615122 m.sq.)

PROPOSED:
ZONING: RU5
SITE AREA: 7.4 ACRES (29946.7 m.sq.)

BUILDING A: 6 DUPLEX BUILDINGS (12 UNITS)
FINISHED AREA = 3908 SQ.FT. (363.0 SQ.M.)
FOOT PRINT = 2452 SQ.FT. (227.8 SQ.M.)
LOT COVERAGE = 3238 SQ.FT. (300.8 SQ.M.)

BUILDING B: 5 DUPLEX BUILDINGS (10 UNITS)
FINISHED AREA = 6080 SQ.FT. (564.9 SQ.M.)
FOOT PRINT = 3890 SQ.FT. (361.4 SQ.M.)
LOT COVERAGE = 4402 SQ.FT. (409.0 SQ.M.)

BUILDING C: 4 DUPLEX BUILDINGS (8 UNITS)
FINISHED AREA = 4272 SQ.FT. (396.9 SQ.M.)
FOOT PRINT = 3224 SQ.FT. (299.5 SQ.M.)
LOT COVERAGE = 3666 SQ.FT. (340.6 SQ.M.)

CONSULTANTS:

ARCHITECTURAL:
JENISH HOUSE DESIGN LIMITED
CONTACT: TREVOR BEATTY
201 – 1658 COMMERCE AVE
KELOWNA, BC. V1X 8A9
PHONE: 236-420-3346
EMAIL: trevor@jenish.com

CIVIL:
INTERCAD
CONTACT: BRIAN WALLACE
1460 PANDOSY ST. #201
KELOWNA, BC. V1Y 1P3
PHONE: 250-762-2353
EMAIL: kelowna@intercad.bc.ca

GEOTECHNICAL:
GEOPACIFIC CONSULTANTS LTD.
CONTACT: KEVIN BODNER
1340 ST. PAUL ST.
KELOWNA, BC. V1Y 2E1
PHONE: 250-762-8073
EMAIL: bodnar@geopacific.ca

ELECTRICAL SERVICING:
PRIMARY ENGINEERING AND CONSTRUCTION
CONTACT: KEITH MUELLER
2250 LECKIE RD. #7
KELOWNA, BC. V1X 7K1
PHONE: 250-300-1973
EMAIL: kmueller@primaryeng.com

ENERGY MODELING:
TOTAL HOME SOLUTIONS INC.
CONTACT: GILLES LESAGE
5309 MAIN ST. #203
KELOWNA, BC. V1W 4V3
PHONE: 778-484-5002
EMAIL: gilles@totalhome.ca

LEGAL SURVEY:
FERGUSON LAND SURVEYING & GEOMATICS LTD.
CONTACT: CAM HENRY
#404-1630 PANDOSY ST.
KELOWNA, BC. V1Y 1P7
PHONE: 250-763-3115, EXT. 107
EMAIL: chenry@fesg.ca

MECHANICAL:
QUALITY AIR CARE – PLUMBING AND HEATING
CONTACT: CLAYTON PARKS
1855 KIRSCHNER RD. #184
KELOWNA, BC. V1Y 4N7
PHONE: 250-862-9063
EMAIL: clayton@qualityaircare.ca

STRUCTURAL:
ROV ENGINEERING CONSULTANTS
CONTACT: TREVOR JUDD
1820 AMBROSI RD. #301
KELOWNA, BC. V1Y 6G5
PHONE: 250-860-0412
EMAIL: trevor@rovconsulting.ca

SCHEDULE A

This forms part of application
DP25-0094

Planner Initials: JK

City of Kelowna
COMMUNITY PLANNING

OVERALL SITE PLAN

WILDEN

HEAD OFFICE:
201-1658 COMMERCE AVE
KELOWNA, B.C., V1X 8A9
(250) 420-3346
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: FORM AND CHARACTER
DRAWN: TWB
CHECKED: AD
DATE: MARCH 2025
SCALE:
SHEET: F and C
PLAN NUMBER: C2-3-110

Material / Colour Board

SCHEDULE A

This forms part of application

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City of Kelowna
COMMUNITY PLANNING

Planner Initials JK

Light Scheme:

Buildings:
- Plan A - Uphill Units: 1, 4
- Plan B - Walkout Units: 7, 10
- Plan C - Level Units: 13

** Rendering shows the light scheme on a 2-storey level unit (2-storey level units are buildings 12-15)*

1) Stucco: Adex 1250-1W
2) Stucco: Adex 1120-1W (*only used on Uphill units, buildings 1 & 4)
3) Aluminum wood siding: MAC smoked birch
4) Cultured stone: Blacktruffle PEAK LEDGE Creative Mines
5) Front Door Colour: Boothbay Blue
6) Vinyl/Aluminum Windows: Black
7) Flashing / Trim / Gutters /Railings / Lights / House Numbers: Black
8) Soffit: Black (or match #3 in select areas i.e. entries)
9) Asphalt Singles: Iko Cambridge Dual, Black
10) Wood features (posts & decorative): Stained to match MAC smoked birch

Medium Scheme:

Buildings:
- Plan A - Uphill Units: 2, 5
- Plan B - Walkout Units: 8, 11
- Plan C - Level Units: 14

** Rendering shows the medium scheme on a walkout unit (Walkout units are buildings 7-11)*

1) Stucco: Adex 1250-1W
2) Stucco: Adex 1120-1W
3) Aluminum wood siding: MAC teak
4) Cultured stone: Blacktruffle PEAK LEDGE Creative Mines
5) Front Door Colour: Last Embers
6) Vinyl/Aluminum Windows: Black
7) Flashing / Trim / Gutters /Railings / Lights / House Numbers: Black
8) Soffit: Black (or match #3 in select areas i.e. entries)
9) Asphalt Singles: Iko Cambridge Dual, Black
10) Wood features (posts & decorative): Stained to match MAC teak

Dark Scheme:

Buildings:
- Plan A - Uphill Units: 3, 6
- Plan B - Walkout Units: 9
- Plan C - Level Units: 12, 15

** Rendering shows the dark scheme on an uphill unit (Uphill units are buildings 1-6)*

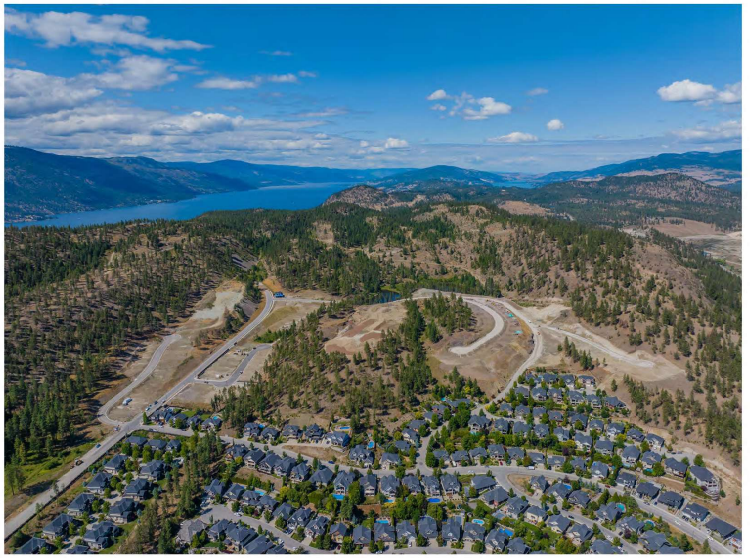
1) Stucco: Adex W-200-4E
2) Stucco: Adex 1430-6W
3) Aluminum wood siding: MAC teak
4) Cultured stone: Blacktruffle PEAK LEDGE Creative Mines
5) Front Door Colour: Wandering Green
6) Vinyl/Aluminum Windows: Black
7) Flashing / Trim / Gutters /Railings / Lights / House Numbers: Black
8) Soffit: Black (or match #3 in select areas i.e. entries)
9) Asphalt Singles: Iko Cambridge Dual, Black
10) Wood features (posts & decorative): Stained to match MAC teak

WILDEN

HEAD OFFICE:
201 - 1638 COMMERCE AVE
KELOWNA, B.C., V1Y 9A9
(250) 420-3346
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: FORM AND CHARACTER
DRAWN: TWB
CHECKED: AD
DATE: MARCH 2025
SCALE:
SHEET: F and C
PLAN NUMBER: C2-3-110



ANTLER HEIGHTS

WILDEN

SCHEDULE A

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City of Kelowna
COMMUNITY PLANNING

Planner Initials JK

HEAD OFFICE:
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KELOWNA, B.C., V1Y 9A9
(250) 420-3346
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: FORM AND CHARACTER

DRAWN: TWB

CHECKED: AD

DATE: MARCH 2025

SCALE:

SHEET: F and C

PLAN NUMBER: C2-3-110

SCHEDULE **A**

This forms part of application

DP25-0094

City of Kelowna
COMMUNITY PLANNING

Planner Initials JK

PLAN 'A'

(BUILDINGS 1 - 6)

WILDEN

HEAD OFFICE:
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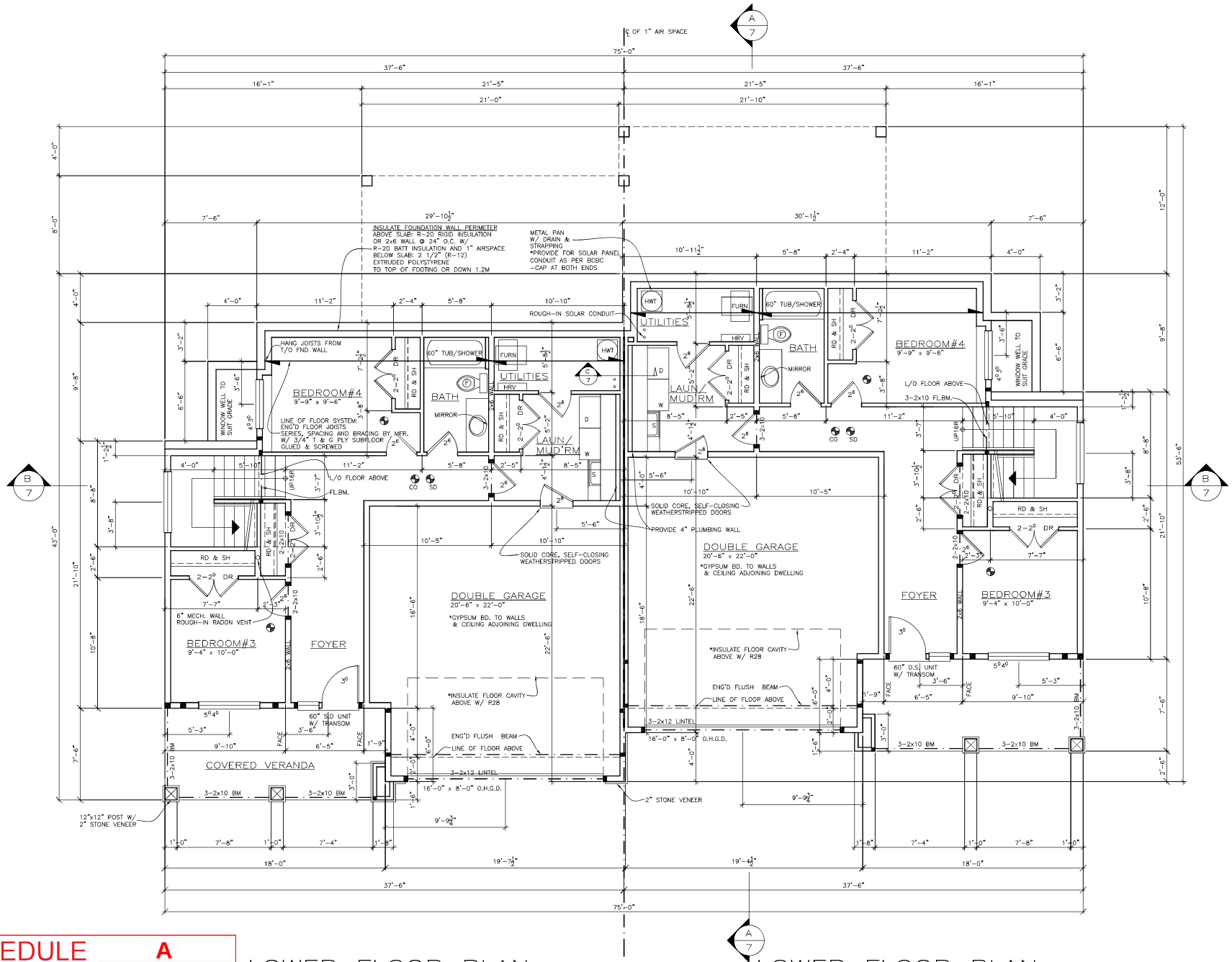
KELOWNA, B.C., V1Y 9A9
(250) 420-3346
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: FORM AND CHARACTER
DRAWN: TWB
CHECKED: AD
DATE: MARCH 2025
SCALE:
SHEET: F and C
PLAN NUMBER: C2-3-110



SCHEDULE A

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DP25-0094

City of Kelowna
COMMUNITY PLANNING

Planner Initials JK

LOWER FLOOR PLAN

FINISHED AREA = 766 SQ. FT.
GARAGE AREA = 460 SQ. FT.
9' CLG. (+/-)

TOTAL FINISHED AREA = 1532 SQ. FT.
GARAGE AREA = 920 SQ. FT.

PROVIDE ROUGHIN SUBFLOOR DEPRESSURIZATION SYSTEM, 4" GRANULAR FILL BELOW SLAB AND PROVIDE 4" PIPE WITH CONNECTION FOR FUTURE DEPRESSURIZATION EQUIPMENT AND AIRTIGHT CAP TO BE PASSIVELY VENTED TO EXTERIOR, TO BE TERMINATED OUTSIDE

LOWER FLOOR PLAN

FINISHED AREA = 766 SQ. FT.
GARAGE AREA = 460 SQ. FT.
9' CLG. (+/-)

WILDEN

PLAN 'A'

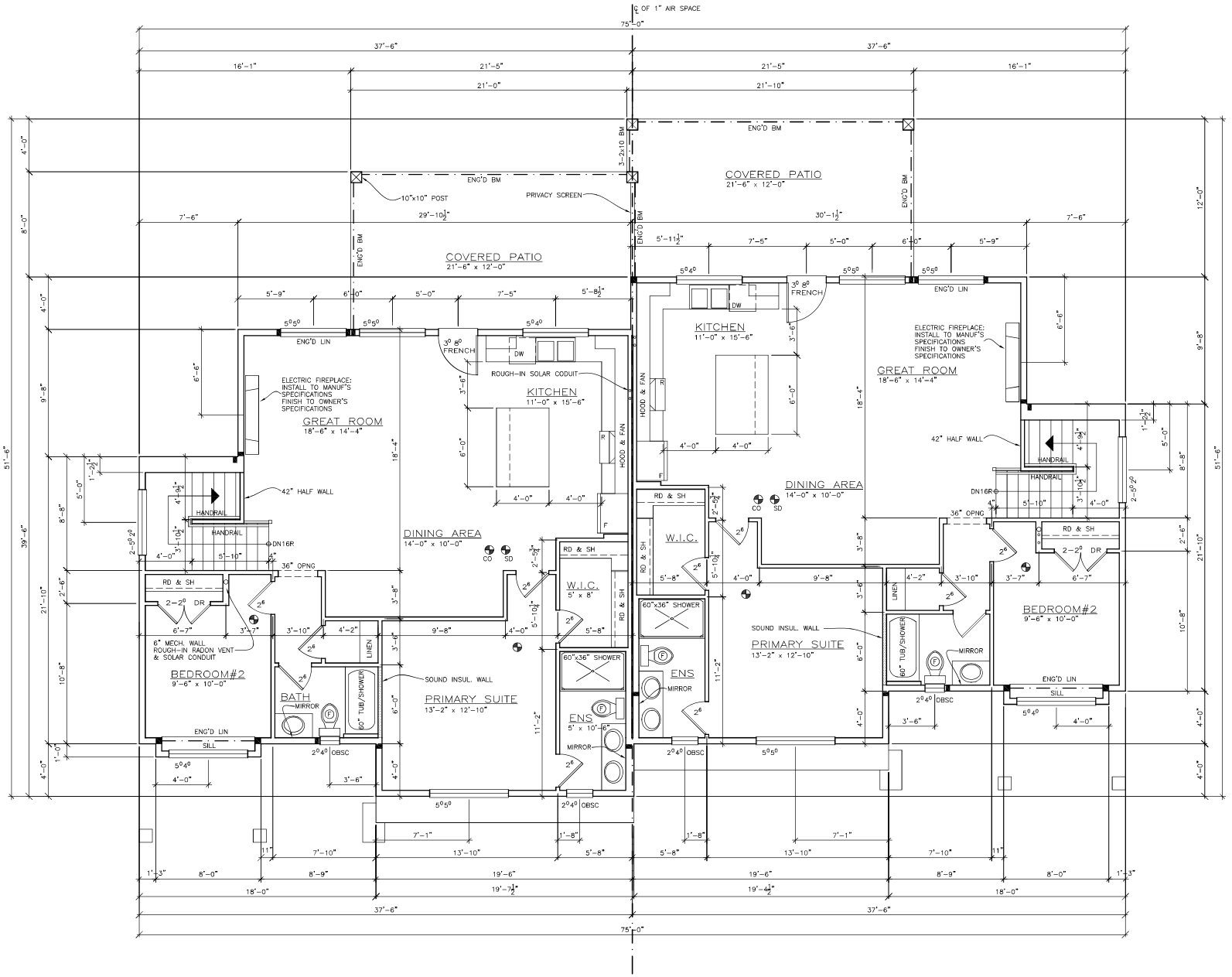
NOTE:
BUILDER TO PROVIDE ELECTRIC VEHICLE (EV) ENERGIZED OUTLET CAPABLE OF PROVIDING LEVEL 2 CHARGING.

NOTE:
SOME BEAMS & LINTELS MAY BE REQUIRED TO BE ENGINEERED DUE TO ROOF LOADS NOT COVERED IN THE BUILDING CODE & IS THE RESPONSIBILITY OF THE HOME OWNER OR BUILDER TO SECURE.

HEAD OFFICE:
201-1658 COMMERCE AVE
KELOWNA, B.C., V1Y 8A9
(250) 469-9466
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: CUSTOM
DRAWN: AD
CHECKED: TB
DATE: MARCH 2025
SCALE: 1/4"=1'-0"
SHEET: 2 OF 7
PLAN NUMBER: C2-3-110 UPSLOPE



MAIN FLOOR PLAN

FINISHED AREA = 1187 SQ. FT.
9' 0-3/4" CLG.

MAIN FLOOR PLAN

FINISHED AREA = 1187 SQ. FT.
9' 0-3/4" CLG.

SCHEDULE A

This forms part of application
DP25-0094

Planner Initials JK

City of Kelowna
COMMUNITY PLANNING

WILDEN

PLAN 'A'

NOTE:
SOME BEAMS & LINTELS MAY BE REQUIRED TO BE ENGINEERED DUE TO ROOF LOADS NOT COVERED IN THE BUILDING CODE & IS THE RESPONSIBILITY OF THE HOME OWNER OR BUILDER TO SECURE.

HEAD OFFICE:
201-1658 COMMERCE AVE
KELOWNA, B.C., V1Y 8A9
(250) 860-9566
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: CUSTOM
DRAWN: AD
CHECKED: TB
DATE: MARCH 2025
SCALE: 1/4"=1'-0"
SHEET: 3 OF 7
PLAN NUMBER: C2-3-110 UPSLOPE

SCHEDULE **A**

This forms part of application

DP25-0094

City of Kelowna
COMMUNITY PLANNING

Planner Initials JK

PLAN 'B'

(BUILDINGS 7 - 11)

WILDEN

HEAD OFFICE:
201-1658 COMMERCE AVE
KELOWNA, B.C., V1Y 9A9
(250) 420-3346
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: FORM AND CHARACTER
DRAWN: TWB
CHECKED: AD
DATE: MARCH 2025
SCALE:
SHEET: F and C
PLAN NUMBER: C2-3-110

SCHEDULE A
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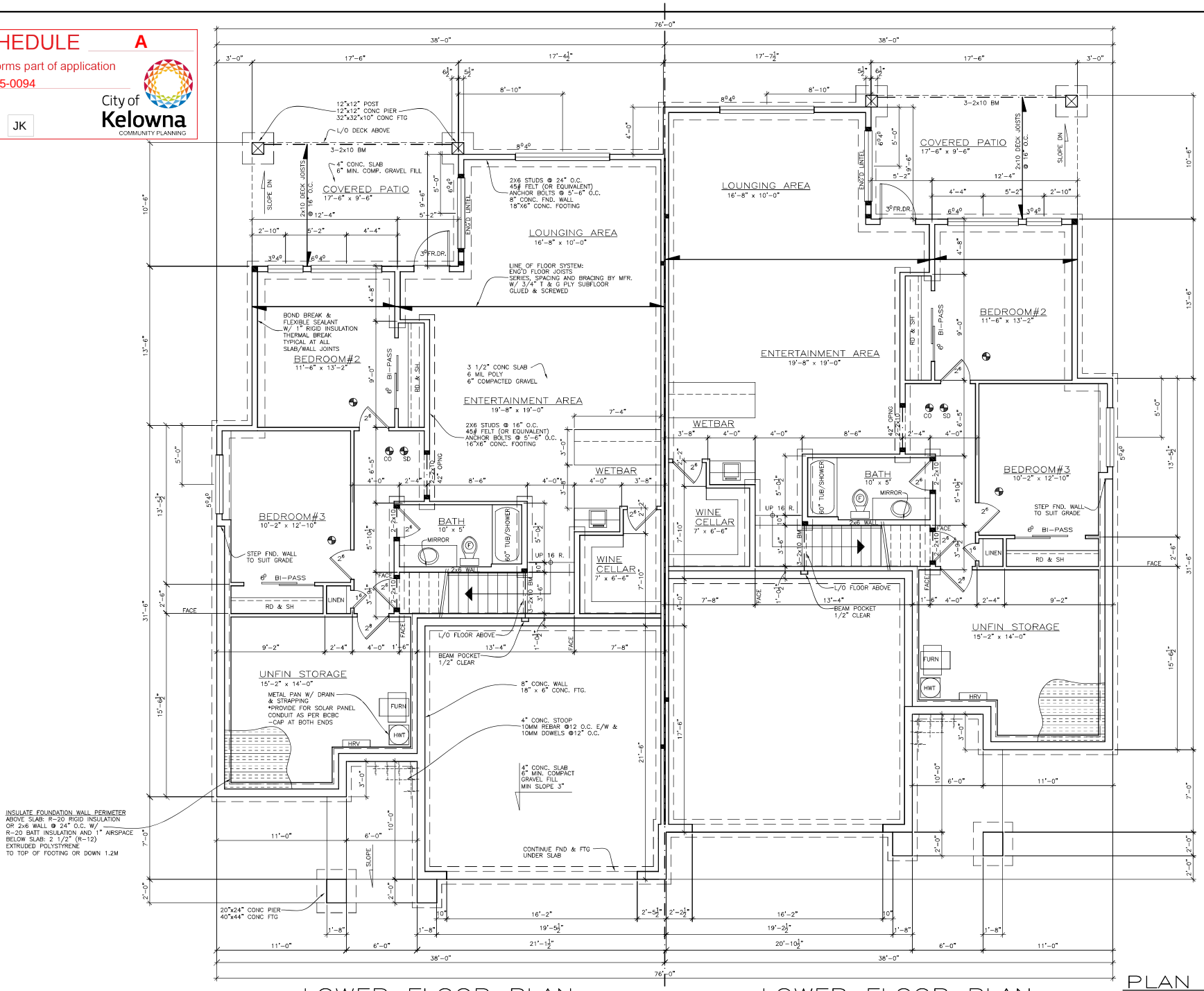
DP25-0094
City of Kelowna
COMMUNITY PLANNING
Planner Initials JK



LOWER FLOOR PLAN

FINISHED AREA = 1272 SQ. FT.
UNFINISHED AREA = 249 SQ. FT.

℄ OF 1" AIR SPACE

LOWER FLOOR PLAN

FINISHED AREA = 1272 SQ. FT.
UNFINISHED AREA = 249 SQ. FT.

TOTAL FINISHED AREA = 2544 SQ. FT.
TOTAL UNFINISHED AREA = 498 SQ. FT.

PROVIDE ROUGHIN SUBFLOOR DEPRESSURIZATION SYSTEM,
4" GRANULAR FILL BELOW SLAB AND PROVIDE 4" PIPE WITH
CONNECTION FOR FUTURE DEPRESSURIZATION EQUIPMENT AND AIRTIGHT CAP
TO BE PASSIVELY VENTED TO EXTERIOR, TO BE TERMINATED OUTSIDE

* REINFORCED FOUNDATION TO
ENGINEERS SPECS WHERE SLAB
TO GRADE DIMENSION EXCEED:
7'-6" BACKFILL

WILDEN

PLAN 'B'

NOTE:
REMOVAL OF JHDL LOGO, TITLE BLOCK OR WATER MARK IS AGAINST CANADIAN COPYRIGHT LAWS

NOTE:
SOME BEAMS & LINTELS MAY BE REQUIRED TO BE ENGINEERED DUE TO ROOF LOADS NOT COVERED IN THE BUILDING CODE & IS THE RESPONSIBILITY OF THE HOME OWNER OR BUILDER TO SECURE.

