Development Permit

DP23-0232

This permit relates to land in the City of Kelowna municipally known as

1531 Bernard Ave

and legally known as

Parcel Z Section 20 Township 26 ODYD Plan 3604 Except Plan EPP138640

and permits the land to be used for the following development:

Apartment Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Approval:	**June 9, 2025**
Development Permit Area:	Form and Character
Existing Zone:	MF3r – Apartment Housing zone rental only
Future Land Use Designation:	C-NHD – Core Area Neighbourhood

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner:	Orchard City Abbeyfield Society, Inc. No. S0030415
Applicant:	Novation Architecture

Nola Kilmartin
Development Planning Department Manager
Planning & Development Services

Date of Issuance

ATTACHMENT A
This forms part of application
DP23-0232
Planner Initials JI
City of Kelowna
DEVELOPMENT PLANNING

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP23-0232 for Parcel Z Section 20 Township 26 ODYD Plan 3604 Except Plan EPP138640 located at 1531 Bernard Ave, Kelowna, BC, subject to the following:

a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";

b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";

c) Landscaping to be provided on the land be in accordance with Schedule "C";

d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect.

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **$87,750**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

ATTACHMENT A
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DP23-0232
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City of Kelowna
DEVELOPMENT PLANNING

The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the Landscape Agreement or their designates.