HEAD OFFICE:
201-1658 COMMERCE AVE
KELOWNA, B.C., V1Y 8J9
(250) 763-5461
TOLL FREE 1-888-468-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: CUSTOM
DRAWN: AD
CHECKED: TB
DATE: MARCH 2025
SCALE: 1/4"=1'-0"
SHEET: 1 OF 6
PLAN NUMBER: C2-3-110 WALKOUT

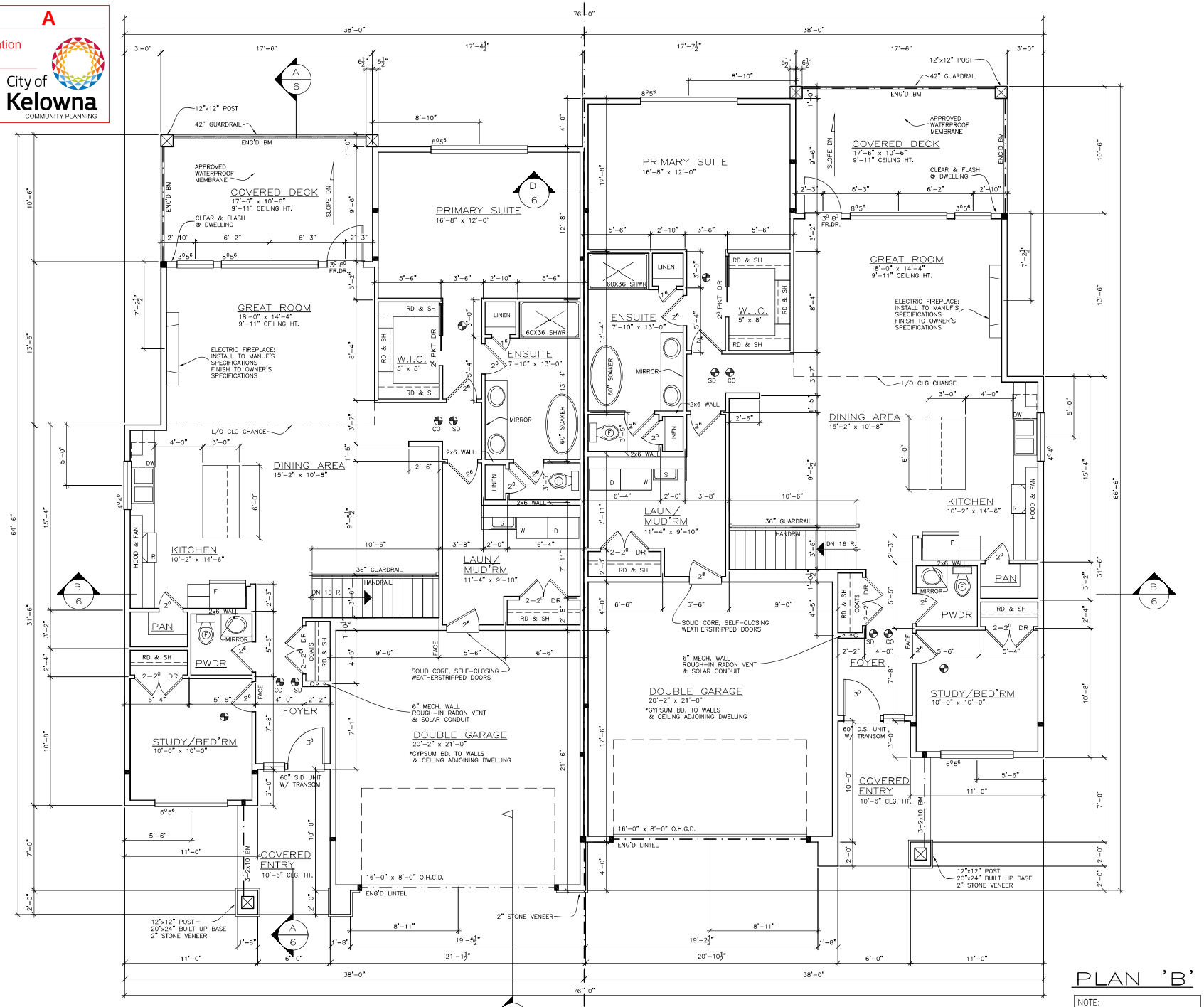
SCHEDULE A

This forms part of application

DP25-0094

City of Kelowna COMMUNITY PLANNING

Planner Initials JK



MAIN FLOOR PLAN

FINISHED AREA = 1519 SQ. FT.
GARAGE AREA = 426 SQ. FT.

℄ OF 1" AIR SPACE

MAIN FLOOR PLAN

FINISHED AREA = 1519 SQ. FT.
GARAGE AREA = 426 SQ. FT.

TOTAL FINISHED AREA = 3038 SQ. FT.
TOTAL GARAGE AREA = 852 SQ. FT.

PLAN 'B'

NOTE:
BUILDER TO PROVIDE ELECTRIC VEHICLE (EV) ENERGIZED OUTLET CAPABLE OF PROVIDING LEVEL 2 CHARGING.

NOTE:
SOME BEAMS & LINTELS MAY BE REQUIRED TO BE ENGINEERED DUE TO ROOF LOADS NOT COVERED IN THE BUILDING CODE & IS THE RESPONSIBILITY OF THE HOME OWNER OR BUILDER TO SECURE.

WILDEN

JENISH HOUSE DESIGN LIMITED
HEAD OFFICE:
201-1658 COMMERCE AVE
KELOWNA, B.C., V1Y 8J9
(250) 763-5461
TOLL FREE 1-888-458-9235

REFERENCE: CUSTOM
DRAWN: AD
CHECKED: TB
DATE: MARCH 2025
SCALE: 1/4"=1'-0"
SHEET: 2 OF 6
PLAN NUMBER: C2-3-110 WALKOUT

SCHEDULE **A**

This forms part of application

DP25-0094

City of Kelowna
COMMUNITY PLANNING

Planner Initials JK

PLAN 'C'

(BUILDINGS 12 - 15)

WILDEN

HEAD OFFICE:
201-1658 COMMERCE AVE
KELOWNA, B.C., V1X 8A9
(250) 420-3346
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: FORM AND CHARACTER
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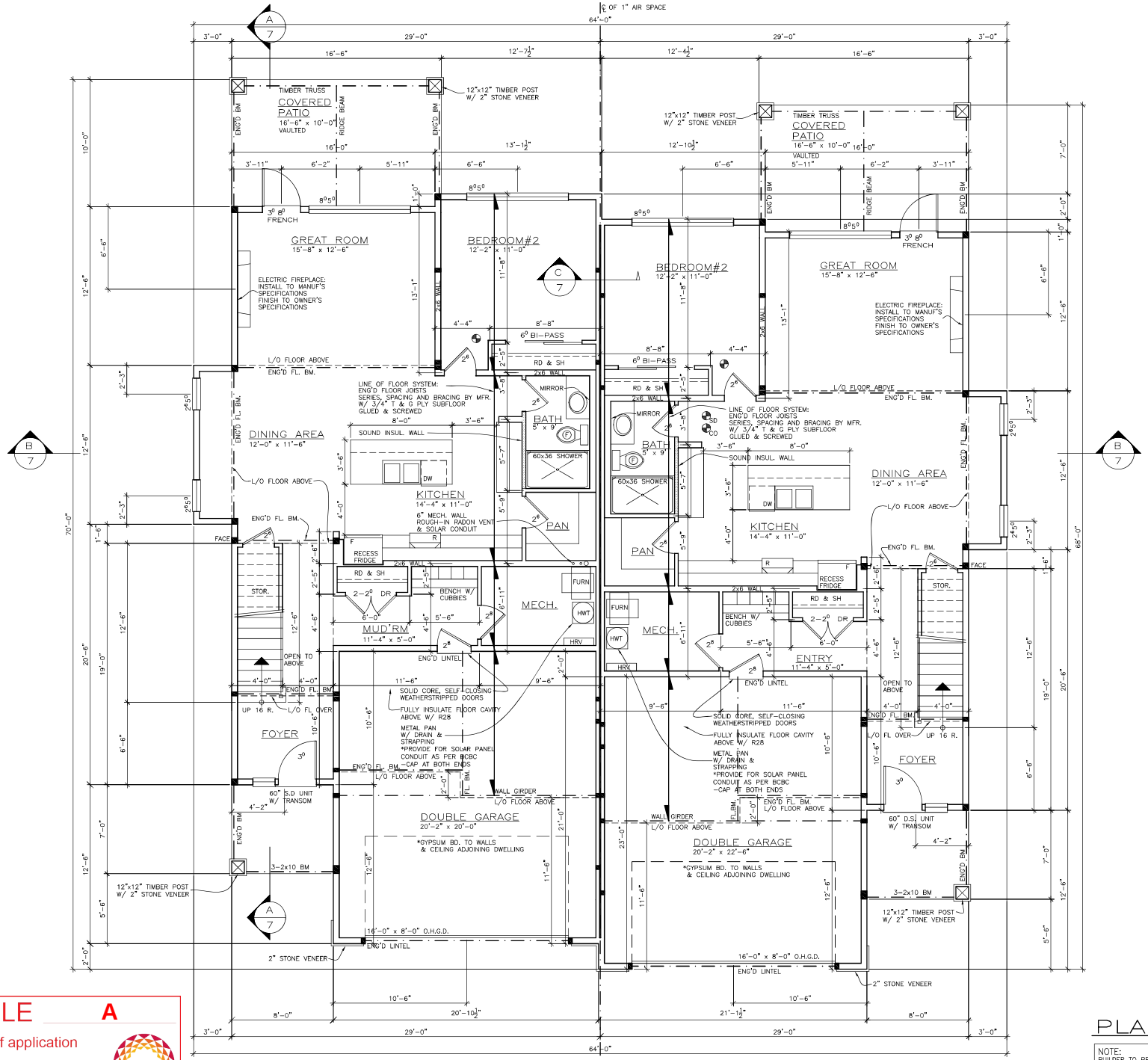
DATE: MARCH 2025
SCALE:
SHEET: F and C
PLAN NUMBER: C2-3-110



MAIN FLOOR PLAN

FINISHED AREA = 1154 SQ. FT.
GARAGE AREA = 458 SQ. FT.

MAIN FLOOR PLAN

FINISHED AREA = 1154 SQ. FT.
GARAGE AREA = 478 SQ. FT.

TOTAL FINISHED AREA = 2308 SQ. FT.
TOTAL GARAGE AREA = 916 SQ. FT.

PLAN 'C'

NOTE:
BUILDER TO PROVIDE ELECTRIC VEHICLE (EV) ENERGIZED OUTLET CAPABLE OF PROVIDING LEVEL 2 CHARGING.

NOTE:
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WILDEN

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City of Kelowna
COMMUNITY PLANNING

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201-1658 COMMERCE AVE
KELOWNA, B.C., V1Y 8A9
(250) 763-0066
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: CUSTOM
DRAWN: AD
CHECKED: TB
DATE: MARCH 2025
SCALE: 1/4"=1'-0"
SHEET: 2 OF 7
PLAN NUMBER: C2-3-110 TWO STOREY

SCHEDULE **A**

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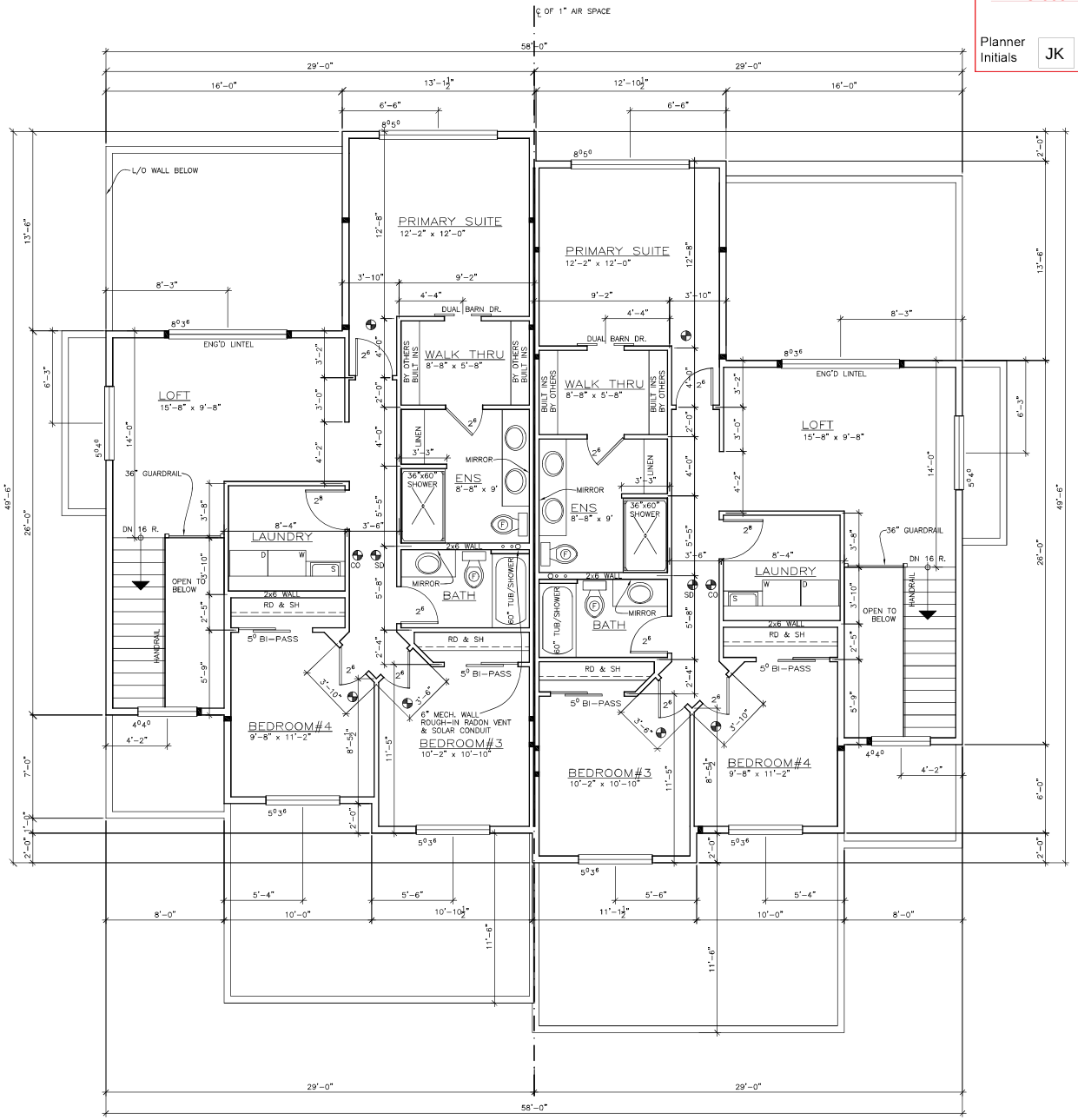
DP25-0094

Planner Initials JK

City of Kelowna
COMMUNITY PLANNING



SECOND FLOOR PLAN
FINISHED AREA = 982 SQ. FT.

SECOND FLOOR PLAN
FINISHED AREA = 982 SQ. FT.

TOTAL FINISHED AREA = 1964 SQ. FT.

WILDEN

PLAN 'C'

HEAD OFFICE:
201-1658 COMMERCE AVE
KELOWNA, B.C., V1Y 9K9
(250) 763-0146
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: CUSTOM

DRAWN: AD

CHECKED: TB

DATE: MARCH 2025

SCALE: 1/4"=1'-0"

SHEET: 3 OF 7

PLAN NUMBER: C2-3-110 TWO STOREY

SCHEDULE **B**

This forms part of application

DP25-0094

City of Kelowna
COMMUNITY PLANNING

Planner Initials JK

PLAN 'A'

(BUILDINGS 1 - 6)

WILDEN

HEAD OFFICE:
201 - 1658 COMMERCE AVE
KELOWNA, B.C., V1Y 9A9
(250) 420-3346
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: FORM AND CHARACTER
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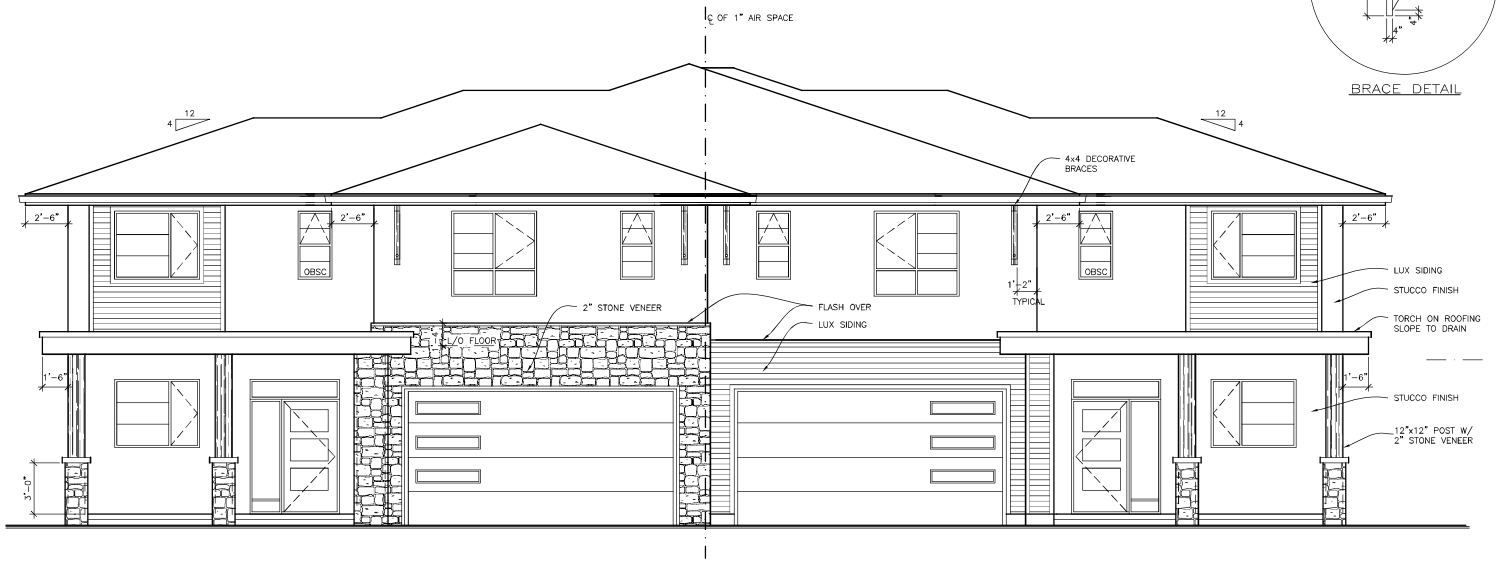
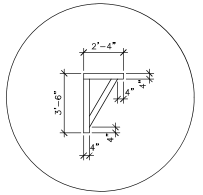
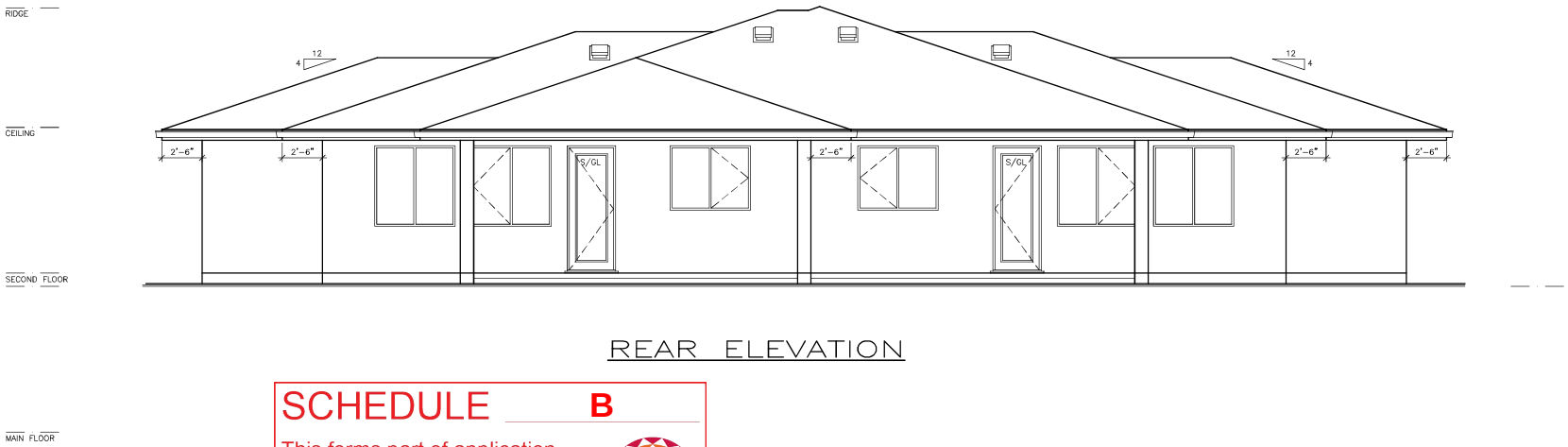
CHECKED: AD
DATE: MARCH 2025
SCALE:
SHEET: F and C
PLAN NUMBER: C2-3-110



FRONT ELEVATION



BRACE DETAIL



REAR ELEVATION

SCHEDULE B

This forms part of application

DP25-0094

City of Kelowna
COMMUNITY PLANNING

Planner Initials JK

WILDEN

PLAN 'A'

HEAD OFFICE:
201-1658 COMMERCE AVE
KELOWNA, B.C., V1Y 8A9
(250) 450-1546
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: CUSTOM

DRAWN: AD

CHECKED: TB

DATE: MARCH 2025

SCALE: 1/4"=1'-0"

SHEET: 5 OF 7

PLAN NUMBER: C2-3-110 UPSLOPE

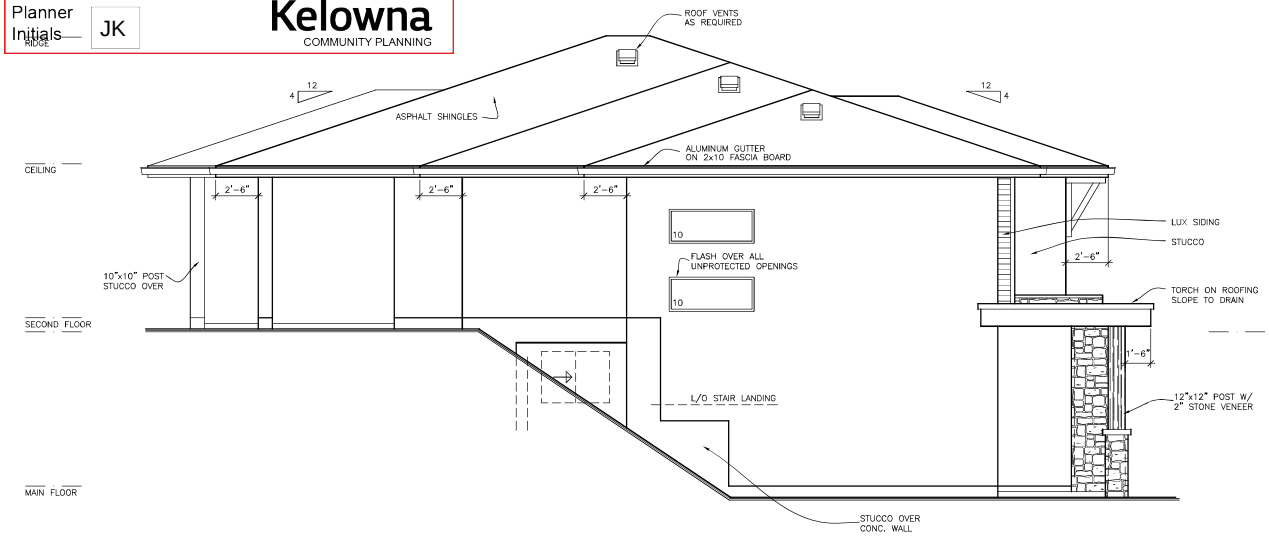
SCHEDULE **B**

This forms part of application

DP25-0094

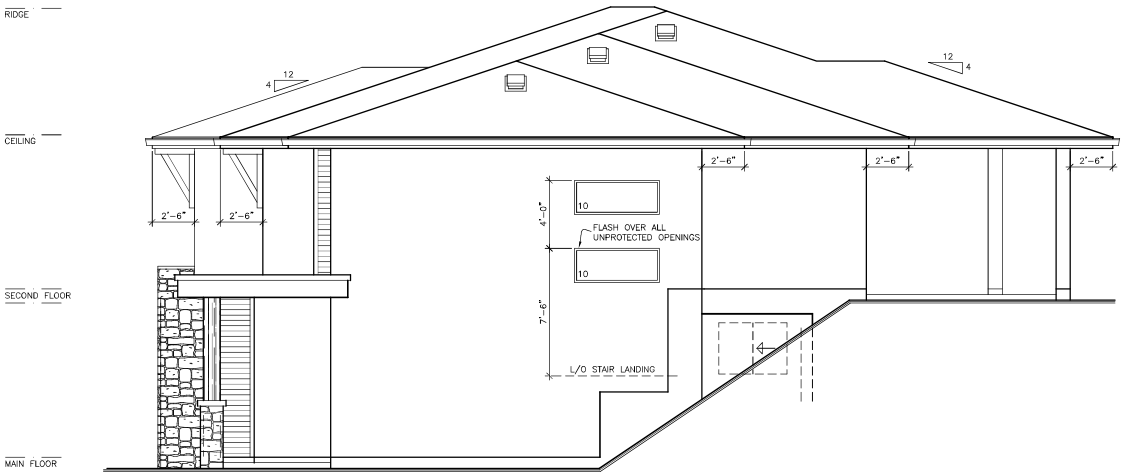
City of **Kelowna**
COMMUNITY PLANNING

Planner Initials JK



LEFT ELEVATION

WALL AREA = 679 SQ.FT. (63.1 SQ.M.)
GLASS AREA = 20 SQ.FT. (1.9 SQ.M.)
LIMITING DIST. = XXXX M.
UPO ALLOWABLE = XXXX% (3.0% PROVIDED)



RIGHT ELEVATION

WALL AREA = 721 SQ.FT. (67.0 SQ.M.)
GLASS AREA = 20 SQ.FT. (1.9 SQ.M.)
LIMITING DIST. = XXXX M.
UPO ALLOWABLE = XXXX% (2.8% PROVIDED)

WILDEN

PLAN 'A'

NOTE:
ENGINEER'S ADDENDUMS, STRUCTURAL DETAILS, AND NOTES SUPERCEDE THOSE NOTED ON THIS GENERAL NOTE SHEET DEPENDING ON LOCAL CONDITIONS.

GENERAL NOTES

STANDARD NOTES

- THE FOLLOWING NOTES ARE TO BE INCLUDED WITH AND BECOME PART OF THE ATTACHED PLANS.
- BY COMMENCING CONSTRUCTION OF A BUILDING FROM THESE PLANS, THE OWNER AND/OR BUILDER ACCEPTS THESE PLANS AS DRAWN AND HAS READ AND UNDERSTANDS THE GENERAL NOTES AS FOLLOWS.
- THIS DRAWING WAS PREPARED IN ACCORDANCE WITH THE CURRENT EDITION OF THE BC BUILDING CODE. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO INSURE THAT SUBSEQUENT CHANGES TO THE CODE ARE COMPLIED WITH AND INCORPORATED IN THE CONSTRUCTION OF THIS PLAN. ALL WORK SHALL CONFORM TO THE CURRENT BC BUILDING CODE AND/OR LOCAL BUILDING CODES AND BYLAWS THAT MAY TAKE PRECEDENCE.
- ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
- JENISH HOUSE DESIGN LIMITED SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITIONS ENCOUNTERED AT THE JOB SITE AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.
- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OR USE OF EQUIPMENT SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOAD.
- THE BUILDER SHALL BE RESPONSIBLE FOR MAINTAINING A HEAT AND ORDERLY CONSTRUCTION SITE AT ALL TIMES.
- AT END OF CONSTRUCTION THE BUILDER SHALL BE RESPONSIBLE FOR CLEANING THE JOB SITE AND BUILDING(S) OF ANY REFUSE AND MAKING GOOD ANY DAMAGE TO BUILDING(S) INCURRED DURING CONSTRUCTION.
- PRIOR TO COMMENCING EXCAVATION WORK THE BUILDER SHALL BE RESPONSIBLE FOR ESTABLISHING THE LOCATION OF AND CLEARLY MARKING EXISTING SERVICES AND IMMEDIATELY NOTIFYING APPLICABLE AUTHORITIES OF ANY DISCREPANCIES
- TOPSOIL AND EXCAVATED MATERIAL TO BE STOCKPILED SEPARATELY ON SITE.

ERRORS AND OMISSIONS

- JENISH HOUSE DESIGN LIMITED MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS THAT MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION.
- SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS PLEASE ADVISE OUR OFFICE AT YOUR EARLIEST CONVENIENCE, BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS PURCHASED IF NECESSARY. IN THIS WAY WE CAN BETTER SERVE YOU AND PREVENT ERRORS FROM RECURRING.

STRUCTURAL DESIGN AND ENGINEERING

- TO PROVIDE OUR CLIENTS WITH DISTINCTIVE AND ATTRACTIVE DESIGNS IT HAS BEEN NECESSARY IN SOME INSTANCES TO USE BEAM SIZES AND FRAMING DETAILS NOT SPECIFIED IN PART NINE OF THE B.C. BUILDING CODE. THE CITY OR MUNICIPAL BUILDING DEPARTMENT MAY REQUIRE CONFIRMATION BY A CERTIFIED STRUCTURAL ENGINEER WHICH IS THE RESPONSIBILITY OF OWNER OR BUILDER TO PROVIDE.

STRUCTURAL DESIGN CRITERIA

- ASSUMED ROOF DESIGN LOAD (LIVE AND DEAD) – 50 POUNDS PER SQUARE FOOT (2.5 KN/M.SQ.)
  ASSUMED SOIL BEARING CAPACITY – 2,500 P.S.F. (119.7 KN/M.SQ.)
- CONCRETE FOUNDATIONS AND SLABS ON GRADE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 MPA AT 28 DAYS.
- FRAMING LUMBER TO BE #2 S.P.F. AND BETTER UNLESS OTHERWISE NOTED.
  BEAMS TO BE #2 S.P.F. AND BETTER.

NOTE:
IF SOIL CONDITIONS ARE LESS, OR FLOOR AND ROOF LOADS ARE GREATER THAN THIS PLAN IS DESIGNED FOR, YOUR BUILDING DEPARTMENT MAY REQUIRE ADJUSTMENTS TO THE PLANS OR ASK THAT THE PLANS BE ENGINEERED BY A CERTIFIED STRUCTURAL ENGINEER. IT IS BEST THAT AN ENGINEER FAMILIAR WITH LOCAL CONDITIONS BE CONSULTED.

SITE PLAN NOTES

- IF A SITE PLAN IS NOT PROVIDED BY JENISH HOUSE DESIGN LIMITED, THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THIS HOME ON THE PROPERTY. JENISH HOUSE DESIGN LIMITED ASSUMES NO LIABILITY FOR PLANS COMPLYING WITH ZONING REGULATIONS OR LOT CONDITIONS.
- OWNER SHALL SUPPLY ANY MISSING INFORMATION ON SITE PLAN, I.E. DIMENSIONS, ELEVATIONS OF LOT, LEGAL DESCRIPTION, SITE ADDRESS, NORTH DIRECTION, AND LOCATION OF SERVICES, EASEMENTS AND RIGHT OF WAYS. ALL MEASUREMENTS ON SITE PLAN TO BE GOVERNED AND APPROVED BY AUTHORITIES HAVING JURISDICTION BEFORE STARTING CONSTRUCTION.
- WELLS AND SEPTIC DISPOSAL SYSTEMS TO BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH HEALTH AUTHORITIES HAVING JURISDICTION.

ELECTRICAL

- INSTALLATION OF ELECTRICAL ITEMS MUST COMPLY WITH THE BC ELECTRICAL CODE AND REGULATIONS AND WITH THE LOCAL ELECTRIC POWER SUPPLIER'S REGULATIONS IN ALL RESPECTS.
- ELECTRICAL OUTLET LOCATIONS SHOWN ON PLANS COMPLY WITH OR EXCEED CURRENT BUILDING CODE MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY. ADJUST ACCORDING TO OWNER'S REQUIREMENTS.

FOUNDATIONS

- FOUNDATIONS SHALL BE CONCRETE ON SOLID UNDISTURBED BEARING AND BELOW FROST LINE.
- FOUNDATION WALLS SHALL NOT BE BACK FILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28-DAY STRENGTH AND THE FLOOR SYSTEM INCLUDING SHEATHING HAS BEEN INSTALLED OR UNTIL ADEQUATELY BRACED SUBJECT TO APPROVAL BY AUTHORITY HAVING JURISDICTION.
- GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.
- ALL CONCRETE AND MASONRY FOUNDATION WALLS EXCEEDING HEIGHT LIMITS SPECIFIED BY CURRENT BUILDING CODES REQUIRE ENGINEERING.
- PERIMETER DRAINAGE SHALL BE INSTALLED WHERE REQUIRED TO THE APPROVAL OF LOCAL AUTHORITIES.
- IT IS RECOMMENDED THAT ALL FOUNDATION WALLS 24" (600 MM) AND HIGHER SHALL HAVE ONE 12 MM (1/2" DIAMETER) REINFORCING BAR CENTERED 3" FROM TOP. CORNER REINFORCING TO BE LAPPED MINIMUM 24" .

WOOD FRAMING

- DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR STUDS TO CENTER OF PARTITION WALLS UNLESS OTHERWISE NOTED. FACE OF EXTERIOR STUD WALL AND FOUNDATION WALL TO BE FLUSH.
- JOISTS SHALL BE DOUBLED UNDER PARALLEL PARTITIONS OVER 6'-0" LONG. JOISTS TO BE PLACED TO ACCOMMODATE HEATING, PLUMBING, ETC.
  ALL LINTELS SHALL BE 2 – 2 X 10'S UNLESS OTHERWISE NOTED.
- WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH 45 LBS. FELT, 6 MIL POLY OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE WITH 1/2" DIAMETER ANCHOR BOLTS AT MAXIMUM 6'– 0" O/C. OR OTHER APPROVED METHOD. EXTERIOR CONCRETE SILL PLATES TO BE LEVEL AND UNDERSIDE SEALED.
- FLOOR JOISTS AND ROOF JOISTS WITH SPANS MORE THAN 7'-0" SHALL BE CROSSBRIGED AT MID SPAN OR AT 7'– 0" O/C MAXIMUM UNLESS SHEATHED OR STRAPPED BOTH SIDES WITH WOOD. BRIDGING SHALL BE 2 X 2 DIAGONAL TYPE WHEREVER POSSIBLE.
- ROOF TRUSSES REQUIRE ENGINEER'S CERTIFICATE. FOR PREFABRICATED TRUSSES OBTAIN CERTIFICATE FROM MANUFACTURER.

INSULATION AND VENTILATION

- MINIMUM INSULATION REQUIREMENTS:

ROOF (ATTIC)	R-60	(R.S.I. – 10.56)
ROOF/CEILING (SLOPING)	R-28	(R.S.I. – 4.93)
WALLS	R-24	(R.S.I. – 3.87)
INSULATION REQUIREMENTS 4500 DEGREE DAYS OR GREATER		
	R-60	(R.S.I. – 10.56)
	R-24	(R.S.I. – 4.23)

- 6 MIL ULTRAVIOLET RESISTANT POLY AIR BARRIER SHALL BE INSTALLED ON THE WARM SIDE OF INSULATION.
- ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, OR A COMBINATION OF THESE EQUALLY DISTRIBUTED BETWEEN TOP OF ATTIC SPACE AND OVERHANG SOFFIT.
- PROVIDE BAFFLE FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
- ATTICS OR ROOF SPACES TO BE VENTED MINIMUM 1/300 OF AREA. UNHEATED CRAWLSPACES TO BE VENTED MINIMUM 1/500 OF AREA WITH CLOSEABLE VENTS.

FINISHING

- OWNER SHALL SPECIFY ALL INTERIOR AND EXTERIOR FINISHING. OWNER SHALL CONFIRM ANY FINISHING SHOWN ON PLANS.
- EXTERIOR DOORS SHALL BE SOLID CORE/INSULATED AND WEATHER-STRIPPED. GARAGE DOORS TO DWELLING TO BE AS ABOVE AND SELF-CLOSING.
  FLASH AT ALL HORIZONTAL CHANGES IN EXTERIOR FINISHING AND CAULK AROUND ALL EXTERIOR OPENINGS. FLASH OVER ALL UNPROTECTED OPENINGS.
- WINDOW SIZES ARE SHOWN IN FEET AND INCHES. I.E. $4'$-$8'' = 4'$– $0''$ WIDE BY $3'$–$6''$ HIGH. DOOR SIZES ARE WIDTH SHOWN BY 6'– 8" HIGH. I.E. $2'' = 2'$– $8''$ WIDE BY 6'– 8" HIGH.
- OPENINGS IN PARTITIONS SHOWN WITHOUT DOORS ARE FULL HEIGHT UNLESS SHOWN AS AN ARCH. ARCHES ARE FRAMED 7'–0" HIGH UNLESS OTHERWISE NOTED.
- COAT AND CLOTHES CLOSETS SHALL HAVE ONE ROD AND SHELF. LINEN CLOSETS SHALL HAVE 5 ADJUSTABLE SHELVES WHERE POSSIBLE. BROOM CLOSETS SHALL HAVE ONE SHELF.
- ALL BATHROOMS SHALL HAVE A WALL MEDICINE CABINET OR ONE LOCKABLE DRAWER.

HEATING

- INSTALLATION OF ENTIRE HEATING SYSTEM MUST COMPLY WITH MANUFACTURER'S DIRECTIONS (WHERE APPLICABLE) AND CONFORM WITH LOCAL CODES AND REGULATIONS IN ALL RESPECTS.
- GAS CONNECTION WILL REQUIRE SEPARATE PERMIT AND INSPECTION.
- FUEL BURNING APPLIANCES, INCLUDING FURNACES, FIREPLACES AND STOVES, TO BE PROVIDED WITH COMBUSTION AIR SUPPLY FROM EXTERIOR.

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- JENISH HOUSE DESIGN LIMITED PERMITS THE PURCHASER TO CONSTRUCT ONLY ONE (1) DWELLING FROM THESE DRAWINGS.

ELECTRICAL SYMBOLS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
CEILING WALL					
(PS) (PS)	SURFACE MOUNTED LIGHT FIXTURE (P.S.INDICATES PULL SWITCH)		DUPLEX RECEPTACLE (NUMBER INDICATES HEIGHT ABOVE FLOOR IF OTHER THAN 12")	B	GARAGE DOOR OPENER
D	DROPPED LIGHT FIXTURE		SINGLE RECEPTACLE	C	DOOR CHIMES
	CEILING FAN		QUAD RECEPTACLE	P	PUSH BUTTON
	RECESSED LIGHT FIXTURE		DUPLEX RECEPTACLE SWITCHED ONE SIDE	ICC	INTERCOM CENTER
	RECESSED WALL WASHER		DUPLEX RECEPTACLE – SPLIT CIRCUIT	IC	REMOTE INTERCOM
VP VP	VAPOUR PROOF LIGHT FIXTURE		DUPLEX FLOOR RECEPTACLE		TELEVISION CABLE OUTLET
	FLOOD LIGHT		SPECIAL PURPOSE FIXED WIRED OUTLET – I.E. DISHWASHER, SAUNA		TELEPHONE OUTLET
C	CLOCK OUTLET	(30,40)	208/230 VOLT FOR RANGE, OVEN, AND DRYER ETC. – 30 OR 40 AMP		SMOKE DETECTOR AND ALARM
F F	VENT FAN	A	DUPLEX APPLIANCE OUTLET		
	RECESSED HEAT LAMP	WP	DUPLEX RECEPTACLE WEATHER PROOFED, ALL W.P. OUTLETS ALSO TO HAVE G.F.I. PROTECTION.		
	TRACK LIGHT	GFI	DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER CIRCUIT BREAKER		
	SINGLE FLUORESCENT FIXTURE	S	SINGLE POLE SWITCH		
	FLUORESCENT LIGHT FIXTURE SURFACE MOUNTED	3,4	3 WAY OR 4 WAY SWITCH		
	FLUORESCENT LIGHT FIXTURE RECESSED	DIM	DIMMER CONTROL SWITCH		
		D	DOOR SWITCH		
		T	TIMER		

STANDARD SYMBOLS

SYMBOL	DESCRIPTION
A	CLASS A METAL CHIMNEY
B	CLASS B METAL CHIMNEY
	HOSE BIB
	FLOOR DRAIN
	LAMINATED POST IN WALL SUPPORTING BEAM OR GIRDER TRUSS. (WIDTH OF POST SAME AS STRUCTURAL MEMBER SUPPORTED)
FLOOR CEILING WALL	WARM AIR REGISTERS
	RETURN AIR REGISTER

HEAD OFFICE:
201-1658 COMMERCE AVE
KELOWNA, B.C. V1Y 8A9
(250) 763-5144
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

JENISH HOUSE DESIGN LIMITED

REFERENCE: CUSTOM

DRAWN: AD

CHECKED: TB

DATE: MARCH 2025

SCALE: 1/4"=1'–0"

SHEET: 6 OF 7

PLAN NUMBER: C2–3–110 UPSLOPE

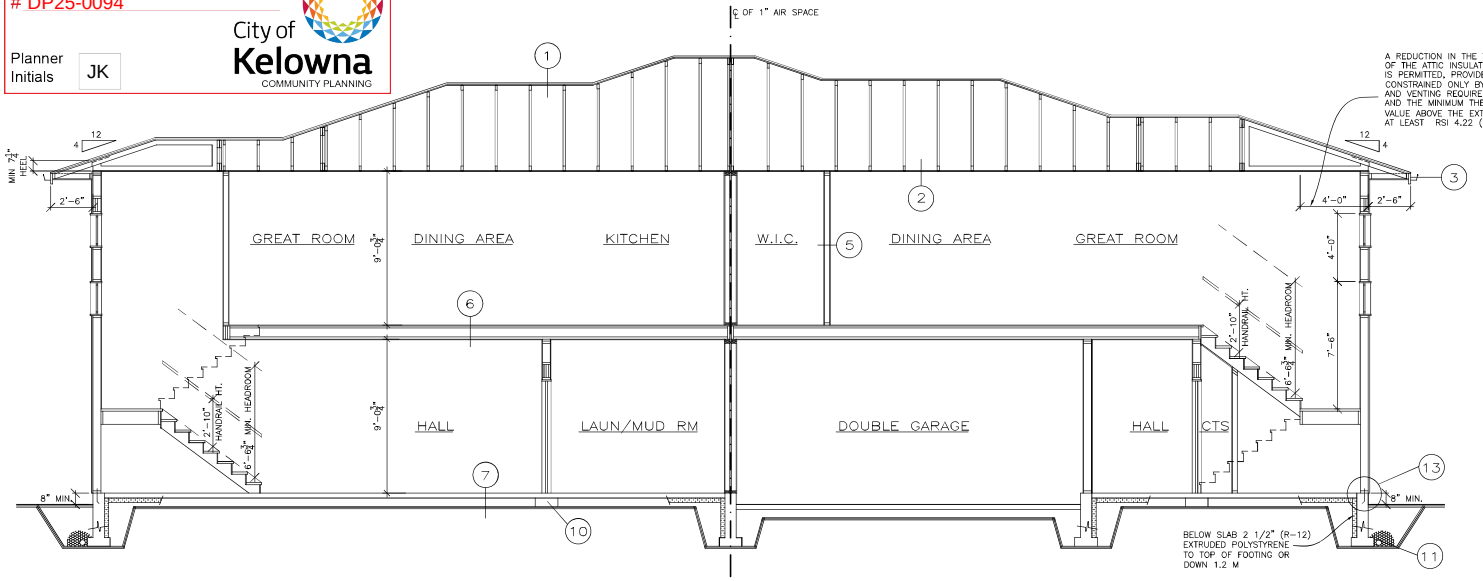
SCHEDULE **B**

This forms part of application

DP25-0094

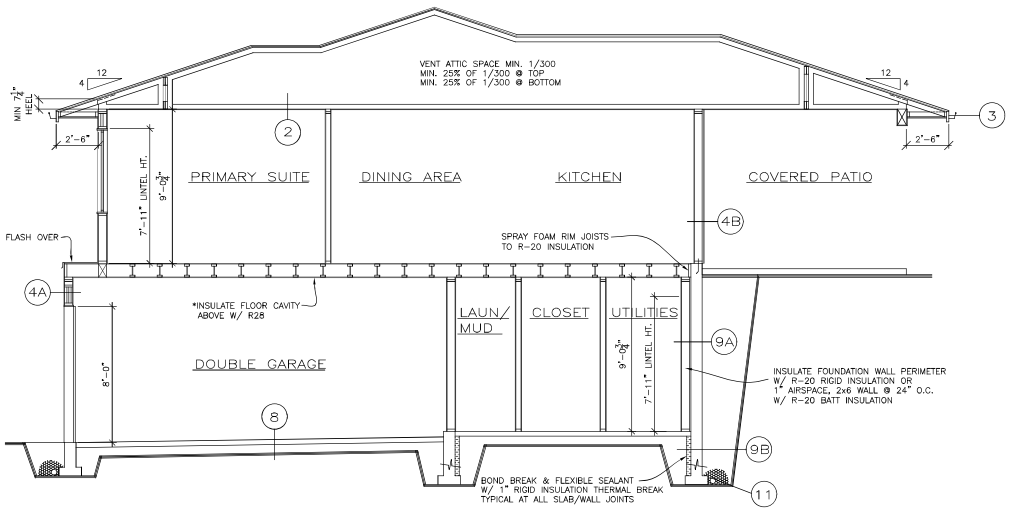
City of Kelowna
COMMUNITY PLANNING

Planner Initials JK



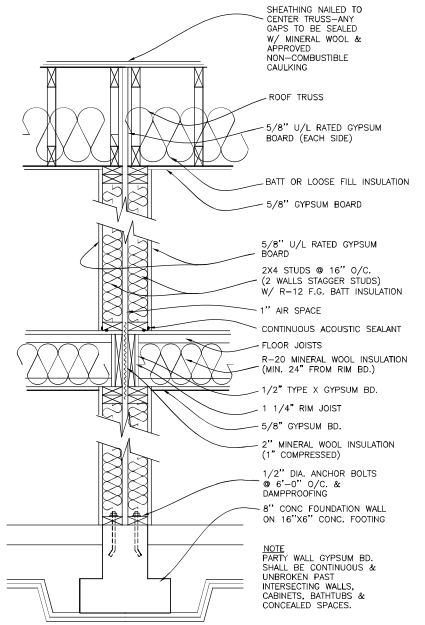
CROSS SECTION B/2

SCALE: 1/4" = 1'-0"



CROSS SECTION A/2

SCALE: 1/4" = 1'-0"



PARTY WALL DETAIL C/2

SCALE: 1" = 1'-0"

TO CONFORM TO BC BUILDING CODE TABLE-A 9.10.3.1.A, W13A

OR TWO ROWS 2x6 STUDS, ON SEPARATE 2x6 PLATES, 1" APART
1 LAYERS 5/8" TYPE 'X' GYPSUM BOARD ON EACH SIDE
R-20, 2X6 BATT ON EACH SIDE

WILDEN

SPECIFICATIONS

1 **ROOF:**
ASPHALT SHINGLES
BUILDING PAPER
1/2" PLYWOOD SHEATHING W/ H-CLIPS
ENGINEERED ROOF TRUSSES @ 24" o/c

2 **CEILING:**
R-60 BATT INSULATION
6 MIL. POLY. V.B.
5/8" GYPSUM BOARD

3 **FASCIA/SOFFIT:**
ALUM. GUTTER
2 x 10 FASCIA BOARD
VENTED ALUM SOFFIT

4A **EXTERIOR WALL:**
HORIZONTAL SIDING
BUILDING PAPER
7/16" PLYWOOD SHEATHING
2 x 6 STUDS @ 24" o/c
R-24 BATT INSULATION
6 MIL. POLY. V.B.
1/2" GYPSUM BOARD

4B **EXTERIOR WALL:**
STUCCO
STUCCO LATH
BUILDING PAPER
7/16" PLYWOOD SHEATHING
2 x 6 STUDS @ 24" o/c
R-24 BATT INSULATION
6 MIL. POLY. V.B.
1/2" GYPSUM BOARD

5 **INTERIOR PARTITION:**
1/2" GYPSUM BOARD — EACH SIDE
2 x 4 STUDS @ 16" o/c (2 x 6 WHERE NOTED)

6 **MAIN FLOOR:**
FINISH FLOORING
3/4" T & G PLYWOOD SUBFLOOR GLUED & SCREWED
ENG'D FLOOR JOISTS
SERIES, SPACING & BRACING TO MANUF. SPECS.

7 **BASEMENT FLOOR:**
3-1/2" CONCRETE SLAB
6 MIL. POLY. V.B.
6" COMPACTED SAND OR GRAVEL

8 **GARAGE FLOOR:**
4" CONC SLAB
6" MIN COMP. SAND OR GRAVEL

9A **EXTERIOR FOUNDATION (ABOVE SLAB):**
2 COATS ASPHALT EMULSION
8" CONC. FOUNDATION WALL
R-20 RIGID INSULATION OR
1" AIRSPACE, 2x6 WALL @ 24" O.C.
W/ R-20 BATT INSULATION

9B **EXTERIOR FOUNDATION (BELOW SLAB):**
2 COATS ASPHALT EMULSION
8" CONC. FOUNDATION WALL
2 1/2" (R-12) EXTRUDED POLYSTYRENE
DOWN 1.2 M OR TO TOP OF FOOTING
18" x 6" CONCRETE FOOTING

10 **INTERIOR FOUNDATION:**
2 x 4 & 2 x 6 STUDS @ 16" o/c
ON 45 # FELT OR EQUIVALENT
1/2" DIA. ANCHOR BOLTS @ 5'-6" o/c
16" x 6" CONC. FOOTING

11 **DRAINAGE:**
4" DIA. DRAIN TILE
6" MIN. DRAIN ROCK COVER

12 **STAIRS:**
16 EQUAL RISERS
10" RUNS W/ 1" NOSING
2x10 STRINGERS
34" HIGH HANDRAIL
6'-6 3/4" MIN. HEADROOM

13 **PLATE TO FOUNDATION CONNECTION**
1/2" DIAM. ANCHOR BOLTS @ 5'-6" O.C.
2x6 PLATE ON 45# FELT OR
APPROVED DAMPPROOFING

PLAN 'A'

HEAD OFFICE:
201-1658 COMMERCE AVE
KELOWNA, B.C., V1Y 8A9
(250) 763-7846
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: CUSTOM
DRAWN: AD
CHECKED: TB
DATE: MARCH 2025
SCALE: AS NOTED
SHEET: 7 OF 7
PLAN NUMBER: C2-3-110 UPSLOPE

SCHEDULE **B**

This forms part of application

DP25-0094

City of Kelowna
COMMUNITY PLANNING

Planner Initials JK

PLAN 'B'

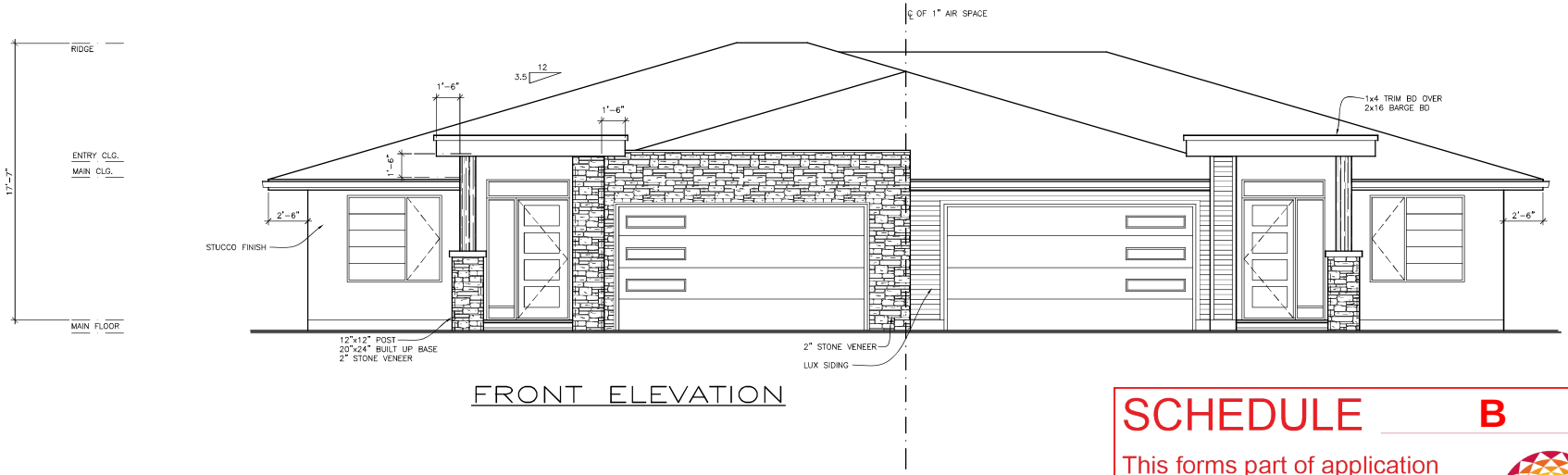
(BUILDINGS 7 - 11)

WILDEN

HEAD OFFICE:
201-1658 COMMERCE AVE
KELOWNA, B.C., V1X 8A9
(250) 420-3346
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: FORM AND CHARACTER
DRAWN: TWB
CHECKED: AD
DATE: MARCH 2025
SCALE:
SHEET: F and C
PLAN NUMBER: C2-3-110



FRONT ELEVATION

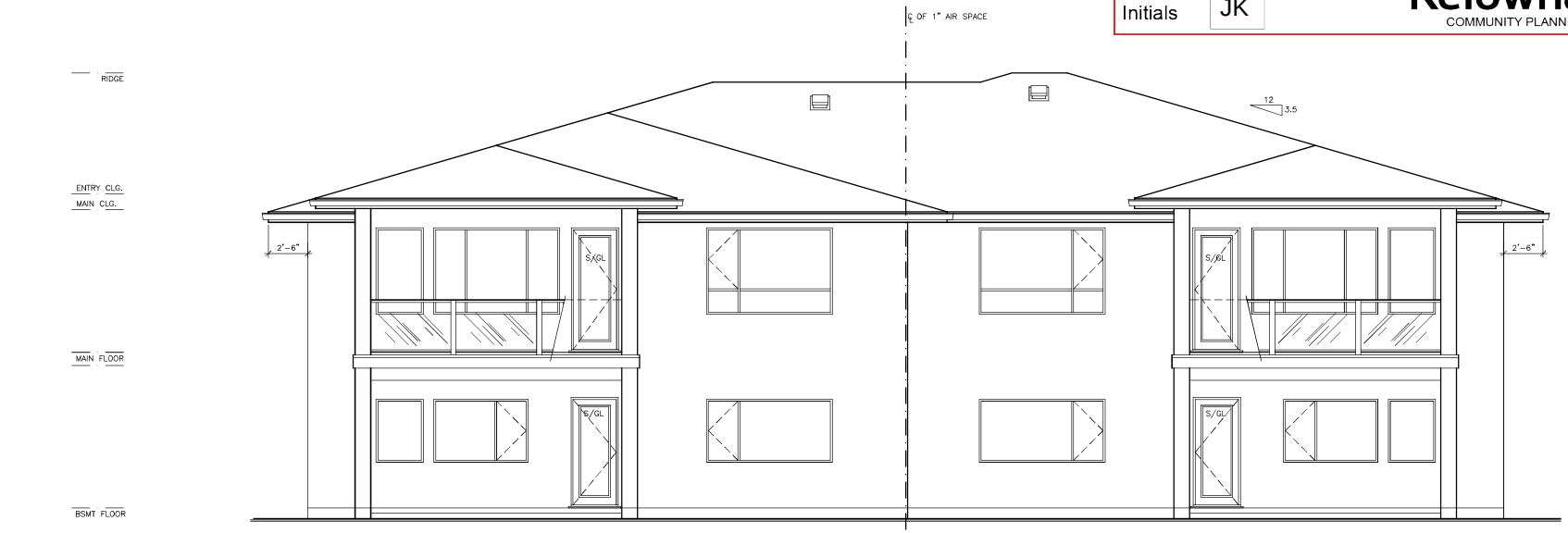
SCHEDULE **B**

This forms part of application

DP25-0094

City of Kelowna
COMMUNITY PLANNING

Planner Initials JK



REAR ELEVATION

WILDEN

PLAN 'B'