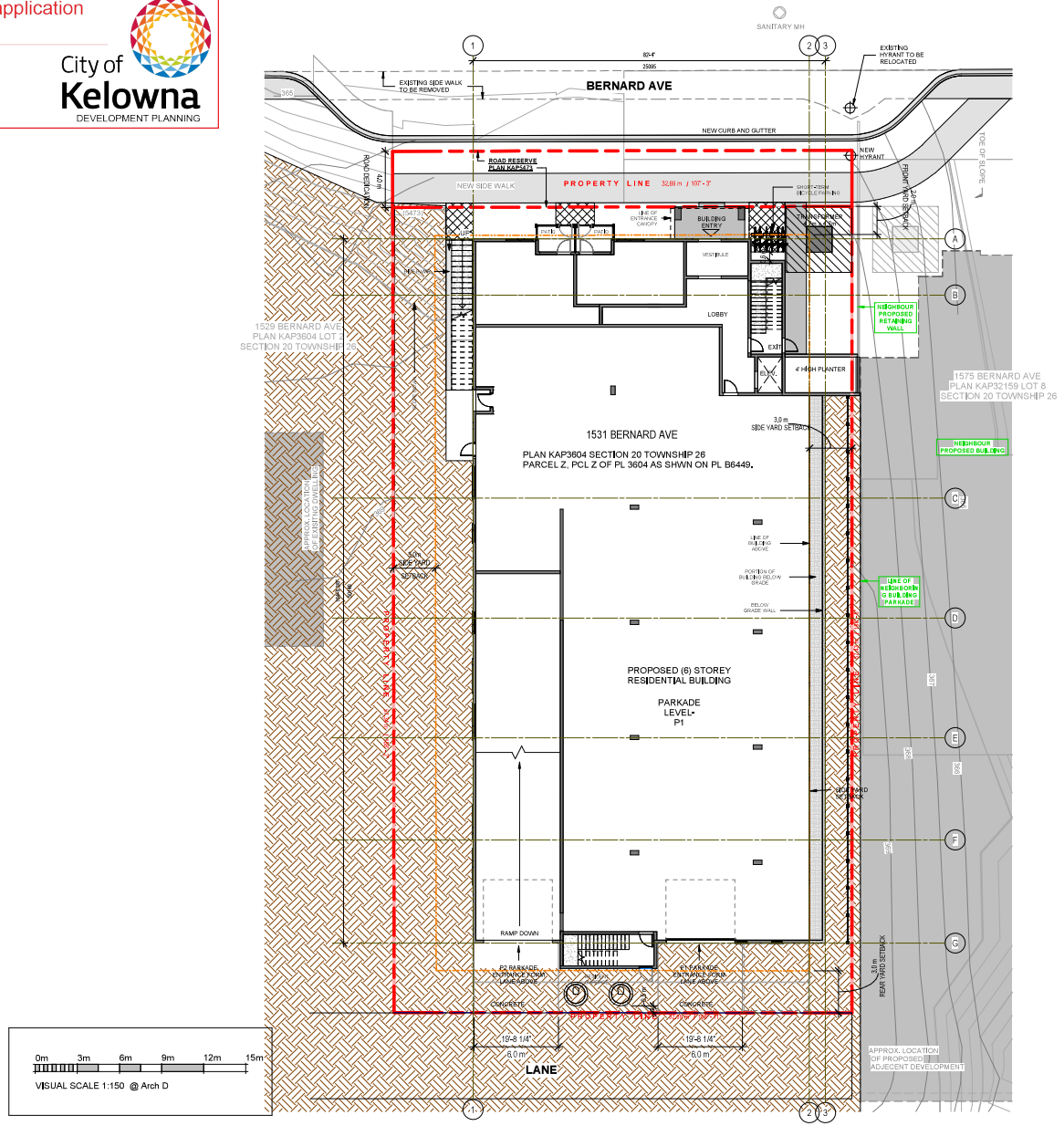
SCHEDULE A

This forms part of application

DP23-0232

Planner Initials JI

City of Kelowna
DEVELOPMENT PLANNING



1 OVERALL SITE PLAN
1 : 150

Notes:

All drawings shall be read in conjunction with specifications and consultant details.

All work shall be carried out in accordance with Canadian standards, specifications, BC Building Code (2018 edition) and local authority bylaws and requirements.

Tabulated scales refer to Arch D size drawings sheet.

This drawing must not be scaled.

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Seal

2025-04-11

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B	2023-10-07	RE-ISSUED FOR DEVELOPMENT PERMIT
A	2023-09-07	ISSUED FOR DEVELOPMENT PERMIT

Revisions

NOVATION ARCHITECTURE LTD
302 - 2237 LECKIE ROAD
KELOWNA BC V1X 6Y5

project title
BERNARD AVE
1531 Bernard Ave, Kelowna, BC
PLAN KAP3604 SECTION 20 TOWNSHIP 26
PARCEL Z, PCL Z OF PL 3604 AS SHWN ON PL B6449.