HEAD OFFICE:
201-1658 COMMERCE AVE
KELOWNA, B.C., V1Y 8J9
(250) 862-4546
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: CUSTOM

DRAWN: AD

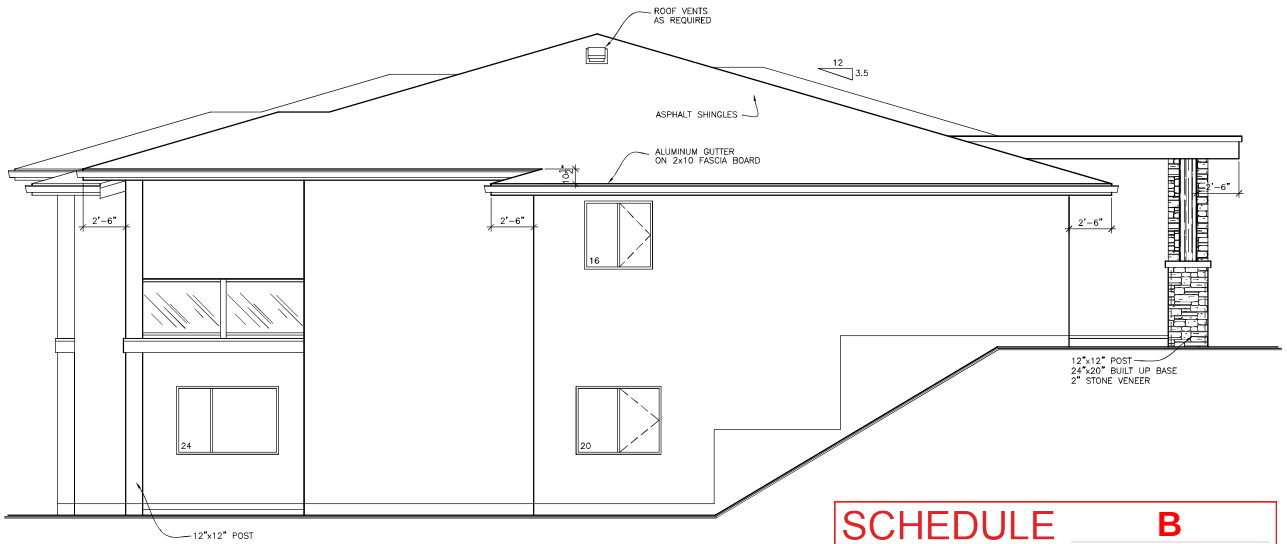
CHECKED: TB

DATE: MARCH 2025

SCALE: 1/4"=1'-0"

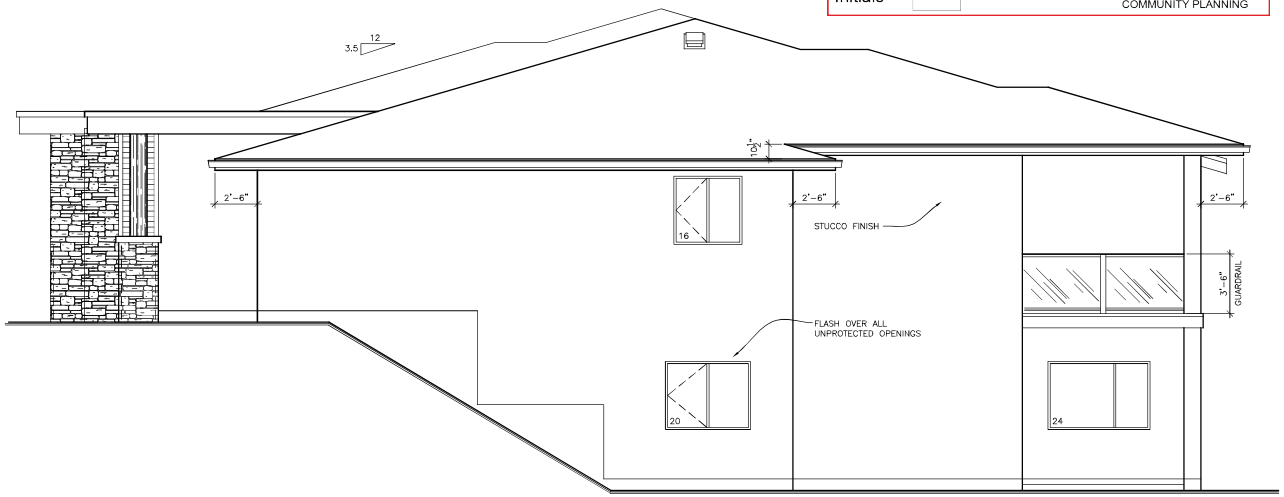
SHEET: 4 OF 6

PLAN NUMBER: C2-3-110 WALKOUT



LEFT ELEVATION

WALL AREA = 1137 SQ.FT. (105.6 SQ.M.)
GLASS AREA = 60 SQ.FT. (5.6 SQ.M.)
LIMITING DIST. = XXXX M.
UPO ALLOWABLE = XXXX% (5.3% PROVIDED)



RIGHT ELEVATION

WALL AREA = 1103 SQ.FT. (102.5 SQ.M.)
GLASS AREA = 60 SQ.FT. (5.6 SQ.M.)
LIMITING DIST. = XXXX M.
UPO ALLOWABLE = XXXX% (5.5% PROVIDED)

WILDEN

PLAN 'B'

SCHEDULE B

This forms part of application
DP25-0094

Planner Initials JK

City of Kelowna
COMMUNITY PLANNING

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- THIS DRAWING WAS PREPARED IN ACCORDANCE WITH THE CURRENT EDITION OF THE BC BUILDING CODE. IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO INSURE THAT SUBSEQUENT CHANGES TO THE CODE ARE COMPLIED WITH AND INCORPORATED IN THE CONSTRUCTION OF THIS PLAN. ALL WORK SHALL CONFORM TO THE CURRENT BC BUILDING CODE AND/OR LOCAL BUILDING CODES AND BYLAWS THAT MAY TAKE PRECEDENCE.
- ALL WORK SHALL BE EQUAL IN ALL RESPECTS TO GOOD BUILDING PRACTICE.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
- JENISH HOUSE DESIGN LIMITED SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENTS REQUIRED RESULTING FROM CONDITIONS ENCOUNTERED AT THE JOB SITE AND IS THE SOLE RESPONSIBILITY OF THE OWNER OR CONTRACTOR.
- CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OR USE OF EQUIPMENT SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOAD.
- THE BUILDER SHALL BE RESPONSIBLE FOR MAINTAINING A NEAT AND ORDERLY CONSTRUCTION SITE AT ALL TIMES.
- AT END OF CONSTRUCTION THE BUILDER SHALL BE RESPONSIBLE FOR CLEANING THE JOB SITE AND BUILDING(S) OF ANY REFUSE AND MAKING GOOD ANY DAMAGE TO BUILDING(S) INCURRED DURING CONSTRUCTION.
- PRIOR TO COMMENCING EXCAVATION WORK THE BUILDER SHALL BE RESPONSIBLE FOR ESTABLISHING THE LOCATION OF AND CLEARLY MARKING EXISTING SERVICES AND IMMEDIATELY NOTIFYING APPLICABLE AUTHORITIES OF ANY DISCREPANCIES
- TOPSOIL AND EXCAVATED MATERIAL TO BE STOCKPILED SEPARATELY ON SITE.

ERRORS AND OMISSIONS

- JENISH HOUSE DESIGN LIMITED MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS THAT MAY AFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION.
- SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS PLEASE ADVISE OUR OFFICE AT YOUR EARLIEST CONVENIENCE, BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS PURCHASED IF NECESSARY. IN THIS WAY WE CAN BETTER SERVE YOU AND PREVENT ERRORS FROM RECURRING.

STRUCTURAL DESIGN AND ENGINEERING

- TO PROVIDE OUR CLIENTS WITH DISTINCTIVE AND ATTRACTIVE DESIGNS IT HAS BEEN NECESSARY IN SOME INSTANCES TO USE BEAM SIZES AND FRAMING DETAILS NOT SPECIFIED IN PART NINE OF THE B.C. BUILDING CODE. THE CITY OR MUNICIPAL BUILDING DEPARTMENT MAY REQUIRE CONFIRMATION BY A CERTIFIED STRUCTURAL ENGINEER WHICH IS THE RESPONSIBILITY OF OWNER OR BUILDER TO PROVIDE.

STRUCTURAL DESIGN CRITERIA

- ASSUMED ROOF DESIGN LOAD (LIVE AND DEAD) – 50 POUNDS PER SQUARE FOOT (2.5 KN/M.SQ.).
  ASSUMED SOIL BEARING CAPACITY – 2,500 P.S.F. (119.7 KN/M.SQ.)
- CONCRETE FOUNDATIONS AND SLABS ON GRADE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20 MPA AT 28 DAYS.
- FRAMING LUMBER TO BE #2 S.P.F. AND BETTER UNLESS OTHERWISE NOTED.
  BEAMS TO BE #2 S.P.F. AND BETTER.

NOTE:
IF SOIL CONDITIONS ARE LESS, OR FLOOR AND ROOF LOADS ARE GREATER THAN THIS PLAN IS DESIGNED FOR, YOUR BUILDING DEPARTMENT MAY REQUIRE ADJUSTMENTS TO THE PLANS OR ASK THAT THE PLANS BE ENGINEERED BY A CERTIFIED STRUCTURAL ENGINEER. IT IS BEST THAT AN ENGINEER FAMILIAR WITH LOCAL CONDITIONS BE CONSULTED.

SITE PLAN NOTES

- IF A SITE PLAN IS NOT PROVIDED BY JENISH HOUSE DESIGN LIMITED, THE OWNER OR BUILDER SHALL BE RESPONSIBLE FOR THE CORRECT SITING OF THIS HOME ON THE PROPERTY. JENISH HOUSE DESIGN LIMITED ASSUMES NO LIABILITY FOR PLANS COMPLYING WITH ZONING REGULATIONS OR LOT CONDITIONS.
- OWNER SHALL SUPPLY ANY MISSING INFORMATION ON SITE PLAN, I.E. DIMENSIONS, ELEVATIONS OF LOT, LEGAL DESCRIPTION, SITE ADDRESS, NORTH DIRECTION, AND LOCATION OF SERVICES, EASEMENTS AND RIGHT OF WAYS. ALL MEASUREMENTS ON SITE PLAN TO BE GOVERNED AND APPROVED BY AUTHORITIES HAVING JURISDICTION BEFORE STARTING CONSTRUCTION.
- WELLS AND SEPTIC DISPOSAL SYSTEMS TO BE LOCATED AND CONSTRUCTED IN ACCORDANCE WITH HEALTH AUTHORITIES HAVING JURISDICTION.

ELECTRICAL

- INSTALLATION OF ELECTRICAL ITEMS MUST COMPLY WITH THE BC ELECTRICAL CODE AND REGULATIONS AND WITH THE LOCAL ELECTRIC POWER SUPPLIER'S REGULATIONS IN ALL RESPECTS.
- ELECTRICAL OUTLET LOCATIONS SHOWN ON PLANS COMPLY WITH OR EXCEED CURRENT BUILDING CODE MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY. ADJUST ACCORDING TO OWNER'S REQUIREMENTS.

FOUNDATIONS

- FOUNDATIONS SHALL BE CONCRETE ON SOLID UNDISTURBED BEARING AND BELOW FROST LINE.
- FOUNDATION WALLS SHALL NOT BE BACK FILLED UNTIL CONCRETE HAS REACHED ITS SPECIFIED 28-DAY STRENGTH AND THE FLOOR SYSTEM INCLUDING SHEATHING HAS BEEN INSTALLED OR UNTIL ADEQUATELY BRACED SUBJECT TO APPROVAL BY AUTHORITY HAVING JURISDICTION.
- GRADES SHOWN ON PLANS ARE ESTIMATED. FOUNDATION WALL HEIGHTS MAY REQUIRE ADJUSTMENT TO SUIT SITE CONDITIONS.
- ALL CONCRETE AND MASONRY FOUNDATION WALLS EXCEEDING HEIGHT LIMITS SPECIFIED BY CURRENT BUILDING CODES REQUIRE ENGINEERING.
- PERIMETER DRAINAGE SHALL BE INSTALLED WHERE REQUIRED TO THE APPROVAL OF LOCAL AUTHORITIES.
- IT IS RECOMMENDED THAT ALL FOUNDATION WALLS 24" (600 MM) AND HIGHER SHALL HAVE ONE 12 MM (1/2" DIAMETER) REINFORCING BAR CENTERED 3" FROM TOP. CORNER REINFORCING TO BE LAPPED MINIMUM 24" .

WOOD FRAMING

- DIMENSIONS ARE FROM OUTSIDE FACE OF EXTERIOR STUDS TO CENTER OF PARTITION WALLS UNLESS OTHERWISE NOTED. FACE OF EXTERIOR STUD WALL AND FOUNDATION WALL TO BE FLUSH.
- JOISTS SHALL BE DOUBLED UNDER PARALLEL PARTITIONS OVER 6'-0" LONG. JOISTS TO BE PLACED TO ACCOMMODATE HEATING, PLUMBING, ETC.
  ALL LINTELS SHALL BE 2 – 2 X 10'S UNLESS OTHERWISE NOTED.
- WOOD IN CONTACT WITH CONCRETE TO BE DAMP-PROOFED WITH 45 LBS. FELT, 6 MIL POLY OR OTHER APPROVED METHOD. PLATES TO BE ANCHORED TO CONCRETE WITH 1/2" DIAMETER ANCHOR BOLTS AT MAXIMUM 6'– 0" O/C. OR OTHER APPROVED METHOD. EXTERIOR CONCRETE SILL PLATES TO BE LEVEL AND UNDERSIDE SEALED.
- FLOOR JOISTS AND ROOF JOISTS WITH SPANS MORE THAN 7'–0" SHALL BE CROSSBRIGED AT MID SPAN OR AT 7'– 0" O/C MAXIMUM UNLESS SHEATHED OR STRAPPED BOTH SIDES WITH WOOD. BRIDGING SHALL BE 2 X 2 DIAGONAL TYPE WHEREVER POSSIBLE.
- ROOF TRUSSES REQUIRE ENGINEER'S CERTIFICATE. FOR PREFABRICATED TRUSSES OBTAIN CERTIFICATE FROM MANUFACTURER.

INSULATION AND VENTILATION

- MINIMUM INSULATION REQUIREMENTS:

ROOF (ATTIC)	R–60	(R.S.I. – 10.56)
ROOF/CEILING (SLOPING)	R–28	(R.S.I. – 4.93)
WALLS	R–24	(R.S.I. – 3.87)
INSULATION REQUIREMENTS 4500 DEGREE DAYS OR GREATER		
	R–60	(R.S.I. – 10.56)
	R–24	(R.S.I. – 4.23)

- 6 MIL ULTRAVIOLET RESISTANT POLY AIR BARRIER SHALL BE INSTALLED ON THE WARM SIDE OF INSULATION.
- ALL ROOF SPACES SHALL BE VENTILATED WITH SOFFIT, ROOF, OR GABLE VENTS, OR A COMBINATION OF THESE EQUALLY DISTRIBUTED BETWEEN TOP OF ATTIC SPACE AND OVERHANG SOFFIT.
- PROVIDE BAFFLE FOR AIR SPACE (EQUAL TO SOFFIT VENTING) BETWEEN INSULATION AND ROOF SHEATHING AT EXTERIOR WALL LINE.
- ATTICS OR ROOF SPACES TO BE VENTED MINIMUM 1/300 OF AREA. UNHEATED CRAWLSPACES TO BE VENTED MINIMUM 1/500 OF AREA WITH CLOSEABLE VENTS.

FINISHING

- OWNER SHALL SPECIFY ALL INTERIOR AND EXTERIOR FINISHING. OWNER SHALL CONFIRM ANY FINISHING SHOWN ON PLANS.
- EXTERIOR DOORS SHALL BE SOLID CORE/INSULATED AND WEATHER-STRIPPED. GARAGE DOORS TO DWELLING TO BE AS ABOVE AND SELF-CLOSING.
  FLASH AT ALL HORIZONTAL CHANGES IN EXTERIOR FINISHING AND CAULK AROUND ALL EXTERIOR OPENINGS. FLASH OVER ALL UNPROTECTED OPENINGS.
- WINDOW SIZES ARE SHOWN IN FEET AND INCHES. I.E. $4^{0}8^{0}$ = 4'– 0" WIDE BY 3'–8" HIGH.
  DOOR SIZES ARE WIDTH SHOWN BY 6'– 8" HIGH.
  I.E. 2^{8} = 2'– 8" WIDE BY 6'– 8" HIGH.
- OPENINGS IN PARTITIONS SHOWN WITHOUT DOORS ARE FULL HEIGHT UNLESS SHOWN AS AN ARCH. ARCHES ARE FRAMED 7'–0" HIGH UNLESS OTHERWISE NOTED.
- COAT AND CLOTHES CLOSETS SHALL HAVE ONE ROD AND SHELF. LINEN CLOSETS SHALL HAVE 5 ADJUSTABLE SHELVES WHERE POSSIBLE. BROOM CLOSETS SHALL HAVE ONE SHELF.
- ALL BATHROOMS SHALL HAVE A WALL MEDICINE CABINET OR ONE LOCKABLE DRAWER.

HEATING

- INSTALLATION OF ENTIRE HEATING SYSTEM MUST COMPLY WITH MANUFACTURER'S DIRECTIONS (WHERE APPLICABLE) AND CONFORM WITH LOCAL CODES AND REGULATIONS IN ALL RESPECTS.
- GAS CONNECTION WILL REQUIRE SEPARATE PERMIT AND INSPECTION.
- FUEL BURNING APPLIANCES, INCLUDING FURNACES, FIREPLACES AND STOVES, TO BE PROVIDED WITH COMBUSTION AIR SUPPLY FROM EXTERIOR.

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- JENISH HOUSE DESIGN LIMITED PERMITS THE PURCHASER TO CONSTRUCT ONLY ONE (1) DWELLING FROM THESE DRAWINGS.

ELECTRICAL SYMBOLS

SYMBOL	DESCRIPTION
CEILING WALL	
(PS) (PS)	SURFACE MOUNTED LIGHT FIXTURE (P.S.INDICATES PULL SWITCH)
D	DROPPED LIGHT FIXTURE
	CEILING FAN
	RECESSED LIGHT FIXTURE
	RECESSED WALL WASHER
VP VP	VAPOUR PROOF LIGHT FIXTURE
	FLOOD LIGHT
C	CLOCK OUTLET
F F	VENT FAN
H	RECESSED HEAT LAMP
	TRACK LIGHT
	SINGLE FLUORESCENT FIXTURE
	FLUORESCENT LIGHT FIXTURE SURFACE MOUNTED
	FLUORESCENT LIGHT FIXTURE RECESSED

SYMBOL	DESCRIPTION
	DUPLEX RECEPTACLE (NUMBER INDICATES HEIGHT ABOVE FLOOR IF OTHER THAN 12")
	SINGLE RECEPTACLE
	QUAD RECEPTACLE
	DUPLEX RECEPTACLE SWITCHED ONE SIDE
	DUPLEX RECEPTACLE – SPLIT CIRCUIT
	DUPLEX FLOOR RECEPTACLE
	SPECIAL PURPOSE FIXED WIRED OUTLET – I.E. DISHWASHER, SAUNA
(30,40)	208/230 VOLT FOR RANGE, OVEN, AND DRYER ETC. – 30 OR 40 AMP
A	DUPLEX APPLIANCE OUTLET
WP	DUPLEX RECEPTACLE WEATHER PROOFED. ALL W.P. OUTLETS ALSO TO HAVE G.F.I. PROTECTION.
GFI	DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER CIRCUIT BREAKER
S	SINGLE POLE SWITCH
3,4	3 WAY OR 4 WAY SWITCH
DIM	DIMMER CONTROL SWITCH
D	DOOR SWITCH
T	TIMER

SYMBOL	DESCRIPTION
B	GARAGE DOOR OPENER
C	DOOR CHIMES
P	PUSH BUTTON
ICC	INTERCOM CENTER
IC	REMOTE INTERCOM
	TELEVISION CABLE OUTLET
	TELEPHONE OUTLET
	SMOKE DETECTOR AND ALARM

STANDARD SYMBOLS

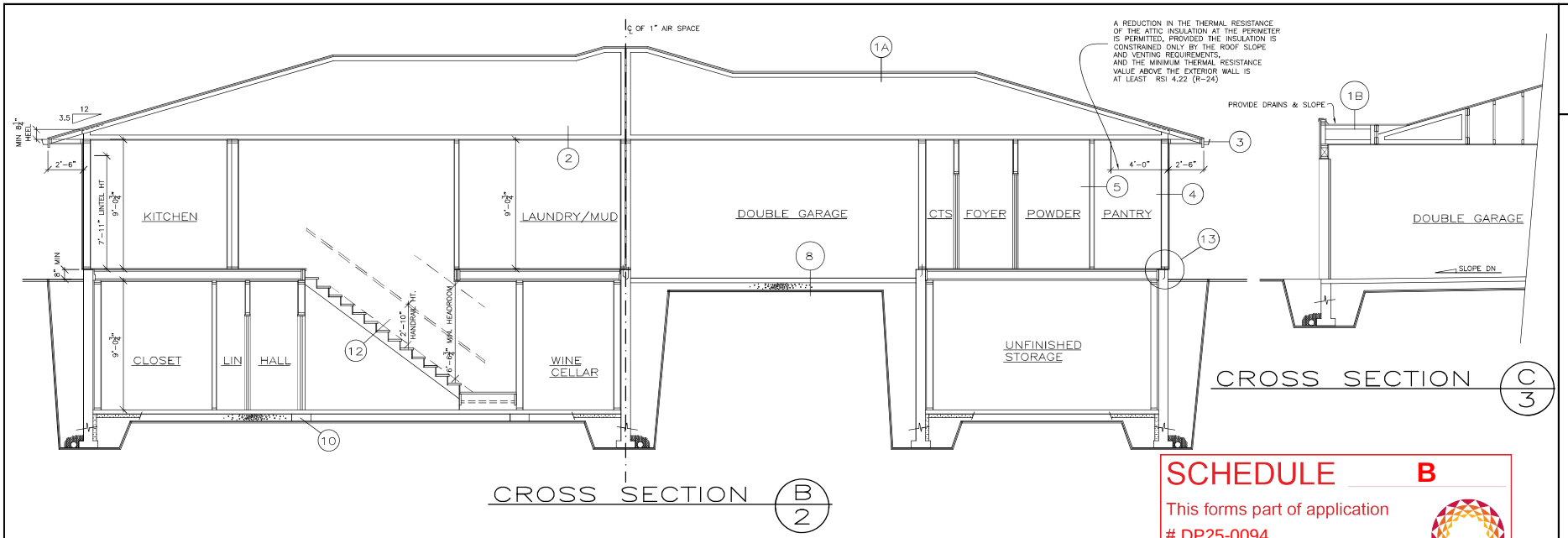
A	CLASS A METAL CHIMNEY
B	CLASS B METAL CHIMNEY
	HOSE BIB
	FLOOR DRAIN
	LAMINATED POST IN WALL SUPPORTING BEAM OR GIRDER TRUSS. (WIDTH OF POST SAME AS STRUCTURAL MEMBER SUPPORTED)
FLOOR CEILING WALL	WARM AIR REGISTERS
	RETURN AIR REGISTER

HEAD OFFICE:
201–1658 COMMERCE AVE
KELOWNA, B.C., V1Y 8A9
(250) 763–3646
TOLL FREE 1–888–408–9235

JENISH HOUSE DESIGN LIMITED

JENISH HOUSE DESIGN LIMITED

REFERENCE: CUSTOM
DRAWN: AD
CHECKED: TB
DATE: MARCH 2025
SCALE: 1/4"=1'–0"
SHEET: 5 OF 6
PLAN NUMBER: C2–3–110 WALKOUT



CROSS SECTION B/2

CROSS SECTION C/3

SPECIFICATIONS

1A ROOF:
ASPHALT SHINGLES
BUILDING PAPER
1/2" PLY SHEATHING W/ 'H' CLIPS
ENG'D ROOF TRUSSES @ 24" o/c

1B FLAT ROOF:
TORCH ON ROOFING
1/2" PLY SHEATHING
16" ROOF JOISTS @ 24" o/c

2 CEILING:
6 MIL. POLY. V.B.(U.V. RESISTANT)
R - 60 BATT INSULATION
5/8" GYPSUM BOARD

3 FASCIA/SOFFIT:
ALUM. GUTTER
2 x 10 FASCIA BOARD
VENTED ALUM SOFFIT

4 EXTERIOR WALL:
HORIZONTAL SIDING/STUCCO FINISH
BUILDING PAPER
7/16" PLYWOOD SHEATHING
2 x 6 STUDS @ 24" o/c
R - 24 BATT INSULATION
6 MIL. POLY. V.B.
1/2" GYPSUM BOARD

5 INTERIOR PARTITION:
1/2" GYPSUM BOARD - EACH SIDE
2 x 4 STUDS @ 16" o/c

6 MAIN FLOOR:
FINISH FLOORING
3/4" T & G PLYWOOD SUBFLOOR GLUED & SCREWED
ENG'D FLOOR JOISTS
SERIES, SPACING & BRACING TO MANUF. SPECS.

7 BASEMENT FLOOR:
3-1/2" CONCRETE SLAB
6 MIL. POLY. V.B.
6" COMPACTED SAND OR GRAVEL

8 GARAGE FLOOR:
4" CONC SLAB
6" MIN COMP. GRAVEL

9A EXTERIOR FOUNDATION (ABOVE SLAB):
2 COATS ASPHALT EMULSION
8" CONC. FOUNDATION WALL
R-20 RIGID INSULATION OR
1" AIRSPACE, 2x6 WALL @ 24" O.C.
W/ R-20 BATT INSULATION

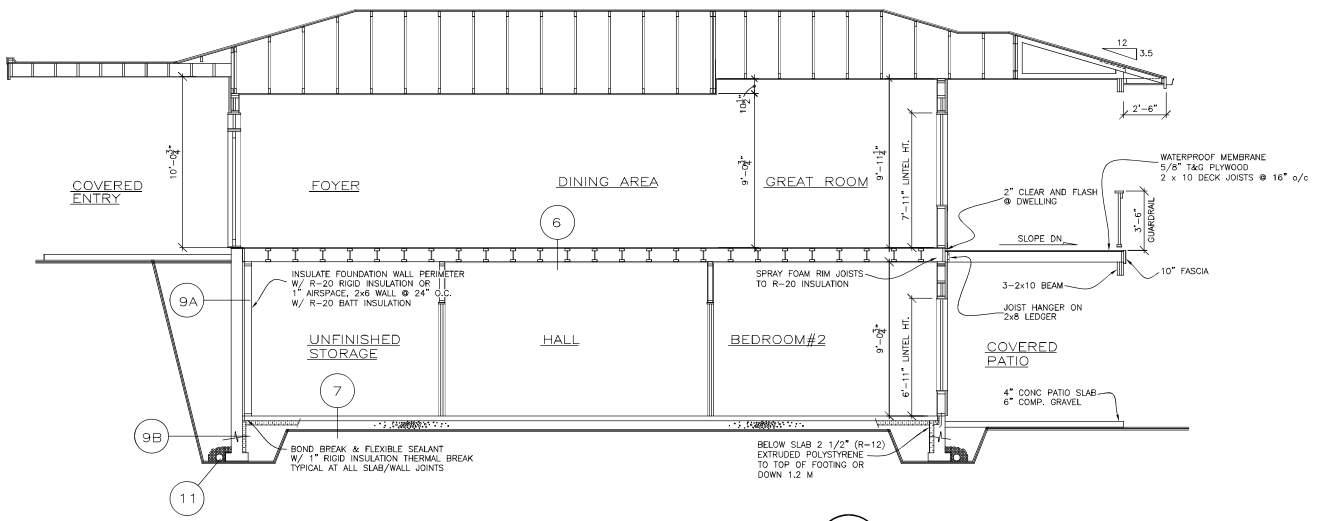
9B EXTERIOR FOUNDATION (BELOW SLAB):
2 COATS ASPHALT EMULSION
8" CONC. FOUNDATION WALL
2 1/2" (R-12) EXTRUDED POLYSTYRENE
DOWN 1.2 M OR TO TOP OF FOOTING
18" x 6" CONCRETE FOOTING

10 INTERIOR FOUNDATION:
2 x 6 STUDS @ 16" o/c
ON 45 # FELT OR EQUIVALENT
1/2" DIA. ANCHOR BOLTS @ 5'-6" o/c
16" x 6" CONC. FOOTING

11 DRAINAGE:
4" DIA. DRAIN TILE
6" MIN. DRAIN ROCK

12 STAIRS:
16 EQUAL RISERS
RUNS 10" w/ 1" NOSING
34" HIGH HANDRAIL
6' 6-3/4" MIN. HEADROOM

13 PLATE TO FOUNDATION CONNECTION
1/2" DIAM. ANCHOR BOLTS @ 5'-6" O.C.
2x6 PLATE ON 45# FELT OR
APPROVED DAMPPROOFING



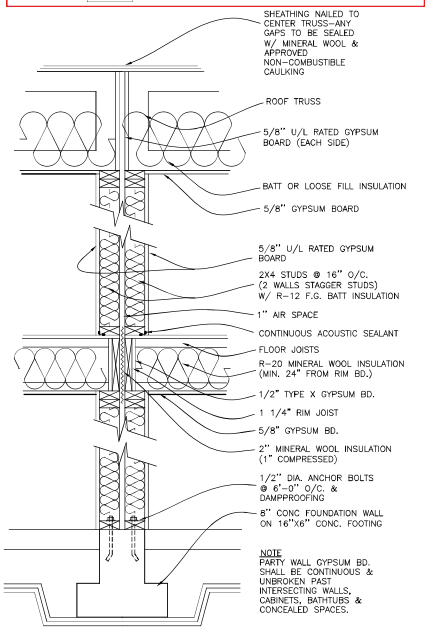
CROSS SECTION A/2

SCHEDULE B

This forms part of application
DP25-0094

Planner Initials JK

City of Kelowna
COMMUNITY PLANNING



PARTY WALL DETAIL D/2

SCALE: 1" = 1'-0"

TO CONFORM TO BC BUILDING CODE
TABLE-A 9.10.3.1.A, W13A

OR TWO ROWS 2x6 STUDS, ON SEPARATE 2x6 PLATES, 1" APART
1 LAYERS 5/8" TYPE 'X' GYPSUM BOARD ON EACH SIDE
R-20, 2X6 BATT ON EACH SIDE

PLAN 'B'

HEAD OFFICE:
201-1658 COMMERCE AVE
KELOWNA, B.C., V1Y 8J9
(250) 763-5146
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: CUSTOM
DRAWN: AD
CHECKED: TB
DATE: MARCH 2025
SCALE: 1/4"=1'-0"
SHEET: 6 OF 6
PLAN NUMBER: C2-3-110 WALKOUT

SCHEDULE **B**

This forms part of application

DP25-0094

City of Kelowna
COMMUNITY PLANNING

Planner Initials JK

PLAN 'C'

(BUILDINGS 12 - 15)

WILDEN

HEAD OFFICE:
201-1658 COMMERCE AVE
KELOWNA, B.C., V1Y 9A9
(250) 420-3346
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: FORM AND CHARACTER
DRAWN: TWB
CHECKED: AD
DATE: MARCH 2025
SCALE:
SHEET: F and C
PLAN NUMBER: C2-3-110

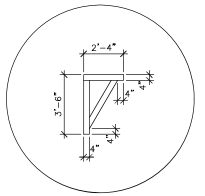
SCHEDULE **B**

This forms part of application

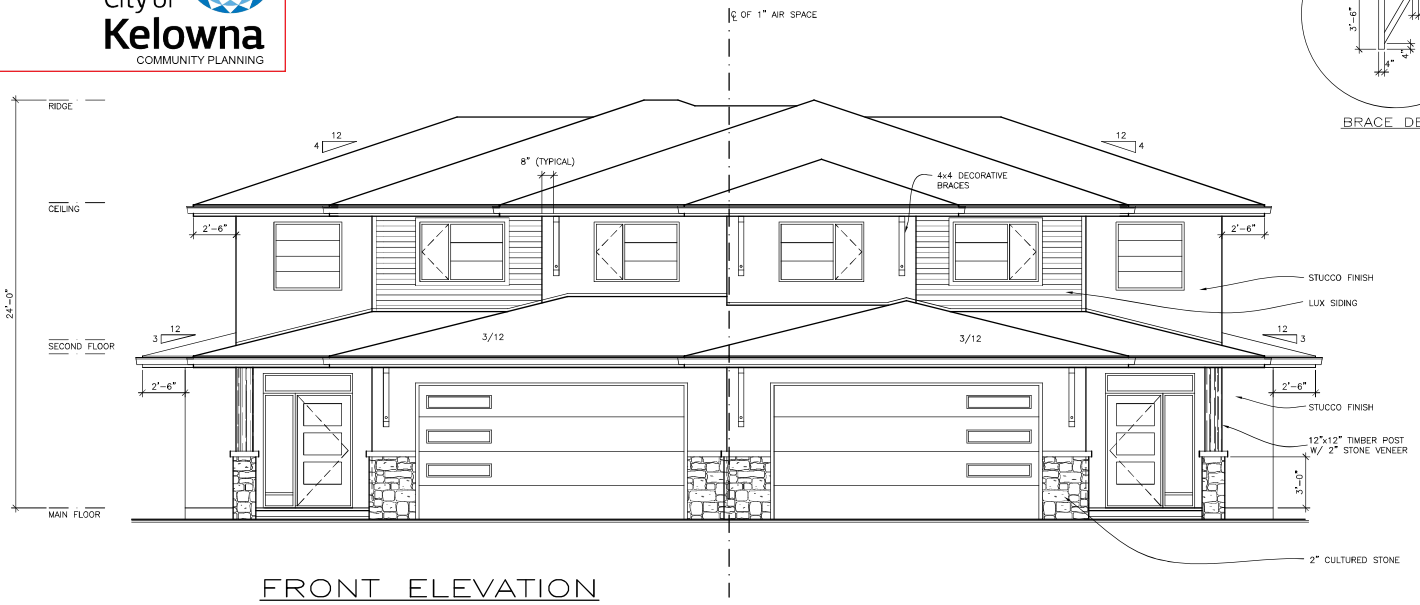
DP25-0094

Planner Initials JK

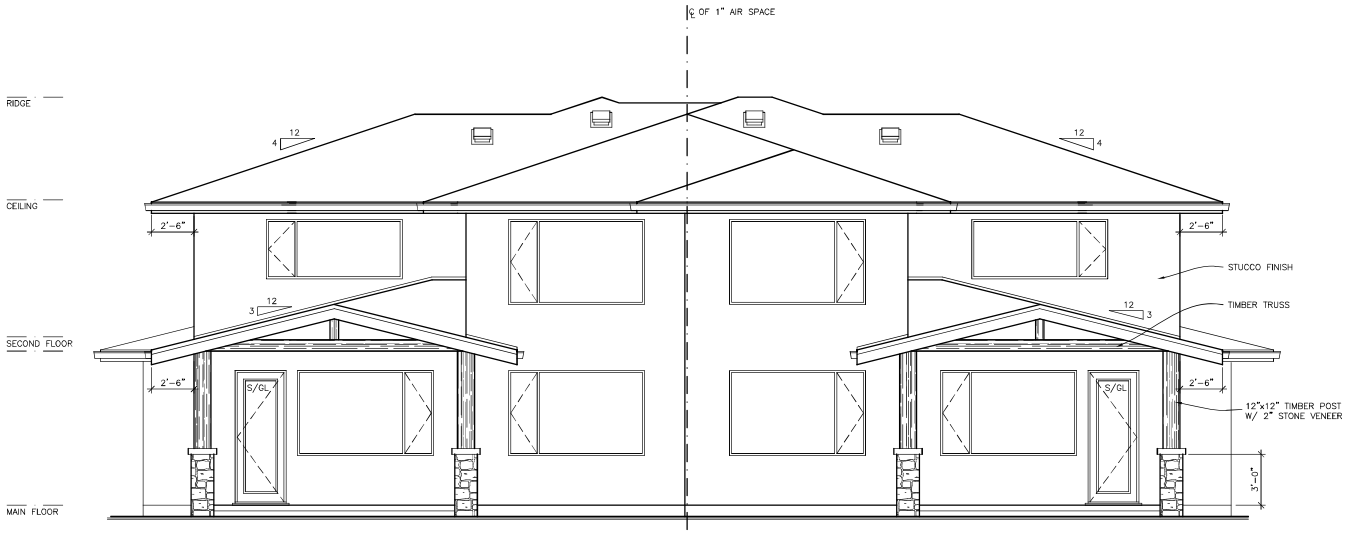
City of Kelowna
COMMUNITY PLANNING



BRACE DETAIL



FRONT ELEVATION



REAR ELEVATION

WILDEN

PLAN 'C'

HEAD OFFICE:
201-1658 COMMERCE AVE
KELOWNA, B.C., V1Y 8A9
(250) 763-1516
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: CUSTOM

DRAWN: AD

CHECKED: TB

DATE: MARCH 2025

SCALE: 1/4"=1'-0"

SHEET: 5 OF 7

PLAN NUMBER: C2-3-110 TWO STOREY

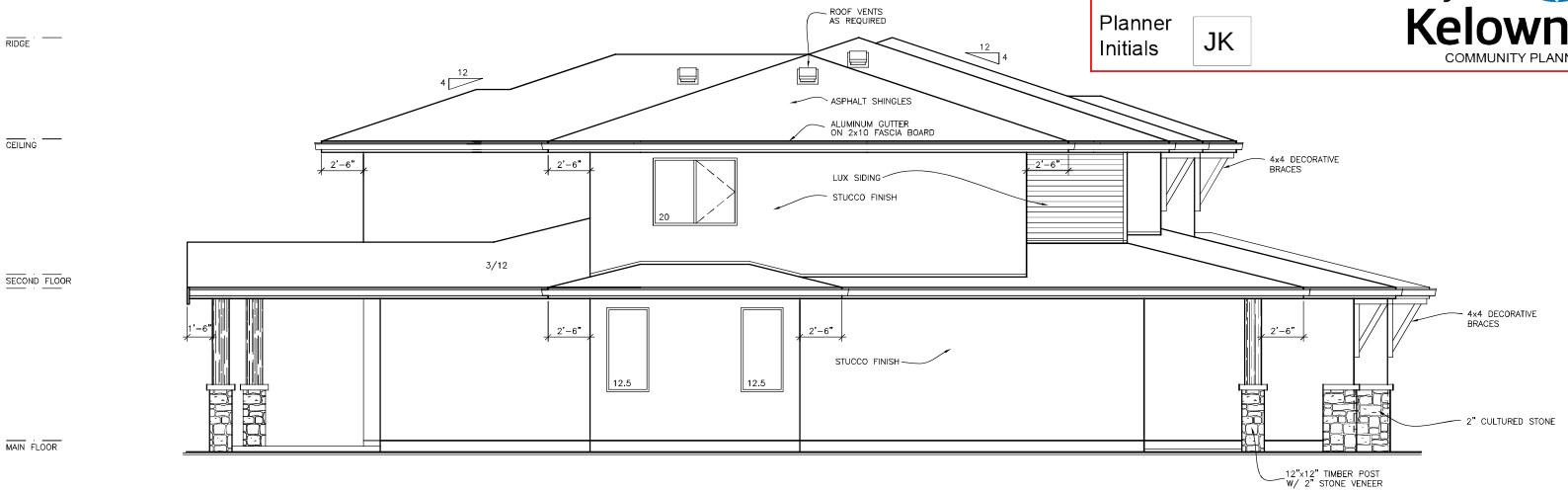
SCHEDULE **B**

This forms part of application

DP25-0094

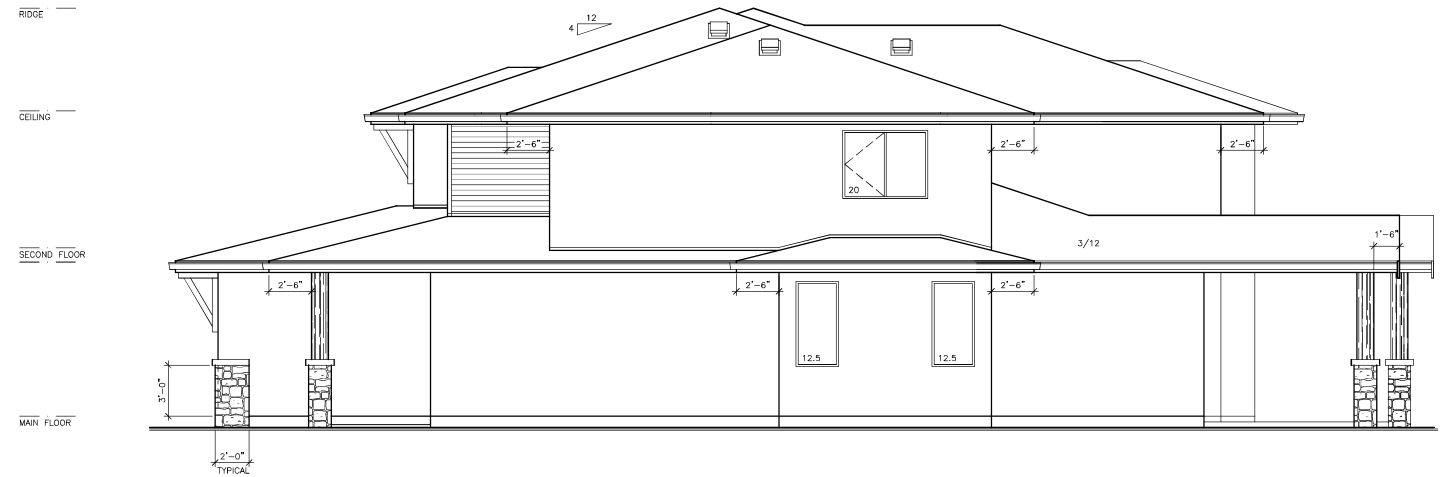
Planner Initials JK

City of Kelowna
COMMUNITY PLANNING



LEFT ELEVATION

WALL AREA = 942 SQ.FT. (87.5 SQ.M.)
GLASS AREA = 45 SQ.FT. (4.2 SQ.M.)
LIMITING DIST. = XXXX M.
UPO ALLOWABLE = XXXX% (4.8% PROVIDED)



RIGHT ELEVATION

WALL AREA = 942 SQ.FT. (87.5 SQ.M.)
GLASS AREA = 45 SQ.FT. (4.2 SQ.M.)
LIMITING DIST. = XXXX M.
UPO ALLOWABLE = XXXX% (4.8% PROVIDED)

WILDEN

PLAN 'C'

HEAD OFFICE:
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KELOWNA, B.C., V1Y 8A9
(250) 763-0146
TOLL FREE 1-888-458-9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: CUSTOM
DRAWN: AD
CHECKED: TB
DATE: MARCH 2025
SCALE: 1/4"=1'-0"
SHEET: 6 OF 7
PLAN NUMBER: C2-3-110 TWO STOREY

SPECIFICATIONS

1 ROOF:
ASPHALT SHINGLES
BUILDING PAPER
1/2" PLY SHEATHING W/ 'H' CLIPS
ENG'D ROOF TRUSSES @ 24" o/c

2 CEILING:
6 MIL. POLY. V.B.(U.V. RESISTANT)
R – 60 BATT INSULATION
5/8" GYPSUM BOARD

3 FASCIA/SOFFIT:
ALUM. GUTTER
2 x 10 FASCIA BOARD
VENTED ALUM SOFFIT

4A EXTERIOR WALL: (NOT SHOWN)
HORIZONTAL SIDING
BUILDING PAPER
7/16" PLYWOOD SHEATHING
2 x 6 STUDS @ 24" o/c
R-24 BATT INSULATION
6 MIL. POLY. V.B.
1/2" GYPSUM BOARD

4B EXTERIOR WALL:
STUCCO
STUCCO LATH
BUILDING PAPER
7/16" PLYWOOD SHEATHING
2 x 6 STUDS @ 24" o/c
R-24 BATT INSULATION
6 MIL. POLY. V.B.
1/2" GYPSUM BOARD

5 INTERIOR PARTITION:
1/2" GYPSUM BOARD – EACH SIDE
2 x 4 STUDS @ 16" o/c

6 UPPER FLOOR:
FINISH FLOORING
3/4" T & G PLYWOOD SUBFLOOR GLUED & SCREWED
ENG'D FLOOR JOISTS
SERIES, SPACING & BRACING TO MANUF. SPECS.
5/8" GYPSUM AT FINISHED AREAS

7 MAIN FLOOR:
3-1/2" CONCRETE SLAB
6 MIL. POLY. V.B.
2-1/2" RIGID INSULATION (R-20)
6" COMPACTED SAND OR GRAVEL

8 GARAGE FLOOR: (NOT SHOWN)
4" CONC SLAB
6" MIN COMP. GRAVEL

9 EXTERIOR FOUNDATION (BELOW SLAB):
2 COATS ASPHALT EMULSION
8" CONC. FOUNDATION WALL
2 1/2" (R-12) EXTRUDED POLYSTYRENE
DOWN 1.2 M OR TO TOP OF FOOTING
18" x 6" CONCRETE FOOTING

10 INTERIOR FOUNDATION (NOT SHOWN):
2 x 6 STUDS @ 16" o/c
ON 45 # FELT OR EQUIVALENT
1/2" DIA. ANCHOR BOLTS @ 5'-6" o/c
16" x 6" CONC. FOOTING

11 DRAINAGE:
4" DIA. DRAIN TILE
6" MIN. DRAIN ROCK

12 STAIRS:
16 EQUAL RISERS
RUNS 10" w/ 1" NOSING
34" HIGH HANDRAIL
6' 6-3/4" MIN. HEADROOM

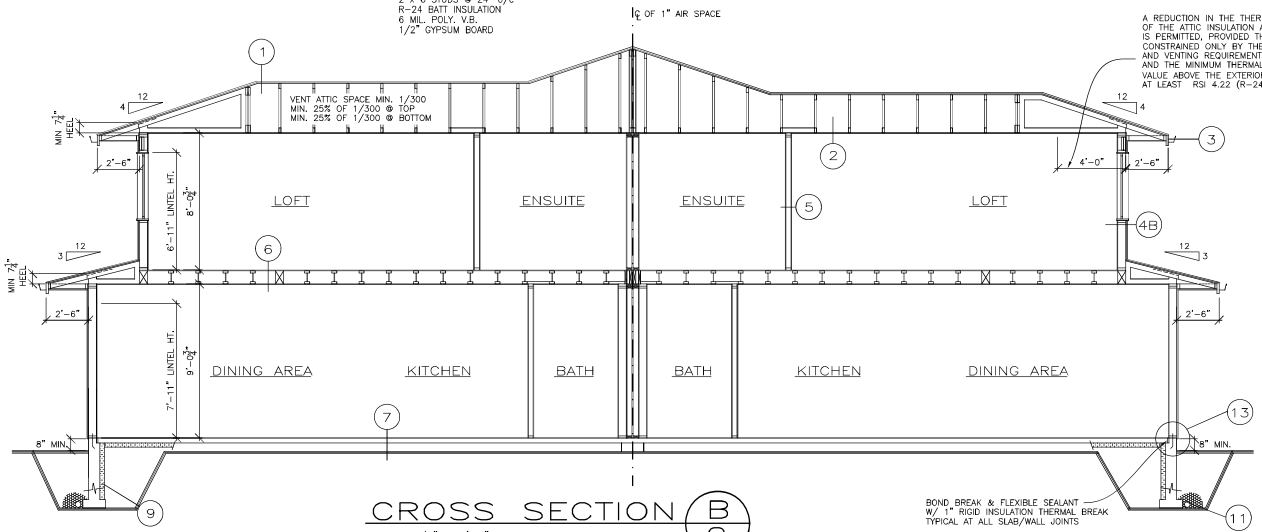
13 PLATE TO FOUNDATION CONNECTION
1/2" DIAM. ANCHOR BOLTS @ 5'-6" O.C.
2x6 PLATE ON 45# FELT OR
APPROVED DAMPPROOFING

SCHEDULE B

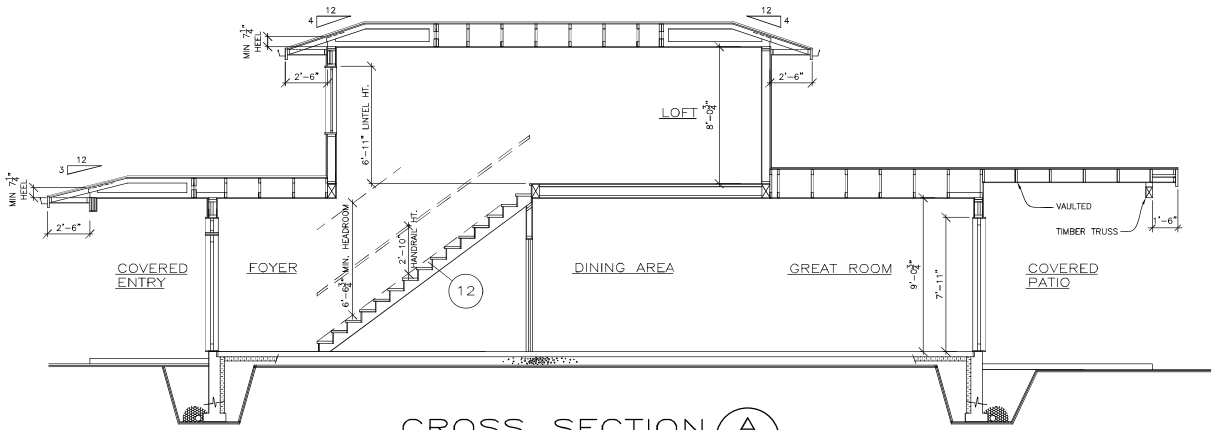
This forms part of application
DP25-0094

Planner Initials JK

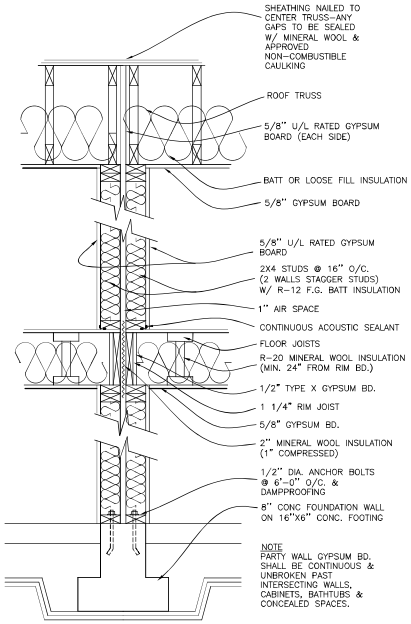
City of Kelowna
COMMUNITY PLANNING



CROSS SECTION B/2
SCALE: 1/4" = 1'-0"



CROSS SECTION A/2
SCALE: 1/4" = 1'-0"



PARTY WALL DETAIL C/2
SCALE: 1" = 1'-0"

TO CONFORM TO BC BUILDING CODE
TABLE–A 9.10.3.1.A, W13A

OR TWO ROWS 2x6 STUDS, ON SEPARATE 2x6 PLATES, 1" APART
1 LAYERS 5/8" TYPE 'X' GYPSUM BOARD ON EACH SIDE
R–20, 2X6 BATT ON EACH SIDE

PLAN 'C'

HEAD OFFICE:
201–1658 COMMERCE AVE
KELOWNA, B.C., V1X 8A9
TEL: 1–888–458–9235
TOLL FREE: 1–888–458–9235

JENISH HOUSE DESIGN LIMITED

REFERENCE: CUSTOM
DRAWN: AD
CHECKED: TB
DATE: MARCH 2025
SCALE: AS NOTED
SHEET: 7 OF 7
PLAN NUMBER: C2–3–110 TWO STOREY

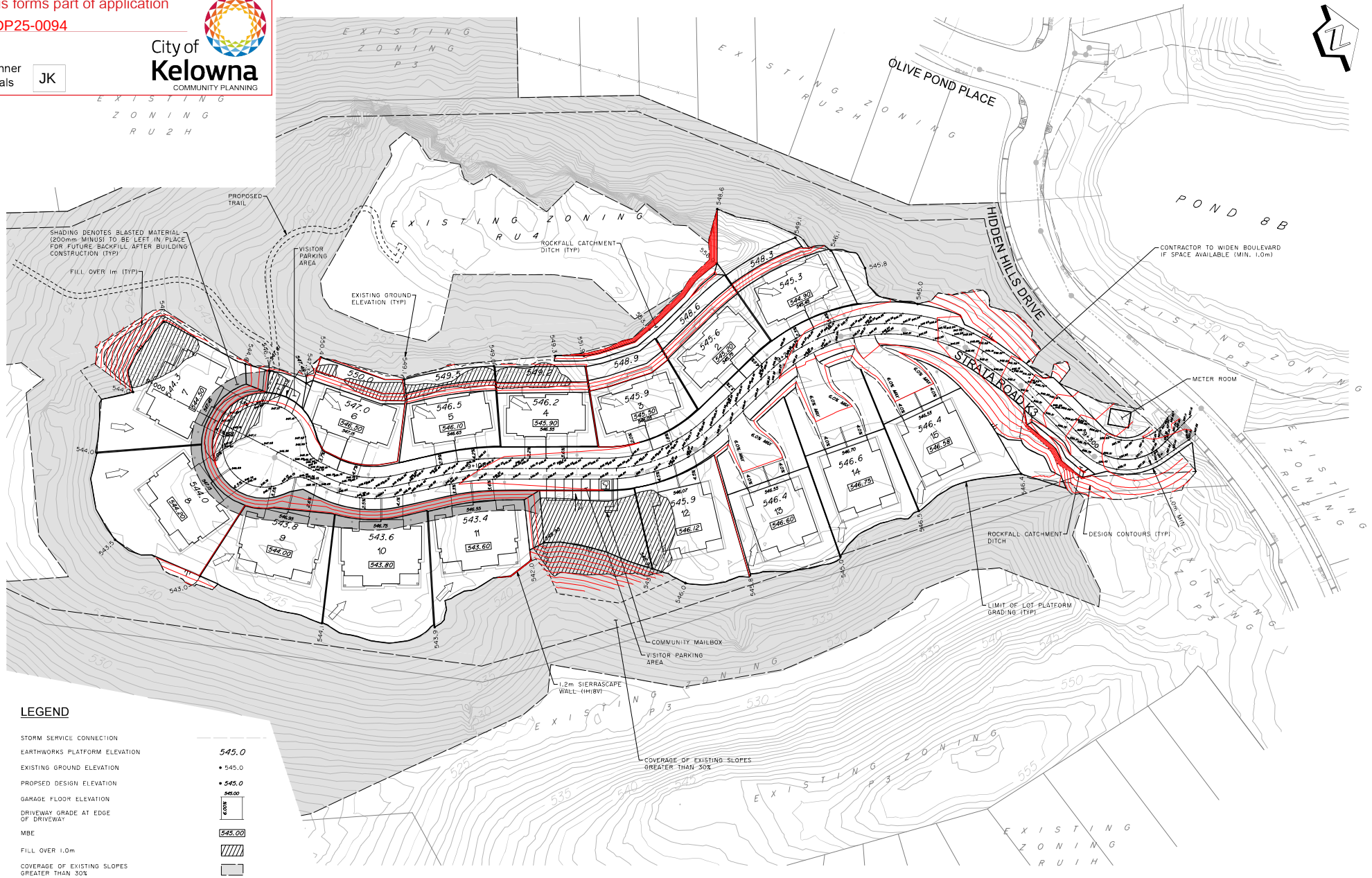
SCHEDULE B

This forms part of application

DP25-0094

City of Kelowna
COMMUNITY PLANNING

Planner Initials JK



LEGEND

STORM SERVICE CONNECTION	
EARTHWORKS PLATFORM ELEVATION	545.0
EXISTING GROUND ELEVATION	• 545.0
PROPSED DESIGN ELEVATION	• 545.0
GARAGE FLOOR ELEVATION	545.00 / 6.00%
DRIVEWAY GRADE AT EDGE OF DRIVEWAY	
MBE	545.00
FILL OVER 1.0m	
COVERAGE OF EXISTING SLOPES GREATER THAN 30%	
TYPICAL DIRECTION FOR LOT DRAINAGE (MIN 1%)	

InterCAD
CONSULTING ENGINEERS

NO.	DATE	BY	REVISION	CH'KD
2	24-04-04	RZ	ISSUED FOR BUILDING PERMIT	BW
1	23-09-08	RZ	ISSUED FOR DEVELOPMENT PERMIT	BW

2024-04-22
PROFESSIONAL ENGINEER PROVINCE OF BRITISH COLUMBIA R. E. ZECCHEL # 45917
Permit to Practice #1001320

Drawn	R. ZECCHEL
Design	R. ZECCHEL
Approved	B. WALLACE
Date	FEB 2024
Scale	
Horiz.	1:500
Vert.	