project no. 23015

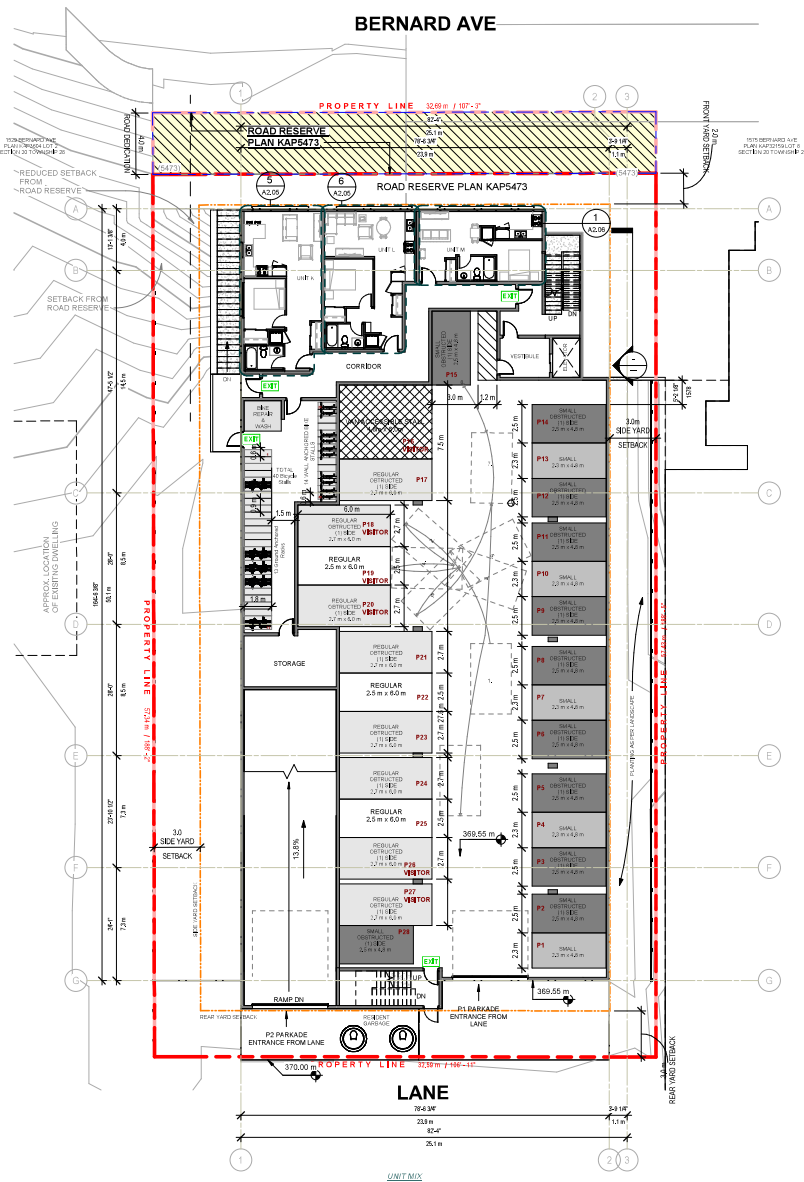
drawing title
OVERALL SITE PLAN

designed	PS	scale 1 : 150
drawn	IP	
checked	PS	

drawing no.
A1.00

plotted 4/11/2025 11:20:25 AM

Project File Name and Location:

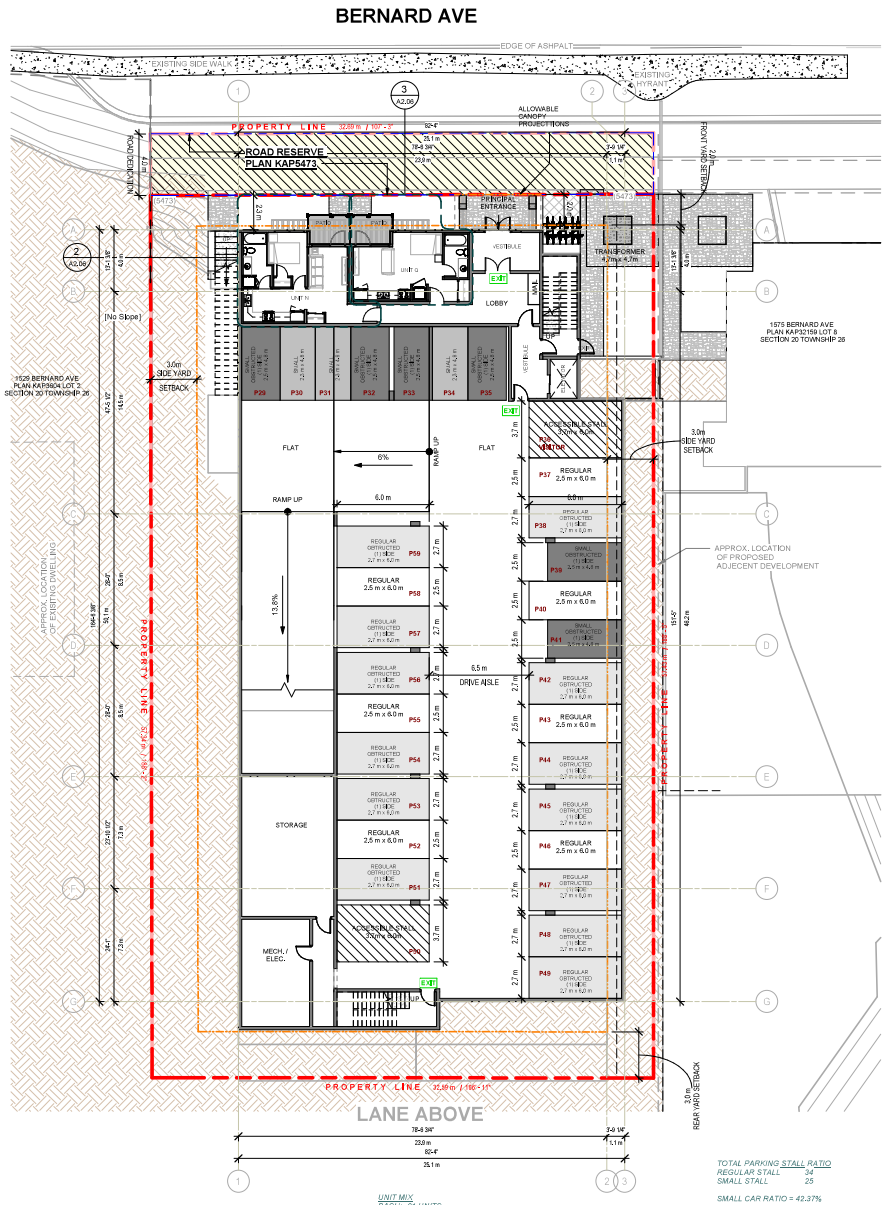


2 FLOOR PLAN - LEVEL 2 (P1)

1 : 150

UNIT MIX
BACH: 01 UNITS
1 BDR: 02 UNITS
2+BDR: 00 UNITS
TOTAL: 03 UNITS

TOTAL LEVEL 2 (P1) LIVING AREA (FOR FAR CALCULATION): 1525 SF
BUILDING FOOTPRINT AREA (FOR COVERAGE CALCULATION): 12817 SF
IMPERMEABLE SURFACE AREA (FOR COVERAGE CALCULATION): 3615 SF
BACHELOR: (UNIT M) 387 SF
ONE BEDROOM: (UNIT L) 519 SF
ONE BEDROOM: (UNIT K) 544 SF



1 FLOOR PLAN - LEVEL 1 (P2)

1 : 150

UNIT MIX
BACH: 01 UNITS
1 BDR: 01 UNITS
2+BDR: 00 UNITS
TOTAL: 02 UNITS

TOTAL LEVEL 1 (P2) LIVING AREA (FOR FAR CALCULATION): 877 SF
PRIVATE OPEN SPACE AT LEVEL 1(P2)
BACHELOR: (UNIT O) 353 SF
ONE BEDROOM: (UNIT N) 451 SF
TWO + BEDROOM: 000 SF

TOTAL PARKING STALL RATIO
REGULAR STALL 34
SMALL STALL 25
SMALL CAR RATIO = 42.37%

0m 3m 6m 9m 12m 15m
VISUAL SCALE 1:150 @ Arch D

SCHEDULE A

This forms part of application
DP23-0232

Planner Initials JI

City of Kelowna
DEVELOPMENT PLANNING

Project File Name and Location:

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Revisions

NOVATION ARCHITECTURE LTD
302 - 2237 LECKIE ROAD
KELOWNA BC V1X 6Y5

project title
BERNARD AVE
1531 Bernard Ave, Kelowna, BC
PLAN KAP3604 SECTION 20 TOWNSHIP 26
PARCEL Z, PCL Z OF PL 3604 AS SHWN ON PL B6449.