THE CITY OF KELOWNA
ENGINEERING DEPARTMENT

Wilden - Olive Ponds Multi-Family Site Services

Grading Plan

Division

Drawing No. AC43-28-C901

Rev. No. 2

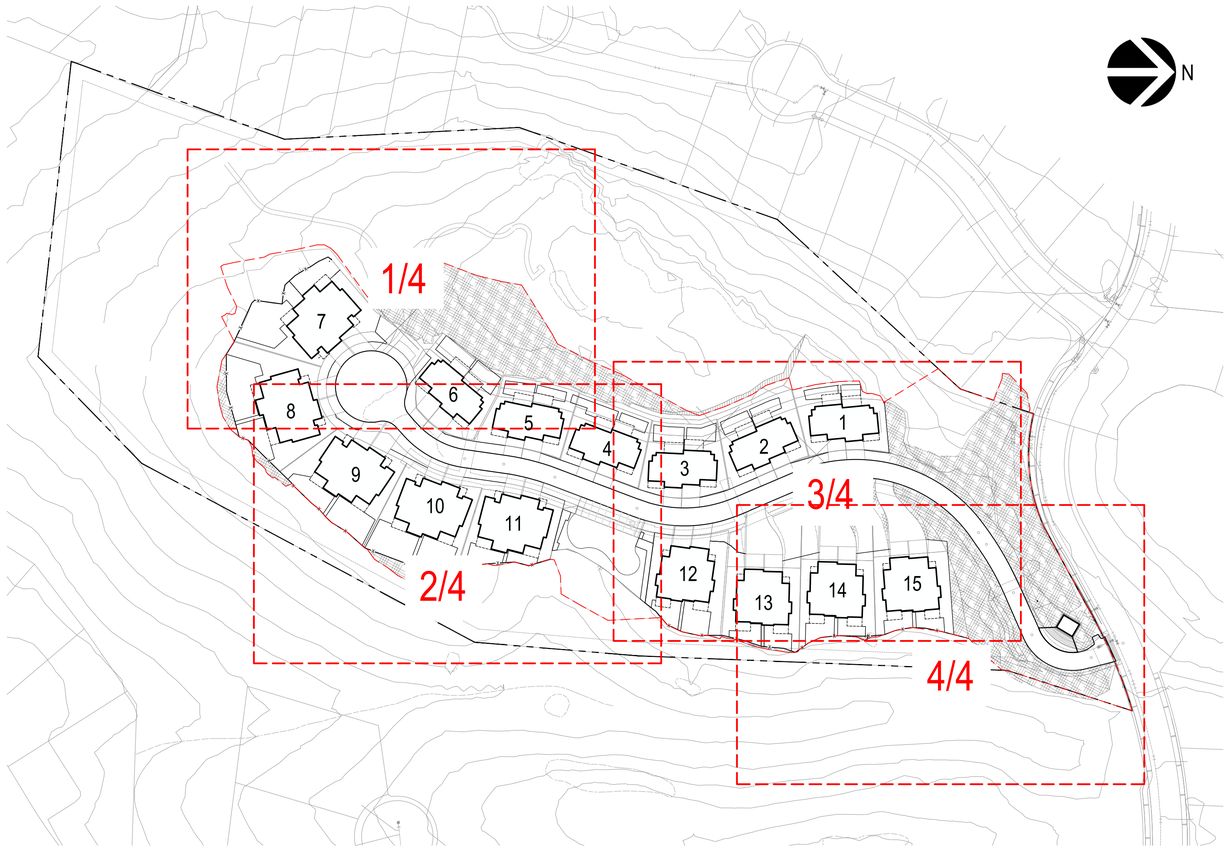
I:\ac43\28-k3mf\ustn\design\drawings\bp\28-c901.dgn 24/04/22 2:12:12 PM

WILDEN OLIVE PONDS

Kelowna, BC

ISSUED FOR DEVELOPMENT PERMIT

WSP Project No: CA0005569.2339
Date: April 17th, 2025



DRAWING LIST

L000	COVER
L001	GENERAL AND PLANTING NOTES
L100	MATERIALS AND REFERENCE PLAN 1/4
L101	MATERIALS AND REFERENCE PLAN 2/4
L102	MATERIALS AND REFERENCE PLAN 3/4
L103	MATERIALS AND REFERENCE PLAN 4/4
L300	PLANTING PLAN 1/4
L301	PLANTING PLAN 2/4
L302	PLANTING PLAN 3/4
L303	PLANTING PLAN 4/4
L304	HYDROZONE PLAN

SCHEDULE C
This forms part of application
DP25-0094
City of Kelowna
COMMUNITY PLANNING
Planner Initials JK

We see the future more clearly and design for it today.

WSP Canada Inc. Suite 700, 1631 Dickson Avenue, Kelowna, B.C. V1Y 0B5 T 250-980-5500 | www.wsp.com

TREE PROTECTION AND REMOVAL NOTES:

1. LIMIT OF WORK
ALL WORK OF THE CONTRACTOR SHALL BE WITHIN THE LIMIT OF WORK SHOWN ON THE DRAWING. THE CONTRACTOR SHALL VERIFY THE LIMIT OF WORK ON SITE WITH THE CONSULTANT PRIOR TO CONSTRUCTION.

2. TREES TO REMAIN
EXISTING TREES TO REMAIN AS INDICATED ON DRAWING.

3. TREE PROTECTION FENCING
PRIOR TO CONSTRUCTION TAKING PLACE CONTRACTOR IS TO PROVIDE TREE PROTECTION FENCING FOR ALL TREES TO REMAIN. PRIOR TO INSTALLATION OF FENCING, THE LAYOUT SHOULD BE REVIEWED BY THE CONSULTANT. PROTECTION BARRIERS ARE TO BE INSTALLED AND REMAIN UPRIGHT AND IN PLACE THROUGHOUT THE ENTIRE CONSTRUCTION PROCESS.

FENCING IS TO BE 1.2m IN HEIGHT, USING A MINIMUM OF 2" x 4" FOR THE VERTICAL POSTS. TOP AND BOTTOM RAILS AND CROSS BRACING (IN AN "X"); ROUND, UNTREATED POSTS MAY BE USED WITH A MIN. DIAMETER OF 9cm. SPACING BETWEEN VERTICAL POSTS TO BE NO FURTHER APART THAN 3.7m ON CENTRE. STRUCTURE MUST BE STURDY WITH VERTICAL POSTS DRIVEN FIRMLY INTO THE GROUND. CONTINUOUS PLASTIC MESH SCRENNING (E.G. ORANGE SNOW FENCING) SECURELY ATTACHED TO FRAMING. POSTED WITH VISIBLE SIGNAGE TO BE VISIBLE FOR THE DURATION OF CONSTRUCTION ADVERTISING THAT ENCROACHMENT INSIDE THE PROTECTION AREA IS FORBIDDEN. SIZE OF SIGNAGE BASED ON TRUNK DIAMETER, SEE BELOW.

TRUNK DIAMETER (cm)	DISTANCE FROM TRUNK (m)
<20	1.2
<25	1.5
<30	1.8
<35	2.1
<40	2.4
<45	2.7
<50	3.0
<55	3.3
<60	3.6
<75	4.5
<90	5.4
<100	6.0

4. TREE PROTECTION AREA SIGNAGE
NO INCURSIONS INSIDE OR AGAINST THE TREE PROTECTION BARRIERS ARE TO OCCUR, INCLUDING, BUT NOT LIMITED TO: GARBAGE / DEBRIS STORAGE, MATERIAL OR EQUIPMENT STORAGE, PORTA-POTTIES, SOIL PILING, FILL OR GRADE CHANGES, SURFACE TREATMENTS OR EXCAVATIONS OF ANY KIND, EQUIPMENT FUELING OR CHEMICAL MIXING, ETC.

MATERIALS AND REFERENCE NOTES:

1. LIMIT OF WORK:
ALL WORK OF THE CONTRACTOR SHALL BE WITHIN THE LIMIT OF WORK SHOWN ON THE DRAWING. THE CONTRACTOR SHALL VERIFY THE LIMIT OF WORK ON SITE WITH THE CONSULTANT PRIOR TO CONSTRUCTION.

2. BC ONE CALL:
CONTRACTOR RESPONSIBLE FOR COMPLETING BC ONE CALL PRIOR TO ANY CONSTRUCTION.

3. MATERIALS:
ALL MATERIALS SHALL BE APPROVED BY THE CONTRACT ADMINISTRATOR PRIOR TO INSTALLATION. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE AND REPLACE AT THE CONTRACTORS COST ANY MATERIALS INSTALLED WITHOUT PRIOR APPROVAL.

4. SITE REVIEW:
THE CONTRACTOR IS RESPONSIBLE TO GIVE THE CONSULTANT 72 HOURS NOTICE BEFORE ALL REQUIRED SITE REVIEWS.

5. DESIGN INTENT:
THESE DRAWINGS REPRESENT THE GENERAL DESIGN INTENT TO BE IMPLEMENTED ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE CONTRACT ADMINISTRATOR FOR ANY ADDITIONAL CLARIFICATION OR DETAILS NECESSARY TO ACCOMMODATE SITE CONDITIONS OR DETAILS.

6. STANDARDS:
LANDSCAPE AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD, PUBLISHED BY THE C.S.L.A. AND C.N.L.A.

7. SAMPLES:
SAMPLES OF ALL PAVING TYPES ARE TO BE SUBMITTED FOR REVIEW PRIOR TO ANY PURCHASING FOR CLIENT / LANDSCAPE ARCHITECT APPROVAL. FOR FIELD PAVING, SAMPLES ARE TO BE 1m x 1m PANELS USING AT LEAST ONE TYPE OF EACH PAVER SIZE. FOR LINEAR PAVING A 1m LENGTH SAMPLE IS TO BE PROVIDED.WHERE FEASIBLE AND APPLICABLE, A REPRESENTATIVE SAMPLE MAY BE RETAINED IN PLACE TO FORM PART OF THE FINISHED WORKS WITH THE PRIOR WRITTEN APPROVAL OF THE CONSULTANT.

8. MULCH:
ALL PLANTING BEDS SHALL HAVE APPROVED MULCH.

9. IRRIGATION:
ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.

10. AS-BUILTS
CONTRACTOR IS EXPECTED TO PROVIDE A COPY OF MARKED UP AS-BUILTS NOTING ANY CONSTRUCTION CHANGES AT THE TIME OF SUBSTANTIAL COMPLETION.

11. RFIs:
QUESTIONS PERTAINING TO LANDSCAPE WORKS TO BE IMMEDIATELY SUBMITTED TO CONTRACT ADMINISTRATOR FOR WHOM WILL CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION.

12. SHOP DRAWINGS:
CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR CONSULTANT'S APPROVAL FOR ALL MATERIALS PRIOR TO FABRICATION AND INSTALLATION.

13. SHOP DRAWINGS ARE REQUIRED FOR STONE SEATING / WALLS, PODIUMS, CURBS, WALL CAPPING STONES, STAIRS, PAVING AND ANY OTHER STRUCTURE INHERENT TO THE DESIGN. SHOP DRAWINGS SHALL BE BASED ON FIELD MEASUREMENT AND LAYOUT VERIFICATION UNDERTAKEN BY THE CONTRACTOR.

14. SHOP DRAWINGS ARE REQUIRED FOR ALL BALUSTRADES AND OTHER METALWORK INHERENT TO THE DESIGN. BALUSTRADE LENGTHS SHALL BE VERIFIED WITH FIELD MEASUREMENTS AND LAYOUT VERIFICATION TO BE UNDERTAKEN BY THE CONTRACTOR.

15. NO CHIPPED OR CRACKED PAVERS OR OTHER STONE WORK SHALL BE ACCEPTED. ALL CHIPPED, CRACKED OR OTHERWISE DAMAGED OR STAINED STONE WORK WILL BE REJECTED BY THE CONSULTANT AND REPLACED AT CONTRACTOR EXPENSE.

16. CONTRACTOR TO PRODUCE A REPRESENTATIVE SAMPLE FOR THE CONSULTANT'S APPROVAL FOR EACH MATERIAL ELEMENT, TO WHICH THE WORK ON SITE MUST CONFORM. ONCE APPROVED EACH SAMPLE SHALL REPRESENT THE MINIMUM ACCEPTABLE STANDARD FOR ALL EXECUTION OF THE SAME WORK.

17. CONTRACTOR SHALL VERIFY THE EXTENT OF AREAS TO BE PAVED AND SHALL FURNISH AND INSTALL PAVING MATERIALS TO THE INTENT AS SHOWN IN THE PLANS AND DRAWINGS. ALLOWANCE SHALL BE MADE TO ACCOUNT FOR SPOILAGE AND BREAKAGE.

18. CONTRACTOR SHALL STAKE OUT THE METES AND BOUNDARIES OF PAVING PRIOR TO LAYING. PAVING SHALL HAVE SUCH STAKED LOCATIONS APPROVED BY THE CONSULTANT PRIOR TO UNDERTAKING THIS ELEMENT OF THE WORK.

19. SUBSTITUTIONS:
NO SUBSTITUTIONS TO THE PAVING OR STONE WORK MATERIALS IN THE DRAWINGS, SCHEDULES OR SPECIFICATIONS SHALL BE MADE WITHOUT PRIOR WRITTEN APPROVAL OF THE CONSULTANT.

20. UTILITY COVERS:
ALL SERVICE AND UTILITY COVERS AND ACCESS HATCHES SHALL BE ENTIRELY LOCATED WITHIN PAVED AREAS WHERE POSSIBLE. IN THE EVENT THAT INSTANCES ARE IDENTIFIED BY THE CONTRACTOR WHERE THIS IS UNACHIEVABLE, THE CONSULTANT MUST BE NOTIFIED AND PRIOR WRITTEN APPROVAL OBTAINED BEFORE FINAL INSTALLATION. IN ALL INSTANCES, COVERS AND HATCHES SHOULD NOT OVERLAP WITH CURBS, EDGES OR THE BOUNDARIES BETWEEN HARD AND SOFT LANDSCAPE TREATMENTS. WHERE LOCATED WITHIN UNIT PAVING, ALL SERVICE AND UTILITY COVERS, INCLUDING ACCESS HATCHES, MANHOLES, HAND HOLES OR OTHER INSPECTION CHAMBERS SHALL BE INFILL/TRAY TYPE FINISHED WITH THE SAME MATERIALS AND IN CONTINUATION OF THE LAYOUT PATTERN OF THE SURROUNDING PAVED AREA, LAID FLUSH TO GRADE AND ALIGNED WITH (SET PARALLEL TO) THE PAVING AND JOINTING DIRECTION. IN ALL OTHER LOCATIONS, ORIENTATE LIDS TO BE PARALLEL OR PERPENDICULAR TO ANY ADJACENT EDGE (CURB, EDGER, WALL, BUILDING FACADE). UNIT PAVING LAYING PATTERN DIRECTION SHALL TAKE PRECEDENCE AS THE DETERMINING FACTOR FOR ALIGNMENT OVER EDGE CONDITIONS, WHERE APPLICABLE.

PLANTING NOTES:

1. STANDARDS:
ALL WORK OF THE CONTRACTOR SHALL MEET OR EXCEED ALL STANDARDS AND SPECIFICATIONS ESTABLISHED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD.

2. WARRANTY:
THE CONTRACTOR SHALL PROVIDE A (1) YEAR REPLACEMENT WARRANTY ON ALL PLANT MATERIAL TO THE OWNER FROM THE DATE OF SUBSTANTIAL COMPLETION.ALL PLANT MATERIAL MUST BE CERTIFIED TO BE FREE OF SUDDEN OAK DEATH (PHYTOPHTHORA RAMORUM), ACCORDING TO THE CANADIAN FOOD INSPECTOR AGENCY (C.F.I.A.), OR C.S.L.A. STANDARDS. PLANT MATERIAL TO BE MADE AVAILABLE FOR OPTIONAL INSPECTION BY THE CONTRACT ADMINISTRATOR AT SOURCE OF SUPPLY.

3. QUANTITIES:
QUANTITIES SHOWN ON THE PLANT LIST APPLY TO ONLY THE PLANTING SHOWN ON THE ADJACENT PLAN. THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER THE QUANTITIES SHOWN ON THE PLANT LIST. THE CONTRACTOR SHALL NOTIFY THE CONTRACT ADMINISTRATOR OF ANY DISCREPANCIES PRIOR TO ORDERING AND INSTALLING PLANT MATERIAL. PLANT QUANTITIES AS NOTED ON THE PLANS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL PLANTS AS REQUIRED TO MEET ON-CENTRE SPACING AS NOTED IN THE PLANT SCHEDULE AND AS DIRECTED BY THE CONSULTANT. ALLOWANCE IN QUANTITIES SHALL BE MADE TO ACCOUNT FOR MORTALITY AND ANY DISCREPANCIES.

4. SUBSTITUTIONS:
THE CONTRACTOR SHALL NOT SUBSTITUTE PLANT MATERIAL OR PRODUCTS WITHOUT WRITTEN CONSENT OF THE CONTRACT ADMINISTRATOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ANY UNAPPROVED SUBSTITUTIONS. ANY PROPOSED SUBSTITUTIONS OF PLANT SPECIES SHALL BE MADE WITH PLANTS OF EQUIVALENT OVERALL FORM, HEIGHT, BRANCHING HABIT, FLOWER, LEAF COLOUR, FRUIT AND CULTURE AND SUITABILITY TO THE SITE, ITS TYPICAL CLIMATIC CONDITIONS AND THE INTENDED USE OF THE SITE.

5. LAYOUT:
ARRANGE PLANTS IN CONTAINERS FOR CONSULTANT'S REVIEW AND APPROVAL OF PLACEMENT PRIOR TO INSTALLATION. WORKING FROM EDGE TO CENTRE. ALL PLANT MATERIAL TO BE A MINIMUM OF HALF ITS MATURE SPREAD +0.25m FROM ANY EDGE OF PLANTING AREA OR HARDSCAPE. UNLESS OTHERWISE INDICATED, FINISHED SOFT LANDSCAPE GRADING FOR PLANTING AREAS ARE 25mm BELOW ADJACENT FINISHED SURFACE GRADING AND TOP OF CURBS OR WALLS FOR PLANTERS OR OTHER RAISED PLANTED AREA.

6. TREE PLANTING:
ALL TREES ARE TO BE PLANTED WITH TRUNK FLARE AT FINISHED GRADE TO MATCH ORIGINAL NURSERY GRADE. CONTRACTOR TO OBTAIN CONSULTANT'S APPROVAL OF FINAL TREE DEPTH PRIOR TO PLACEMENT OF FINISHED MATERIAL. TREES PLANTED AT IMPROPER DEPTH AND WITHOUT FINAL APPROVAL MAY BE SUBJECT TO REMOVAL AT CONTRACTOR'S EXPENSE. STAKE ALL TREE LOCATIONS FOR CONSULTANT'S APPROVAL PRIOR TO INSTALLATION. ALL TREES WITHIN 1200MM OF HARD LANDSCAPE ELEMENTS SHALL RECEIVE A 3MM THICK (MIN.), 600MM DEEP POLYPROPYLENE ROOT BARRIER TO CONSULTANT'S APPROVAL. ALL TREES PLANTED ADJACENT TO CURBS SHALL BE A MINIMUM OF 900MM CLEAR FROM THE FACE OF THE CURB, UNLESS OTHERWISE EXPRESSLY INDICATED.

7. GROWING MEDIUM:
ON GRADE GROWING MEDIUM SHALL MEET THE FOLLOWING CANADIAN LANDSCAPE STANDARDS:
TREE PITS: 'INTERIOR 2L'
PLANTING BEDS: 'INTERIOR 2P'

8. GROWING MEDIUM TESTING:
THE CONTRACTOR SHALL PROVIDE A SOIL SAMPLE AND TEST TO THE CONTRACT ADMINISTRATOR DEMONSTRATING THAT THE GROWING MEDIUM MEETS C.S.L.A. SPECIFICATIONS PRIOR TO DELIVERY TO THE SITE. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF ANY UNTESTED / NON SPEC GROWING MEDIUM AT THEIR OWN EXPENSE. EACH GROWING MEDIUM DELIVERY BATCH SHALL RECEIVE FERTILITY TESTING BY APPROVED SOIL TESTING LABORATORY FOR APPROVAL BY THE CONSULTANT. CONTRACTOR TO SUBMIT FURTHER SOIL SAMPLES TO APPROVED LABORATORY TAKEN AT THE CONSULTANT'S DISCRETION FROM THE FINAL IN-SITU SOIL MIX.

9. GROWING MEDIUM PLACEMENT:
TYPICAL MINIMUM PLANTING SOIL DEPTHS ON GRADE ARE TO BE AS FOLLOWS:
- LAWN: 150mm TOPSOIL (MIN.) - 300mm SUBSOIL
- SHRUBS AND GROUNDCOVERS: 450mm TOPSOIL (MIN.) - 450mm SUBSOIL
- SMALL TREES: 900mmTOPSOIL - 450mm SUBSOIL
- LARGE TREES: 1200mm TOPSOIL - 450mm SUBSOIL

REFER ALSO TO SPECIFICATIONS ON DRAWINGS. FOR TYPICAL SOIL PROFILE DETAILS REFER TO SOFT LANDSCAPE DETAILS.

11. MULCH:
CONTRACTOR SHALL SUPPLY AND PLACE APPROVED MULCH 50mm DEEP TO ALL PLANTING BEDS. MULCH IS NOT TO BURY TREE TRUNK FLARE. ACCOMMODATE FOR MULCH DEPTH WHEN PLANTING TREES. SAMPLE OF MULCH TO BE PROVIDED TO CONSULTANT FOR APPROVAL PRIOR TO PLACEMENT.

12. SOURCE:
PLANTS ARE TO BE REGIONALLY SOURCED, WITH PREFERENCE ON LOCAL NURSERIES. ALL PLANT MATERIALS MUST BE TRANSPORTED TO SITE, OR BETWEEN ANY TEMPORARY LOCATION, IN ENCLOSED TRUCKS OR UNDER TARPS MADE ESPECIALLY FOR THE COVERING OF PLANT MATERIAL IN TRANSIT. ALL UNCOVERED SHIPMENTS OF PLANTS WILL BE REJECTED. ALL PLANT MATERIAL SHALL BE APPROVED ON SITE PRIOR TO INSTALLATION WITH NO DETERIORATED, DAMAGED OR UNDERSIZED MATERIALS ACCEPTED WITH THE LANDSCAPE ARCHITECT BEING THE SOLE AND FINAL JUDGE. TREES SHALL BE TAGGED BY THE CONTRACTOR AND REVIEWED BY THE ARBORIST WITHIN 30 DAYS OF AWARD OF CONTRACT. AVAILABILITY OF PLANT MATERIAL SHALL BE GUARANTEED AND MEET OR EXCEED REQUIRED SPECIFICATIONS ON ESTIMATED DATE OF START OF PLANTING.

13. STORAGE:
PLANT MATERIALS ARE TO BE PROTECTED AND STORED IN ACCORDANCE WITH C.S.L.A. STANDARDS.

14. PREPARATION:
PREPARATION AND FINE GRADING OF SOFT LANDSCAPE AREAS TO BE IN ACCORDANCE WITH C.S.L.A. STANDARDS.

15. WATERING:
WATERING IS TO BE PROVIDED THROUGH ESTABLISHMENT, WATERING TO BE COMPLIANT WITH C.S.L.A. STANDARDS. ENSURE PLANT MATERIAL IS WATERED ADEQUATELY TO PREVENT DETRIMENT TO PLANT HEALTH UNTIL IRRIGATION SYSTEM IS ACTIVE. IF WATERING BAN IS IN PLACE, NOTIFY CONTRACT ADMINISTRATOR.

16. LAWNS:
SOD LAWNS ARE TO BE 100% ESTABLISHED WITH EVENLY DISTRIBUTED ROLLS AND NO VISIBLE GAPS. SEEDED LAWNS ARE TO BE EVENLY COVERED WITH APPROVED SEED.

17. MAINTENANCE:
TO BE IN ACCORDANCE WITH C.S.L.A. STANDARDS.

18. IRRIGATION:
ALL 'SOFT LANDSCAPE AREAS' TO BE IRRIGATED WITH A HIGH-EFFICIENCY AUTOMATIC IRRIGATION SYSTEM, INCLUDING RAIN SENSOR, TO IRRIGATION INDUSTRY OF BC STANDARD AND GUIDELINES. ALL IRRIGATION VALVE BOXES TO BE EQUIPPED WITH QUICK-COUPLERS. IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FROM THE STUB OUTS PROVIDED. HOSE BIB AND STUB OUT FINAL LOCATIONS AS PER MECHANICAL DRAWINGS. PROVIDE SUBMITTALS OF DESIGN TO CONSULTANT AT LEAST ONE WEEK PRIOR TO INSTALLATION AND AS-BUILT DRAWINGS WITHIN ONE MONTH OF SUBSTANTIAL PERFORMANCE.

19. CONTRACTOR SHALL REVIEW ALL UTILITY LOCATIONS (INCLUDING PROPOSED OR EXISTING IRRIGATION SYSTEMS) IN THE FIELD AND NOTIFY THE CONSULTANT IF DISCREPANCIES OR CONFLICTS WITH PLANTING MATERIAL LOCATIONS OCCUR.

20. REFER TO PLANTING SCHEDULES AND DRAWINGS FOR ALL PLANTING TYPES, INCLUDING SPECIES, SIZES AND SPACING.

21. ALL PROPOSED TREE HEIGHTS REFER TO CLEAR BROWN TRUNK (CBT) HEIGHT MEASURED FROM NURSERY GROWING LINE TO THE LOWER-MOST BASE OF THE GROWING BUD.

22. CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION BUILD UP LAYERS INCLUDING ANY WATERPROOFING AND PIPE WORK BELOW PLANTING ARE INSTALLED PRIOR TO BACKFILLING AND PLANTING.

23. UNLESS OTHERWISE INDICATED, FINISHED SOFT LANDSCAPE GRADING FOR PLANTING AREAS ARE 25MM BELOW ADJACENT FINISHED SURFACE GRADING AND TOP OF CURBS OR WALLS FOR PLANTERS OR OTHER RAISED PLANTED AREA.

24. CONTRACTOR SHALL SUBMIT PHOTOS OF ONE REPRESENTATIVE EXAMPLE OF EACH TREE VARIETY FOR APPROVAL BY THE CONSULTANT. PHOTOS SHOULD INCLUDE A PERSON FOR SCALE PURPOSES. TREE SPECIFICATION AND QUANTITY SHALL BE NOTED ALONG WITH PLANTED HEIGHT, TRUNK CLEARANCE, WIDTH AND TRUNK CALIPER. NURSERY SOURCE AND CONTACT SHALL BE PROVIDED TO THE OWNER/OWNER'S AUTHORIZED REPRESENTATIVE AND THE CONSULTANT. ANY PLANT DEEMED TO BE UNAVAILABLE BY THE CONTRACTOR SHALL BE IDENTIFIED TO THE CONSULTANT WITHIN 30 DAYS FOLLOWING AWARD OF CONTRACT.

25. TREES SHOULD NOT BE STORED AT THE PROJECT SITE. ALL TREES MUST BE SHIPPED DIRECTLY FROM THE NURSERY AND IMMEDIATELY PLANTED ON SITE. UNLESS AN ON SITE HARDENING-OFF PERIOD IS DETERMINED AS NECESSARY BY THE CONSULTANT TO SUIT SITE CONDITIONS AND AID ESTABLISHMENT. HARDENING-OFF AREAS TO BE COVERED BY 50% GREEN WOVEN HDPE SHADE CLOTH ON APPROVED FRAMEWORK WITH A WOVEN GEOTEXTILE TO ALL FLOORING AREAS. TEMPORARY NURSERY AND HARDENING METHOD STATEMENT TO BE SUBMITTED FOR APPROVAL BY THE CONSULTANT WITHIN 30 DAYS OF CONTRACT AWARD.

26. ALL PLANT MATERIAL SHALL CONFORM TO THE RELEVANT PARTS OF THE CANADIAN LANDSCAPE STANDARD, LATEST EDITION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH PLANTS FREE OF PESTS AND DISEASES. PRE-SELECTED OR TAGGED MATERIAL MUST BE INSPECTED BY THE CONTRACTOR AND CERTIFIED AS PEST AND DISEASE FREE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO WARRANTY ALL PLANT MATERIALS PER THE REQUIREMENTS OF THE PLANS AND SPECIFICATIONS.

27. ALL PROPOSED TREES SHALL BE STAKED OUT IN THEIR APPROXIMATE LOCATIONS. ALL PLANTING BEDS TO BE MARKED OUT WHERE NECESSARY USING GYPSUM OR STRING LINES BY THE CONTRACTOR. CONTRACTOR SHALL ADJUST THE LOCATIONS OF THESE STAKES AND MARKED AREAS AS REQUIRED BY THE CONSULTANT ON SITE.

28. FINAL EXACT LOCATIONS OF PLANT MATERIAL (INCLUDING TREES) ARE TO BE REVIEWED BY THE CONSULTANT PRIOR TO INSTALLATION WITH THE CONSULTANT RESERVING THE RIGHT TO ADJUST THE FINAL POSITIONS OF THE PLANTS.

29. NO TREES SHALL BE PLANTED BEFORE ACCEPTANCE OF ROUGH GRADING. TREES SHALL BE PLANTED 50MM HIGHER THAN ORIGINAL NURSERY GRADES. SHRUBS AND GROUNDCOVER SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS THEY BORE TO PREVIOUS GRADE AT THE NURSERY. ALL PLANTS WHICH SETTLE OUT OF PLUMB OR BELOW LEVEL MUST BE IMMEDIATELY REPLANTED.

30. CONTRACTOR SHALL GRADE PLANTING BEDS PER THE CONSULTANT'S FIELD DIRECTION AND APPROVAL, TO PROVIDE POSITIVE DRAINAGE AND PROMOTE OPTIMUM PLANT GROWTH. ALL EXCESS WATER SHALL DRAIN AWAY FROM STRUCTURES AND WALKWAYS.

31. ALL PLANTING SHALL BE UNDERTAKEN UNDER THE FULL-TIME, ON SITE SUPERVISION OF A CERTIFIED LANDSCAPE PROFESSIONAL OR CERTIFIED ARBORIST EMPLOYED BY THE CONTRACTOR. PROVIDE VERIFICATION OF CERTIFICATION FOR CONSULTANT'S APPROVAL.

32. NO PRUNING SHALL BE PERFORMED DURING INSTALLATION EXCEPT UPON THE DIRECTION OF THE CONSULTANT.

33. ALL FINISHED PLANTING AREAS TO RECEIVE 50MM COMPACTED ORGANIC BARK MULCH TO SPECIFICATIONS AND CONSULTANT'S APPROVAL. PROVIDE SAMPLE. FINISHED GRADE OF MULCH TO SIT 25MM BELOW ADJOINING FINISHED HARD LANDSCAPE AND LAWN GRADE.

34. NO PLANTING SOIL TO BE MIXED IN-SITU. CONTRACTOR TO PROVIDE METHOD STATEMENT FOR THE MIXING PROCESS AND LOCATION.

SCHEDULE C
This forms part of application
DP25-0094
City of Kelowna
COMMUNITY PLANNING
Planner Initials JK

ISSUE:				REVISION:			
8A	2025-04-17	ISSUED FOR DEVELOPMENT PERMIT	JP				
7A	2025-04-11	ISSUED FOR DEVELOPMENT PERMIT	PB				
6A	2025-03-20	ISSUED FOR DEVELOPMENT PERMIT	JP				
5A	2024-10-25	ISSUED FOR BUILDING PERMIT REVIEW	JP				
5A	2024-08-09	ISSUED FOR BUILDING PERMIT - DRAFT	PB				
4A	2024-07-26	ISSUED FOR REVIEW	PB				
3A	2024-05-21	ISSUED FOR BUILDING PERMIT - DRAFT	PB				
2A	2024-05-01	ISSUED FOR BUILDING PERMIT - DRAFT	PB				
1A	2023-08-14	ISSUED FOR DEVELOPMENT PERMIT	AS				
0A	2023-07-21	ISSUED FOR REVEIW	AS				
REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY

SEAL: BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS REGISTERED ROBERT CARTER LEVER 360

ORIGINAL SCALE: 1:200
APPROVED BY: RF
CHECKED BY: GS
DRAWN BY (OPTIONAL): PB
DATE: 2025-04-11
IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.
25mm
DISCIPLINE: LANDSCAPE

WSP Canada Inc.
Suite 700, 1631 Dickson Avenue, Kelowna, B.C. V1Y 0B5
T 250-980-5500 | www.wsp.com

PROJECT NUMBER: CA0005569.2339
CLIENT: WILDEN OLIVE PONDS
CLIENT REF. #: --

TITLE: GENERAL NOTES
PROJECT: WILDEN OLIVE PONDS
DRAWING NUMBER: L001
REV.: 8A

GENERAL LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- BUILDING OUTLINE ABOVE
- BUILDING OUTLINE
- RESTORATION AREA AS PER ENVIRONMENTAL CONSULTANT
- P1 — EXPOSED AGGREGATE BY OTHERS
- P2 — KETTLE VALLEY CRUSHED STONE
  COLOUR: T.B.D. TYPE: 3/8" MINUS
  FINISH: T.B.D. SUPPLIER: T.B.D.
- P3 — ROCK INTERCEPTOR TRENCH AREA BY OTHERS
- P4 — KETTLE VALLEY CRUSHED STONE
  COLOUR: T.B.D. TYPE: 2"
  FINISH: T.B.D. SUPPLIER: T.B.D.
- F1 — SITE FEATURE BOULDER
  COLOUR: T.B.D. TYPE: 800mm MAX.
  FINISH: T.B.D. SUPPLIER: T.B.D.
- F2 — CHAIN LINK FENCE
  COLOUR: BLACK TYPE: 1.2 m
  FINISH: VINYL SUPPLIER: T.B.D.
- F3 — EDGER
  COLOUR: TEAK TYPE: BEND A BOARD
  SIZE: 2" x 4" SUPPLIER: EPIC PLASTICS

P2 KETTLE VALLEY CRUSHED STONE 3/8" MINUS
P1 EXPOSED AGGREGATE
P2 KETTLE VALLEY CRUSHED STONE 2"
F1 SITE FEATURE BOULDER
F3 EDGER

P2 KETTLE VALLEY CRUSHED STONE 3/8" MINUS
P2 KETTLE VALLEY CRUSHED STONE 2"
F3 EDGER

CHAIN LINK FENCE F2
EXPOSED AGGREGATE P1
KETTLE VALLEY CRUSHED STONE 2" P2
EDGER F3
KETTLE VALLEY CRUSHED STONE 3/8" MINUS P2

7
8
6
5

MATCH LINE SEE DWG L101

SCHEDULE C
This forms part of application
DP25-0094
Planner Initials JK
City of Kelowna COMMUNITY PLANNING

N

0 1 2 3 4 5 10m
SCALE 1:200

ISSUE:				REVISION:			
8A	2025-04-17	ISSUED FOR DEVELOPMENT PERMIT	JP				
7A	2025-04-11	ISSUED FOR DEVELOPMENT PERMIT	PB				
6A	2025-03-20	ISSUED FOR DEVELOPMENT PERMIT	JP				
5A	2024-10-25	ISSUED FOR BUILDING PERMIT REVIEW	JP				
4A	2024-08-09	ISSUED FOR BUILDING PERMIT - DRAFT	PB				
3A	2024-07-26	ISSUED FOR REVIEW	PB				
2A	2024-05-21	ISSUED FOR BUILDING PERMIT - DRAFT	PB				
1A	2024-05-01	ISSUED FOR BUILDING PERMIT - DRAFT	PB				
0A	2023-08-14	ISSUED FOR DEVELOPMENT PERMIT	AS				
0A	2023-07-21	ISSUED FOR REVEIW	AS				
REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY

SEAL: BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS REGISTERED ROBERT FERGUSON 360

ORIGINAL SCALE: 1:200
APPROVED BY: RF
CHECKED BY: GS
DRAWN BY (OPTIONAL): PB
DATE: 2025-04-11
IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.
25mm
DISCIPLINE: LANDSCAPE

WSP Canada Inc.
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PROJECT NUMBER: CA0005569.2339

CLIENT: WILDEN OLIVE PONDS
CLIENT REF. #: --

TITLE: MATERIALS AND REFERENCE PLAN 1/4

PROJECT: WILDEN OLIVE PONDS

DRAWING NUMBER: L100
REV: 8A

FILE: p:\projects\2023\ca0005569.2339 wilden k3\05_tech\cad\3_cad\3_sheets\ca0005569.2339 wilden k3_l_mat8.dwg
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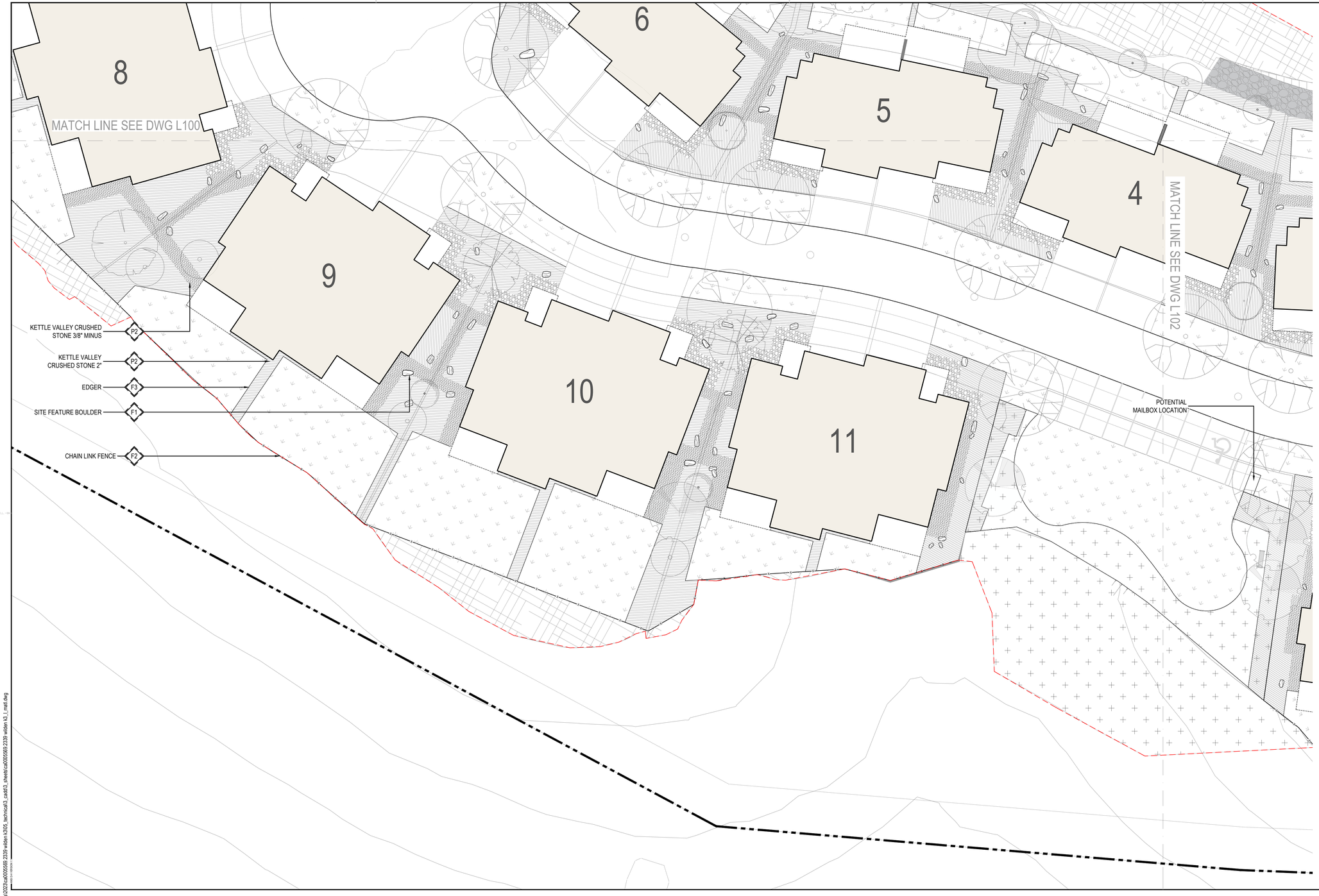
PLOTTED: 2025-04-21 - 2:13 PM



GENERAL LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- BUILDING OUTLINE ABOVE
- BUILDING OUTLINE
- RESTORATION AREA AS PER ENVIRONMENTAL CONSULTANT
- P1 — EXPOSED AGGREGATE BY OTHERS
- P2 — KETTLE VALLEY CRUSHED STONE
  COLOUR: T.B.D. TYPE: 3/8" MINUS
  FINISH: T.B.D. SUPPLIER: T.B.D.
- P3 — ROCK INTERCEPTOR TRENCH AREA BY OTHERS
- P4 — KETTLE VALLEY CRUSHED STONE
  COLOUR: T.B.D. TYPE: 2"
  FINISH: T.B.D. SUPPLIER: T.B.D.
- F1 — SITE FEATURE BOULDER
  COLOUR: T.B.D. TYPE: 800mm MAX.
  FINISH: T.B.D. SUPPLIER: T.B.D.
- F2 — CHAIN LINK FENCE
  COLOUR: BLACK TYPE: 1.2 m
  FINISH: VINYL SUPPLIER: T.B.D.
- F3 — EDGER
  COLOUR: TEAK TYPE: BEND A BOARD
  SIZE: 2" x 4" SUPPLIER: EPIC PLASTICS

SCHEDULE C
This forms part of application
DP25-0094
Planner Initials JK
City of Kelowna
COMMUNITY PLANNING

ISSUE:				REVISION:			
8A	2025-04-17	ISSUED FOR DEVELOPMENT PERMIT	JP				
7A	2025-04-11	ISSUED FOR DEVELOPMENT PERMIT	PB				
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5A	2024-08-09	ISSUED FOR BUILDING PERMIT - DRAFT	PB				
4A	2024-07-26	ISSUED FOR REVIEW	PB				
3A	2024-05-21	ISSUED FOR BUILDING PERMIT - DRAFT	PB				
2A	2024-05-01	ISSUED FOR BUILDING PERMIT - DRAFT	PB				
1A	2023-08-14	ISSUED FOR DEVELOPMENT PERMIT	AS				
0A	2023-07-21	ISSUED FOR REVEIW	AS				
REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY

SEAL: BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS — REGISTERED LANDSCAPE ARCHITECT — ROBERT FERGUSON — 360

ORIGINAL SCALE: 1:200
APPROVED BY: RF
CHECKED BY: GS
DRAWN BY (OPTIONAL): PB
DATE: 2025-04-11
IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE. 25mm
DISCIPLINE: LANDSCAPE

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PROJECT NUMBER: CA0005569.2339
CLIENT: WILDEN OLIVE PONDS
CLIENT REF. #: --

TITLE: MATERIALS AND REFERENCE PLAN 2/4
PROJECT: WILDEN OLIVE PONDS
DRAWING NUMBER: L101
REV.: 8A

FILE: p:\projects\2025\ca0005569.2339 wilden ll3\05_tech\cad\3_cadd\3_sheets\ca0005569.2339 wilden ll3_l_matl.dwg
CTB: ---
PLOTTED: 2025-04-21 - 2:14 PM

ROCK INTERCEPTOR TRENCH AREA — P3
2" KETTLE VALLEY CRUSHED STONE — P4
EDGER — F3
P2 — KETTLE VALLEY CRUSHED STONE 3/8" MINUS
P1 — EXPOSED AGGREGATE
P2 — KETTLE VALLEY CRUSHED STONE 2"
F3 — EDGER

MATCH LINE SEE DWG L101

MATCH LINE SEE DWG L103

P1 — EXPOSED AGGREGATE
P2 — KETTLE VALLEY CRUSHED STONE 2"
F3 — EDGER
P2 — KETTLE VALLEY CRUSHED STONE 3/8" MINUS
F1 — SITE FEATURE BOUNDER

1
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3
12
13
14
15

GENERAL LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- BUILDING OUTLINE ABOVE
- BUILDING OUTLINE
- RESTORATION AREA AS PER ENVIRONMENTAL CONSULTANT
- P1 — EXPOSED AGGREGATE BY OTHERS
- P2 — KETTLE VALLEY CRUSHED STONE
  COLOUR: T.B.D. TYPE: 3/8" MINUS
  FINISH: T.B.D. SUPPLIER: T.B.D.
- P3 — ROCK INTERCEPTOR TRENCH AREA BY OTHERS
- P4 — KETTLE VALLEY CRUSHED STONE
  COLOUR: T.B.D. TYPE: 2"
  FINISH: T.B.D. SUPPLIER: T.B.D.
- F1 — SITE FEATURE BOULDER
  COLOUR: T.B.D. TYPE: 800mm MAX.
  FINISH: T.B.D. SUPPLIER: T.B.D.
- F2 — CHAIN LINK FENCE
  COLOUR: BLACK TYPE: 1.2 m
  FINISH: VINYL SUPPLIER: T.B.D.
- F3 — EDGER
  COLOUR: TEAK TYPE: BEND A BOARD
  SIZE: 2" x 4" SUPPLIER: EPIC PLASTICS

SCHEDULE C
This forms part of application
DP25-0094
City of Kelowna COMMUNITY PLANNING
Planner Initials JK

N

0 1 2 3 4 5 10m
SCALE 1:200

ISSUE:				REVISION:			
8A	2025-04-17	ISSUED FOR DEVELOPMENT PERMIT	JP				
7A	2025-04-11	ISSUED FOR DEVELOPMENT PERMIT	PB				
6A	2025-03-20	ISSUED FOR DEVELOPMENT PERMIT	JP				
5A	2024-10-25	ISSUED FOR BUILDING PERMIT REVIEW	JP				
5A	2024-08-09	ISSUED FOR BUILDING PERMIT - DRAFT	PB				
4A	2024-07-26	ISSUED FOR REVIEW	PB				
3A	2024-05-21	ISSUED FOR BUILDING PERMIT - DRAFT	PB				
2A	2024-05-01	ISSUED FOR BUILDING PERMIT - DRAFT	PB				
1A	2023-08-14	ISSUED FOR DEVELOPMENT PERMIT	AS				
0A	2023-07-21	ISSUED FOR REVEIW	AS				
REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY

SEAL: BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS — REGISTERED MEMBER — ROBERT CHIAU — 380

ORIGINAL SCALE: 1:200
APPROVED BY: RF
CHECKED BY: GS
DRAWN BY (OPTIONAL): PB
DATE: 2025-04-11
IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.
25mm
DISCIPLINE: LANDSCAPE

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T 250-980-5500 | www.wsp.com

PROJECT NUMBER: CA0005569.2339
CLIENT: WILDEN OLIVE PONDS
CLIENT REF. #: --

TITLE: MATERIALS AND REFERENCE PLAN 3/4
PROJECT: WILDEN OLIVE PONDS
DRAWING NUMBER: L102
REV. 8A

CTB: --
PLOTTED: 2025-04-21 - 2:14 PM
FILE: p:\projects\2023\ca0005569.2339 wilden k3\05_tech\civil\3_cad\k3_sheets\ca0005569.2339 wilden lr3_l_matl.dwg

13

14

15

P1 EXPOSED AGGREGATE

P2 KETTLE VALLEY CRUSHED STONE 2"

F3 EDGER

KETTLE VALLEY CRUSHED STONE 3/8" MINUS — P2

KETTLE VALLEY CRUSHED STONE 2" — P2

SITE FEATURE BOULDER — F1

EDGER — F3

CHAIN LINK FENCE — F2

MATCH LINE SEE DWG L102

GENERAL LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- BUILDING OUTLINE ABOVE
- BUILDING OUTLINE
- RESTORATION AREA AS PER ENVIRONMENTAL CONSULTANT
- P1 EXPOSED AGGREGATE BY OTHERS
- P2 KETTLE VALLEY CRUSHED STONE
  COLOUR: T.B.D. TYPE: 3/8" MINUS
  FINISH: T.B.D. SUPPLIER: T.B.D.
- P3 ROCK INTERCEPTOR TRENCH AREA BY OTHERS
- P4 KETTLE VALLEY CRUSHED STONE
  COLOUR: T.B.D. TYPE: 2"
  FINISH: T.B.D. SUPPLIER: T.B.D.
- F1 SITE FEATURE BOULDER
  COLOUR: T.B.D. TYPE: 800mm MAX.
  FINISH: T.B.D. SUPPLIER: T.B.D.
- F2 CHAIN LINK FENCE
  COLOUR: BLACK TYPE: 1.2 m
  FINISH: VINYL SUPPLIER: T.B.D.
- F3 EDGER
  COLOUR: TEAK TYPE: BEND A BOARD
  SIZE: 2" x 4" SUPPLIER: EPIC PLASTICS

SCHEDULE C
This forms part of application
DP25-0094
Planner Initials JK
City of Kelowna COMMUNITY PLANNING

N

0 1 2 3 4 5 10m
SCALE 1:200

ISSUE:				REVISION:			
8A	2025-04-17	ISSUED FOR DEVELOPMENT PERMIT	JP				
7A	2025-04-11	ISSUED FOR DEVELOPMENT PERMIT	PB				
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5A	2024-10-25	ISSUED FOR BUILDING PERMIT REVIEW	JP				
5A	2024-08-09	ISSUED FOR BUILDING PERMIT - DRAFT	PB				
4A	2024-07-26	ISSUED FOR REVIEW	PB				
3A	2024-05-21	ISSUED FOR BUILDING PERMIT - DRAFT	PB				
2A	2024-05-01	ISSUED FOR BUILDING PERMIT - DRAFT	PB				
1A	2023-08-14	ISSUED FOR DEVELOPMENT PERMIT	AS				
0A	2023-07-21	ISSUED FOR REVEIW	AS				
REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY

SEAL: REGISTERED LANDSCAPE ARCHITECT ROBERT FISHER 360 BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS

ORIGINAL SCALE: 1:200
APPROVED BY: RF
CHECKED BY: GS
DRAWN BY (OPTIONAL): PB
DATE: 2025-04-11
IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE. 25mm
DISCIPLINE: LANDSCAPE

WSP Canada Inc.
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T 250-980-5500 | www.wsp.com

PROJECT NUMBER: CA0005569.2339
CLIENT: WILDEN OLIVE PONDS
CLIENT REF. #: --

TITLE: MATERIALS AND REFERENCE PLAN 4/4
PROJECT: WILDEN OLIVE PONDS
DRAWING NUMBER: L103
REV.: 8A

FILE: p:\projects\2023\ca0005569.2339 wilden k3\05 technical\3_cad\r3_sheets\ca0005569.2339 wilden k3 l_matl.dwg
CTB: ---
PLOTTED: 2025-04-21 - 2:15 PM

PLANTING LEGEND

- RESTORATION PLANTING AS PER ENVIRONMENTAL CONSULTANT
- SEEDED NATIVE PLANTING
- LAWN

PLANT LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE PLANT SIZE (H X W)
		TREES				
AGD	8	*Acer glabrum var. douglasii*	Douglas Maple	30 mm Cal.	B&B	12m x 4m
AB	22	*Acer x freemanii 'Autumn Blaze'*	Autumn Blaze Maple	60mm Cal	B&B	12m x 6m
AT	2	*Acer tataricum subsp. ginnala 'Flame'*	Amur maple	30mm Cal	B&B	6m x 6m
ABS	7	*Amelanchier alnifolia*	Saskatoon Serviceberry	30 mm Cal.	B&B	5m x 4m
ABS-MS	17	*Amelancher x grandiflora 'Autumn Brilliance' (multi-stem)*	Autumn Brilliance Serviceberry	2 m	B&B	5m x 4m
BD	11	*Betula 'Dakota Pinnacle'*	Dakota Pinnacle Birch	50mm Cal.	B&B	7m x 3m
CC	6	*Cercis canadensis*	Eastern redbud	40 mm Cal.	B&B	6m x 7m
PT	47	*Populus tremuloides*	Quacking aspen	25mm Cal.	B&B	12m x 9m
		SHRUBS/ PERENNIALS / GRASSES				
aar	5	*Amelanchier Alnifolia 'regent'*	Regent Serviceberry	#05	Potted	1m x 1.25m
auu	107	*Arctostaphylos uva-ursi*	Kinnikinnick	#01	Potted	0.3m x 0.9m
csf	153	*Cornus sericea 'fire dance'*	Firedance Dogwood	#01	Potted	0.9m x 1.5m
jcg	81	*Juniperus communis 'green carpet' dwarf*	Green Carpet Juniper	#03	Potted	0.3m x 1m
jhb	7	*Juniperus horizontalis 'Bar Harbor'*	Creeping juniper	#03	Potted	0.3m x 1.8m
oga	54	*Mahonia Aquifolium*	Oregon grape	#01	Potted	2m x 1.25m
mrc	85	Mahonia Repens	Creeping Oregon Grape	#02	Potted	0.3m x 0.75m
mlk	279	*Miscanthus Little Kitten*	Chinese Silver Grass	#01	Potted	0.9m x 0.6m
pmh	15	Philadelphus 'Manteau d'Hermine'	Mock Orange	#05	Potted	0.9m x 1.2m
pms	75	*Pinus Mugo 'slowmound'*	Slowmound Mugo Pine	#05	Potted	0.6m x 1m
rag	52	*Rhus aromatica 'Gro-Low'*	Aromatic Sumac, Fragrant Sumac	#02	Potted	0.6m x 1.8m
rrf	17	*Rosa rugosa frau dagmar hastrup*	Fru Dagmar Hastrup Rose	#01	Potted	1.5m x 1.5m
rwk	37	*Rosa woodsii 'Kimberley'*	Western Wild Rose	#02	Potted	1.5m x 1.5m
rfs	41	*Rudebeckia fulgida var. sullivantii 'little*	Black-eyed Susan	#01	Potted	0.3m x 0.3m
spi	16	Salvia patensis 'Indigo'	Blue Meadow Sage	#01	Potted	0.8m x 0.6m
bss	139	Salvia Sensation 'Sky Blue'	Sensation Sky Blue Meadow Sage	#01	Potted	0.3m x 0.4m
saa	179	Sesleria autumnalis	Autumn Moor Grass	#01	Potted	0.6m x 0.6m
spb	81	Spiraea betulifolia	Birchleaf Spirea	#01	Potted	0.9m x 0.9m
svm	1	Syringa vulgaris 'Madame Lemoine'	Lilac madame lemoine	#03	Potted	3m x 3m

SCHEDULE C
This forms part of application
DP25-0094
Planner Initials JK
City of Kelowna COMMUNITY PLANNING

N

0 1 2 3 4 5 10m
SCALE 1:200

ISSUE:				REVISION:			
8A	2025-04-17	ISSUED FOR DEVELOPMENT PERMIT	JP				
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0A	2023-07-21	ISSUED FOR REVEIW	AS				
REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY

SEAL: BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS REGISTERED MEMBER ROBERT FORSHAU 360

ORIGINAL SCALE: 1:200
APPROVED BY: RF
CHECKED BY: GS
DRAWN BY (OPTIONAL): PB
DATE: 2025-04-11
IF THIS BAR IS NOT 25mm LONG, ADJUST YOUR PLOTTING SCALE.
25mm
DISCIPLINE: LANDSCAPE

WSP Canada Inc.
Suite 700, 1631 Dickson Avenue, Kelowna, B.C. V1Y 0B5
T 250-980-5500 | www.wsp.com

PROJECT NUMBER: CA0005569.2339

CLIENT: WILDEN OLIVE PONDS

CLIENT REF. #: --

TITLE: PLANTING PLAN 1/4

PROJECT: WILDEN OLIVE PONDS

DRAWING NUMBER: L300

REV.: 8A

CTB: ---
PLOTTED: 2025-04-21 - 2:16 PM
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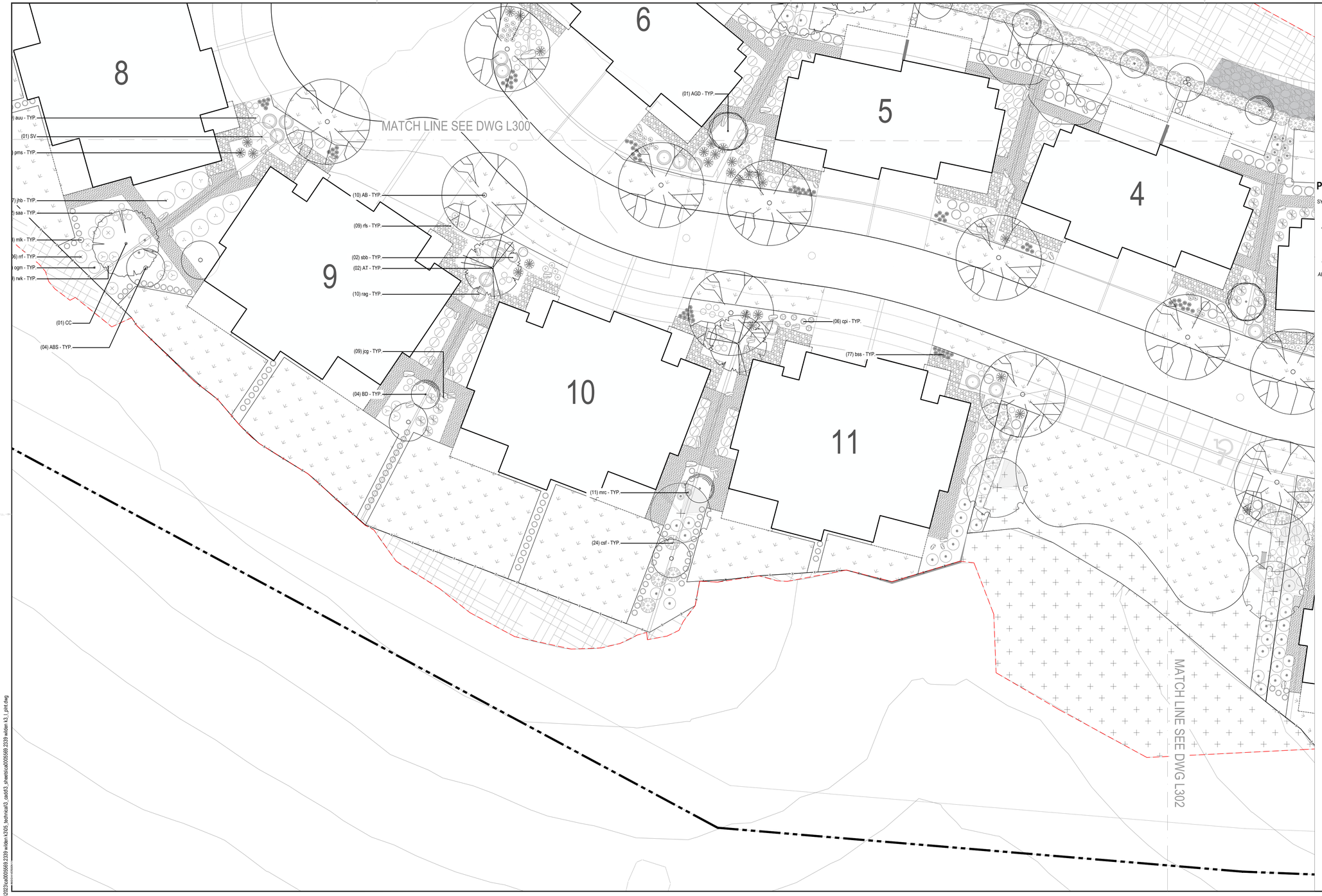

PLANTING LEGEND

- RESTORATION PLANTING AS PER ENVIRONMENTAL CONSULTANT
- SEEDED NATIVE PLANTING
- LAWN

PLANT LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE PLANT SIZE (H X W)
		TREES				
AGD	8	*Acer glabrum var. douglasii*	Douglas Maple	30 mm Cal.	B&B	12m x 4m
AB	22	*Acer x freemanii 'Autumn Blaze'*	Autumn Blaze Maple	60mm Cal	B&B	12m x 6m
AT	2	*Acer tataricum subsp. ginnala 'Flame'*	Amur maple	30mm Cal	B&B	6m x 6m
ABS	7	*Amelanchier alnifolia*	Saskatoon Serviceberry	30 mm Cal.	B&B	5m x 4m
ABS-MS	17	*Amelanchier x grandiflora 'Autumn Brilliance' (multi-stem)*	Autumn Brilliance Serviceberry	2 m	B&B	5m x 4m
BD	11	*Betula 'Dakota Pinnacle'*	Dakota Pinnacle Birch	50mm Cal.	B&B	7m x 3m
CC	6	*Cercis canadensis*	Eastern redbud	40 mm Cal.	B&B	6m x 7m
PT	47	*Populus tremuloides*	Quacking aspen	25mm Cal.	B&B	12m x 9m
		SHRUBS/ PERENNIALS / GRASSES				
aar	5	*Amelanchier alnifolia 'regent'*	Regent Serviceberry	#05	Potted	1m x 1.25m
auu	107	*Arctostaphylos uva-ursi*	Kinnikinnick	#01	Potted	0.3m x 0.9m
csf	153	*Cornus sericea 'fire dance'*	Firedance Dogwood	#01	Potted	0.9m x 1.5m
jcg	81	*Juniperus communis 'green carpet' dwarf*	Green Carpet Juniper	#03	Potted	0.3m x 1m
jhb	7	*Juniperus horizontalis 'Bar Harbor'*	Creeping juniper	#03	Potted	0.3m x 1.8m
oga	54	*Mahonia Aquifolium*	Oregon grape	#01	Potted	2m x 1.25m
mrc	85	Mahonia Repens	Creeping Oregon Grape	#02	Potted	0.3m x 0.75m
mlk	279	*Miscanthus Little Kitten*	Chinese Silver Grass	#01	Potted	0.9m x 0.6m
pmh	15	Philadelphus 'Manteau d'Hermine'	Mock Orange	#05	Potted	0.9m x 1.2m
pms	75	*Pinus Mugo 'slowmound'*	Slowmound Mugo Pine	#05	Potted	0.6m x 1m
rag	52	*Rhus aromatica 'Gro-Low'*	Aromatic Sumac, Fragrant Sumac	#02	Potted	0.6m x 1.8m
rrf	17	*Rosa rugosa frau dagmar nastrup*	Fru Dagmar Hastrup Rose	#01	Potted	1.5m x 1.5m
rwk	37	*Rosa woodsii 'Kimberley'*	Western Wild Rose	#02	Potted	1.5m x 1.5m
rfs	41	*Rudebeckia fulgida var. sullivantii 'little*	Black-eyed Susan	#01	Potted	0.3m x 0.3m
spi	16	Salvia patensis 'Indigo'	Blue Meadow Sage	#01	Potted	0.8m x 0.6m
bss	139	Salvia Sensation 'Sky Blue'	Sensation Sky Blue Meadow Sage	#01	Potted	0.3m x 0.4m
saa	179	Sesleria autumnalis	Autumn Moor Grass	#01	Potted	0.6m x 0.6m
spb	81	Spiraea betulifolia	Birchleaf Spirea	#01	Potted	0.9m x 0.9m
svm	1	Syringa vulgaris 'Madame Lemoine'	Lilac madame lemoine	#03	Potted	3m x 3m

SCHEDULE C
This forms part of application
DP25-0094
Planner Initials JK
City of Kelowna COMMUNITY PLANNING

ISSUE:				REVISION:			
8A	2025-04-17	ISSUED FOR DEVELOPMENT PERMIT	JP				
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4A	2024-07-26	ISSUED FOR REVIEW	PB				
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2A	2024-05-01	ISSUED FOR BUILDING PERMIT - DRAFT	PB				
1A	2023-08-14	ISSUED FOR DEVELOPMENT PERMIT	AS				
0A	2023-07-21	ISSUED FOR REVEIW	AS				
REV	DATE	DESCRIPTION	BY	REV	DATE	DESCRIPTION	BY

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PROJECT NUMBER: CA0005569.2339
CLIENT: WILDEN OLIVE PONDS
CLIENT REF. #: --

TITLE: PLANTING PLAN 2/4
PROJECT: WILDEN OLIVE PONDS
DRAWING NUMBER: L301
REV: 8A

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MATCH LINE SEE DWG L301

MATCH LINE SEE DWG L303

(07) BD - TYP.
(08) ABS-MS - TYP.
(78) csf - TYP.
(24) sbb - TYP.
(13) rfs - TYP.
(03) PT
(10) AB
(71) csf - TYP.
(24) pms - TYP.
(35) sbb - TYP.
(41) saa - TYP.
(03) mlk - TYP.
(33) auu - TYP.
(24) ogm - TYP.
(08) AB - TYP.
(01) AGD
(12) rag - TYP.
(42) jgc - TYP.
(01) aar
(01) rrf
(03) moo
(54) mlk - TYP.
(30) mrc - TYP.
(11) rwk - TYP.
(03) PT

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PLANTING LEGEND

- RESTORATION PLANTING AS PER ENVIRONMENTAL CONSULTANT
- SEEDED NATIVE PLANTING
- LAWN

PLANT LIST

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	MATURE PLANT SIZE (H X W)
		TREES				
AGD	8	*Acer glabrum var. douglasii*	Douglas Maple	30 mm Cal.	B&B	12m x 4m
AB	22	*Acer x freemanii 'Autumn Blaze'*	Autumn Blaze Maple	60mm Cal	B&B	12m x 6m
AT	2	*Acer tataricum subsp. ginnala 'Flame'*	Amur maple	30mm Cal	B&B	6m x 6m
ABS	7	*Amelanchier alnifolia*	Saskatoon Serviceberry	30 mm Cal.	B&B	5m x 4m
ABS-MS	17	*Amelancher x grandiflora 'Autumn Brilliance' (multi-stem)*	Autumn Brilliance Serviceberry	2 m	B&B	5m x 4m
BD	11	*Betula 'Dakota Pinnacle'*	Dakota Pinnacle Birch	50mm Cal.	B&B	7m x 3m
CC	6	*Cercis canadensis*	Eastern redbud	40 mm Cal.	B&B	6m x 7m
PT	47	*Populus tremuloides*	Quacking aspen	25mm Cal.	B&B	12m x 9m
		SHRUBS/ PERENNIALS / GRASSES				
aar	5	*Amelanchier Alnifolia 'regent'*	Regent Serviceberry	#05	Potted	1m x 1.25m
auu	107	*Arctostaphylos uva-ursi*	Kinnikinnick	#01	Potted	0.3m x 0.9m
csf	153	*Cornus sericea 'fire dance'*	Firedance Dogwood	#01	Potted	0.9m x 1.5m
jcg	81	*Juniperus communis 'green carpet' dwarf*	Green Carpet Juniper	#03	Potted	0.3m x 1m
jhb	7	*Juniperus horizontalis 'Bar Harbor'*	Creeping juniper	#03	Potted	0.3m x 1.8m
oga	54	*Mahonia Aquifolium*	Oregon grape	#01	Potted	2m x 1.25m
mrc	85	Mahonia Repens	Creeping Oregon Grape	#02	Potted	0.3m x 0.75m
mlk	279	*Miscanthus Little Kitten*	Chinese Silver Grass	#01	Potted	0.9m x 0.6m
pmh	15	Philadelphus 'Manteau d'Hermine'	Mock Orange	#05	Potted	0.9m x 1.2m
pms	75	*Pinus Mugo 'slowmound'*	Slowmound Mugo Pine	#05	Potted	0.6m x 1m
rag	52	*Rhus aromatica 'Gro-Low'*	Aromatic Sumac, Fragrant Sumac	#02	Potted	0.6m x 1.8m
rrf	17	*Rosa rugosa frau dagmar nastrup*	Fru Dagmar Hastrup Rose	#01	Potted	1.5m x 1.5m
rwk	37	*Rosa woodsii 'Kimberley'*	Western Wild Rose	#02	Potted	1.5m x 1.5m
rfs	41	*Rudebeckia fulgida var. sullivantii 'little*	Black-eyed Susan	#01	Potted	0.3m x 0.3m
spi	16	Salvia patensis 'Indigo'	Blue Meadow Sage	#01	Potted	0.8m x 0.6m
bss	139	Salvia Sensation 'Sky Blue'	Sensation Sky Blue Meadow Sage	#01	Potted	0.3m x 0.4m
saa	179	Sesleria autumnalis	Autumn Moor Grass	#01	Potted	0.6m x 0.6m
spb	81	Spiraea betulifolia	Birchleaf Spirea	#01	Potted	0.9m x 0.9m
svm	1	Syringa vulgaris 'Madame Lemoine'	Lilac madame lemoine	#03	Potted	3m x 3m

SCHEDULE C
This forms part of application
DP25-0094
Planner Initials JK
City of Kelowna
COMMUNITY PLANNING

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SCALE 1:200

ISSUE:				REVISION:			
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PROJECT NUMBER: CA0005569.2339

CLIENT: WILDEN OLIVE PONDS

CLIENT REF. #: --

TITLE: PLANTING PLAN 3/4

PROJECT: WILDEN OLIVE PONDS

DRAWING NUMBER: L302

REV. 8A

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PLANTING LEGEND

- RESTORATION PLANTING AS PER ENVIRONMENTAL CONSULTANT
- SEEDED NATIVE PLANTING
- LAWN

PLANT LIST

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PROJECT NUMBER: CA0005569.2339

CLIENT: WILDEN OLIVE PONDS

CLIENT REF. #: --

TITLE: PLANTING PLAN 4/4

PROJECT: WILDEN OLIVE PONDS

DRAWING NUMBER: L303

REV. 8A

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GENERAL LEGEND

LIMIT OF WORK

PROPERTY LINE

HYDROZONE LEGEND

LOW WATER REQUIREMENTS

HIGH WATER REQUIREMENTS

SCHEDULE C
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PROJECT NUMBER: CA0005569.2339

CLIENT: WILDEN OLIVE PONDS

CLIENT REF. #: --

TITLE: HYDROZONE PLAN

PROJECT: WILDEN OLIVE PONDS

DRAWING NUMBER: L304

REV. 8A

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE *(1 is least complying & 5 is highly complying)*	**N/A**	**1**	**2**	**3**	**4**	**5**
2.1 General residential & mixed use guidelines						
2.1.1 Relationship to the Street	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.						✓
b. On corner sites, orient building facades and entries to both fronting streets.	✓					
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.						✓
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.						✓
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.						✓
f. Avoid blank, windowless walls along streets or other public open spaces.						✓
g. Avoid the use of roll down panels and/or window bars on retail and commercial frontages that face streets or other public open spaces.	✓					
h. In general, establish a street wall along public street frontages to create a building height to street width ration of 1:2, with a minimum ration of 11:3 and a maximum ration of 1:1.75. • Wider streets (e.g. transit corridors) can support greater streetwall heights compared to narrower streets (e.g. local streets); • The street wall does not include upper storeys that are setback from the primary frontage; and • A 1:1 building height to street width ration is appropriate for a lane of mid-block connection condition provided the street wall height is no greater than 3 storeys.	✓					
2.1.2 Scale and Massing	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.						✓
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.	✓					
c. Step back the upper storeys of buildings and arrange the massing and siting of buildings to: • Minimize the shadowing on adjacent buildings as well as public and open spaces such as sidewalks, plazas, and courtyards; and • Allow for sunlight onto outdoor spaces of the majority of ground floor units during the winter solstice.	✓					

2.1.3 Site Planning	N/A	1	2	3	4	5
a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.						✓
b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.						✓
c. Limit the maximum grades on development sites to 30% (3:1)						✓
d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: • Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible; • Incorporating terracing to create usable open spaces around the building • Using the slope for under-building parking and to screen service and utility areas; • Design buildings to access key views; and • Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped).						✓
e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planed future public street, bicycle, and/or pedestrian network.						✓
f. Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks.	✓					
g. Apply universal accessibility principles to primary building entries, sidewalks, plazas, mid-block connections, lanes, and courtyards through appropriate selection of materials, stairs, and ramps as necessary, and the provision of wayfinding and lighting elements.						✓
2.1.4 Site Servicing, Access, and Parking	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view.						✓
b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.						✓
c. Avoid locating off-street parking between the front façade of a building and the fronting public street.						✓
d. In general, accommodate off-street parking in one of the following ways, in order of preference: • Underground (where the high water table allows) • Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage);						✓

• Garages or at-grade parking integrated into the building (located at the rear of the building); and • Surface parking at the rear, with access from the lane or secondary street wherever possible.						
e. Design parking areas to maximize rainwater infiltration through the use of permeable materials such as paving blocks, permeable concrete, or driveway planting strips.	✓					
f. In cases where publicly visible parking is unavoidable, screen using strategies such as: • Landscaping; • Trellises; • Grillwork with climbing vines; or • Other attractive screening with some visual permeability.	✓					
g. Provide bicycle parking at accessible locations on site, including: • Covered short-term parking in highly visible locations, such as near primary building entrances; and • Secure long-term parking within the building or vehicular parking area.	✓					
h. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.						
i. Consolidate driveway and laneway access points to minimize curb cuts and impacts on the pedestrian realm or common open spaces.						✓
j. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping.	✓					
2.1.5 Streetscapes, Landscapes, and Public Realm Design	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Site buildings to protect mature trees, significant vegetation, and ecological features.						✓
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.						✓
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.						✓
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.						✓
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: • Locating outdoor spaces where they will receive ample sunlight throughout the year; • Using materials and colors that minimize heat absorption; • Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and • Using building mass, trees and planting to buffer wind.						✓
f. Use landscaping materials that soften development and enhance the public realm.						✓

g.	Plant native and/or drought tolerant trees and plants suitable for the local climate.						✓
h.	Select trees for long-term durability, climate and soil suitability, and compatibility with the site's specific urban conditions.						✓
i.	Design sites and landscapes to maintain the pre-development flows through capture, infiltration, and filtration strategies, such as the use of rain gardens and permeable surfacing.						✓
j.	Employ on-site wayfinding strategies that create attractive and appropriate signage for pedestrians, cyclists, and motorists using a 'family' of similar elements.	✓					
2.1.6 Building Articulation, Features and Materials		**N/A**	**1**	**2**	**3**	**4**	**5**
a.	Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: • Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks; • Repeating window patterns on each step-back and extension interval; • Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval.						✓
b.	Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs. Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters; ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.						✓
c.	Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.						✓
d.	Design buildings such that their form and architectural character reflect the buildings internal function and use.						✓
e.	Provide weather protection such as awnings and canopies at primary building entries.					✓	
f.	Place weather protection to reflect the building's architecture.						✓
g.	Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.						
h.	Provide visible signage identifying building addresses at all entrances.						✓

SECTION 4.0: LOW & MID-RISE RESIDENTIAL MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE *(1 is least complying & 5 is highly complying)*	**N/A**	**1**	**2**	**3**	**4**	**5**
4.1 Low & mid-rise residential & mixed use guidelines						
4.1.1 Relationship to the Street	**N/A**	**1**	**2**	**3**	**4**	**5**
i. Ensure lobbies and main building entries are clearly visible from the fronting street.						✓
j. Avoid blank walls at grade wherever possible by: • Locating enclosed parking garages away from street frontages or public open spaces; • Using ground-oriented units or glazing to avoid creating dead frontages; and • When unavoidable, screen blank walls with landscaping or incorporate a patio café or special materials to make them more visually interesting.						✓
Residential & Mixed Use Buildings						
k. Set back residential buildings on the ground floor between 3-5 m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio. • A maximum 1.2 m height (e.g. 5-6 steps) is desired for front entryways. • Exceptions can be made in cases where the water table requires this to be higher. In these cases, provide a larger patio and screen parking with ramps, stairs and landscaping.						✓
l. Incorporate individual entrances to ground floor units accessible from the fronting street or public open spaces.						✓
m. Site and orient buildings so that windows and balconies overlook public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.						✓
4.1.2 Scale and Massing	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Residential building facades should have a maximum length of 60 m. A length of 40 m is preferred.						✓
b. Residential buildings should have a maximum width of 24 m.						✓
c. Buildings over 40 m in length should incorporate a significant horizontal and vertical break in the façade.	✓					
d. For commercial facades, incorporate a significant break at intervals of approximately 35 m.	✓					
4.1.3 Site Planning	**N/A**	**1**	**2**	**3**	**4**	**5**
a. On sloping sites, floor levels should step to follow natural grade and avoid the creation of blank walls.						✓
b. Site buildings to be parallel to the street and to have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior court yards:						✓

• Building sides that interface with streets, mid-block connections and other open spaces and should positively frame and activate streets and open spaces and support pedestrian activity; and • Building sides that are located away from open spaces (building backs) should be designed for private/shared outdoor spaces and vehicle access.						
c. Break up large buildings with mid-block connections which should be publicly-accessible wherever possible.	✓					
d. Ground floors adjacent to mid-block connections should have entrances and windows facing the mid-block connection.	✓					
4.1.4 Site Servicing, Access and Parking	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Vehicular access should be from the lane. Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access may be provided from the street, provided: • Access is from a secondary street, where possible, or from the long face of the block; • Impacts on pedestrians and the streetscape is minimised; and • There is no more than one curb cut per property.						✓
b. Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms and should be screened from public view with active retail uses, active residential uses, architectural or landscaped screening elements.	✓					
c. Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations: • Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and • Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized.	✓					
4.1.5 Publicly-Accessible and Private Open Spaces	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Integrate publicly accessible private spaces (e.g. private courtyards accessible and available to the public) with public open areas to create seamless, contiguous spaces.	✓					
b. Locate semi-private open spaces to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.	✓					
Outdoor amenity areas						
c. Design plazas and urban parks to: • Contain 'three edges' (e.g. building frontage on three sides) where possible and be sized to accommodate a variety of activites; • Be animated with active uses at the ground level; and • Be located in sunny, south facing areas.	✓					
d. Design internal courtyards to:	✓					

• Provide amenities such as play areas, barbecues, and outdoor seating where appropriate. • Provide a balance of hardscape and softscape areas to meet the specific needs of surrounding residents and/or users.						
e. Design mid-block connections to include active frontages, seating and landscaping.	✓					
4.1.6 Building Articulation, Features, and Materials	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20 m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance and include: • Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the façade; • Repeating window pattern intervals that correspond to extensions and step backs (articulation) in the building façade; • Providing a porch, patio, deck, or covered entry for each interval; • Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance; • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval; • Changing the materials with the change in building plane; and • Provide a lighting fixture, trellis, tree or other landscape feature within each interval.						✓
b. Break up the building mass by incorporating elements that define a building's base, middle and top.						✓
c. Use an integrated, consistent range of materials and colors and provide variety, by for example, using accent colors.						✓
d. Articulate the façade using design elements that are inherent to the buildings as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.						✓
e. Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows, and adding awnings or canopies.	✓					
f. Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas with particular attention to the following locations: • Primary building entrances;, • Adjacent to bus zones and street corners where people wait for traffic lights; • Over store fronts and display windows; and • Any other areas where significant waiting or browsing by people occurs.						✓

g.	Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.						✓
h.	Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern.						✓
i.	Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length of facades.						✓
j.	Provide attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw.	✓					
k.	Avoid the following types of signage: • Internally lit plastic box signs; • Pylon (stand alone) signs; and • Rooftop signs.	✓					
l.	Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.	✓					