project no. 23015

drawing title
PARKADE PLANS

designed PS scale 1 : 150
drawn IP
checked PS

drawing no. A2.01

plotted 4/11/2025 11:29:38 AM

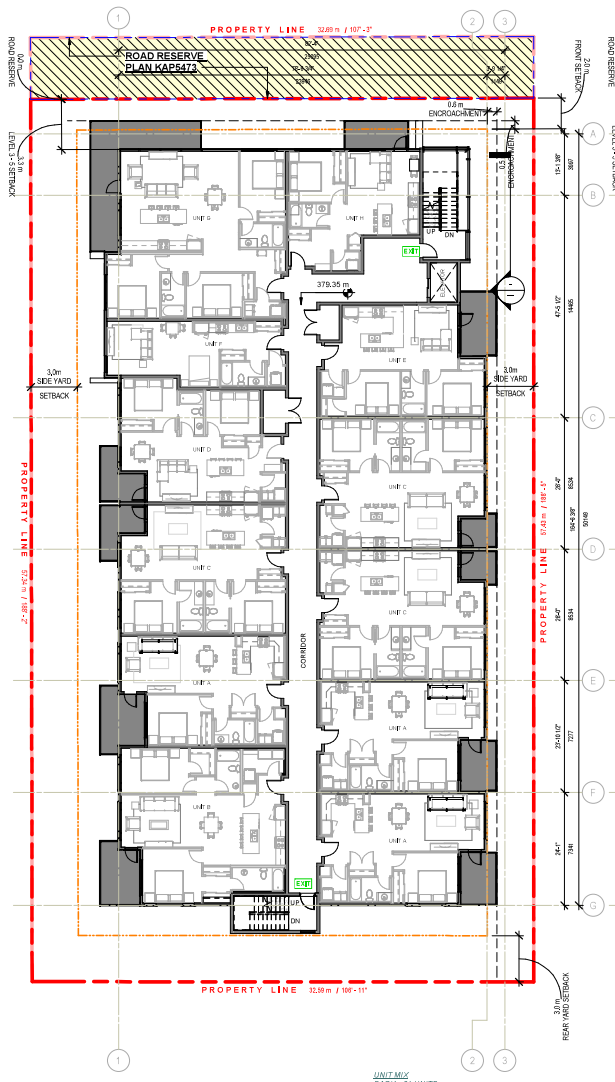
SCHEDULE A

This forms part of application

DP23-0232

Planner Initials JI

City of Kelowna
DEVELOPMENT PLANNING

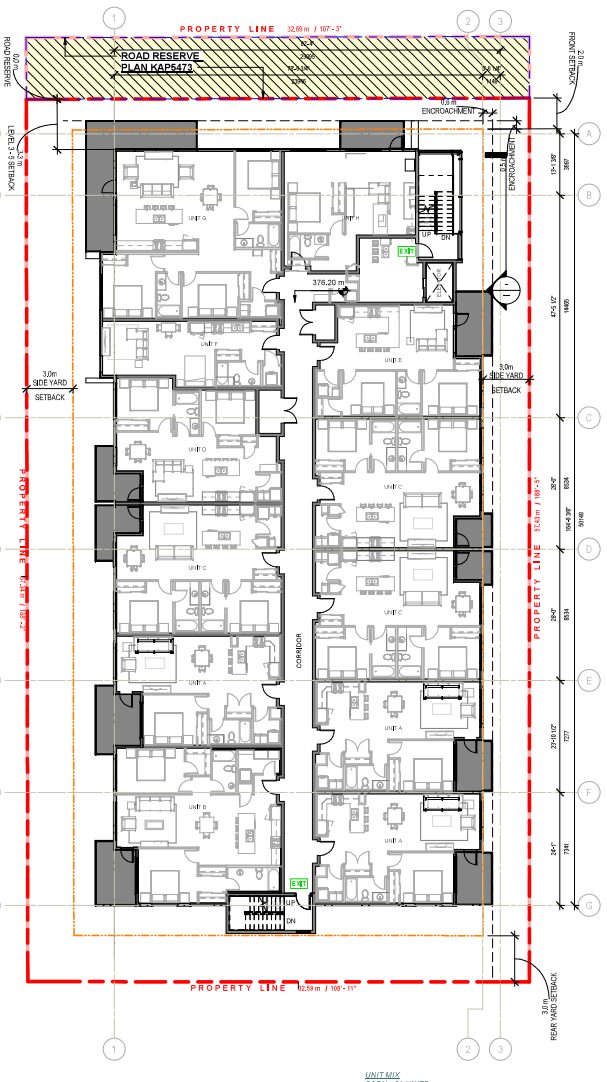


3 FLOOR PLAN - LEVEL 5

1 : 150

UNIT MIX
BACH: 01 UNITS
1 BDR: 04 UNITS
2+BDR: 07 UNITS
TOTAL: 12 UNITS

TOTAL LEVEL 5 LIVING AREA (FOR FAR CALCULATION): 10237 SF
PRIVATE OPEN SPACE AT LEVEL 4

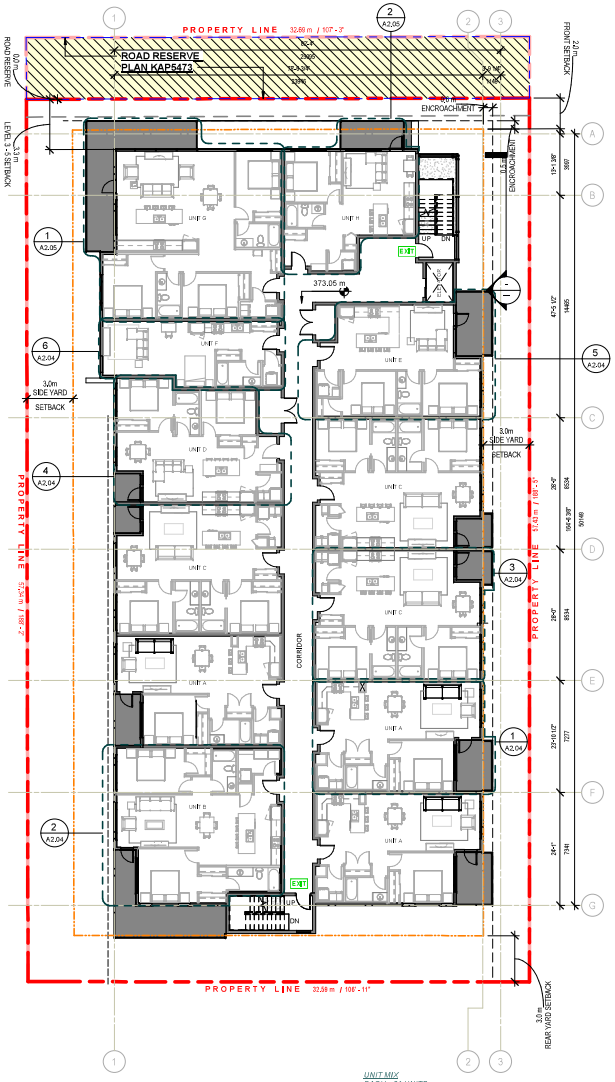


2 FLOOR PLAN - LEVEL 4

1 : 150

UNIT MIX
BACH: 01 UNITS
1 BDR: 04 UNITS
2+BDR: 07 UNITS
TOTAL: 12 UNITS

TOTAL LEVEL 4 LIVING AREA (FOR FAR CALCULATION): 10237 SF
PRIVATE OPEN SPACE AT LEVEL 4



1 FLOOR PLAN - LEVEL 3

1 : 150

UNIT MIX
BACH: 01 UNITS
1 BDR: 04 UNITS
2+BDR: 07 UNITS
TOTAL: 12 UNITS

TOTAL LEVEL 3 LIVING AREA (FOR FAR CALCULATION): 10237 SF
PRIVATE OPEN SPACE AT LEVEL 3

Notes:

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Revisions

NOVATION ARCHITECTURE LTD
302 - 2237 LECKIE ROAD
KELOWNA BC V1X 6Y5

project title
BERNARD AVE

1531 Bernard Ave, Kelowna, BC
PLAN KAP3604 SECTION 20 TOWNSHIP 26
PARCEL Z, PCL Z OF PL 3604 AS SHWN ON PL B6449.

project no. 23015

drawing title
FLOOR PLANS - LEVEL 3-5

designed	PS	scale 1 : 150
drawn	IP	
checked	PS	

drawing no.
A2.02

plotted 4/11/2025 11:38:04 AM

Project File Name and Location:

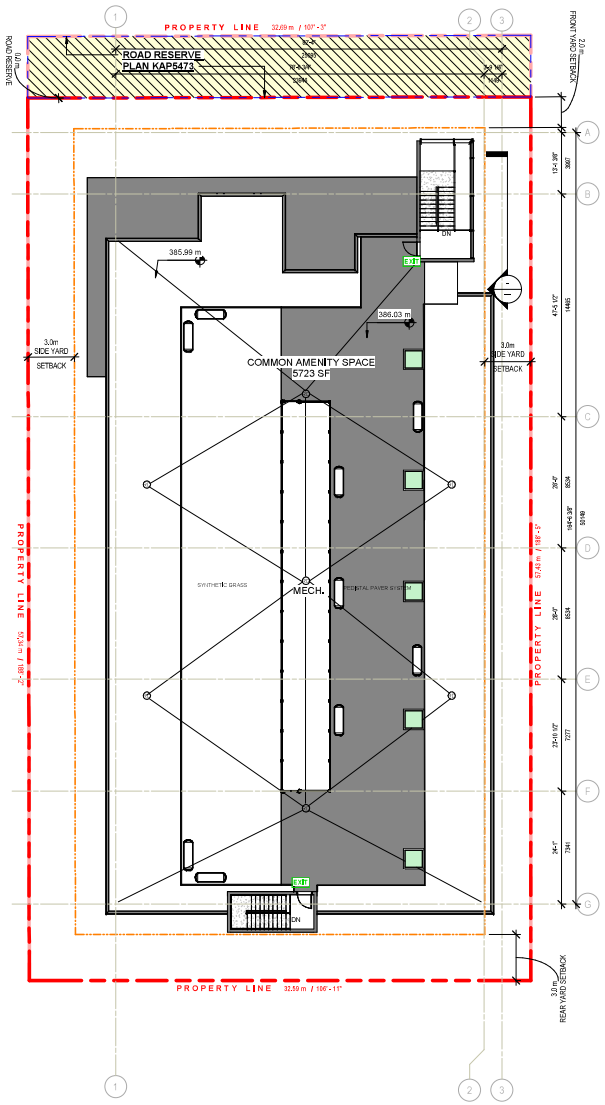
SCHEDULE A

This forms part of application

DP23-0232

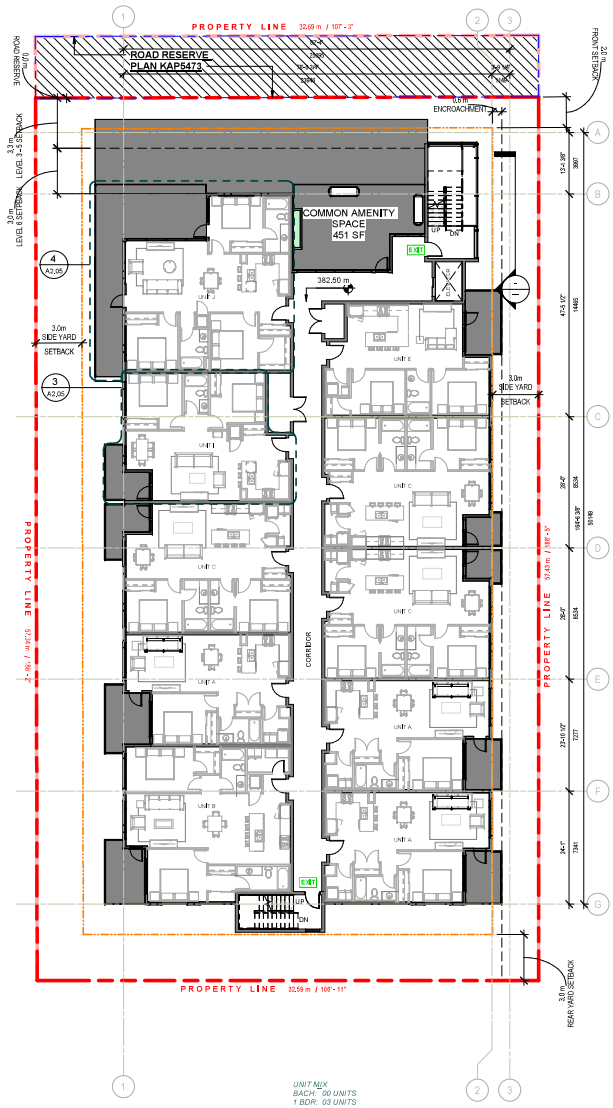
City of Kelowna
DEVELOPMENT PLANNING

Planner Initials JI



2 ROOF PLAN
1 : 150

COMMON AMENITY: 5723 SF



1 FLOOR PLAN - LEVEL 6
1 : 150

UNIT MIX
BACH: 00 UNITS
1 BDR: 03 UNITS
2+BDR: 07 UNITS
TOTAL: 10 UNITS

TOTAL LEVEL 6 LIVING AREA (FOR FAR CALCULATION): 9062 SF
PRIVATE OPEN SPACE AT LEVEL 4

COMMON AMENITY: 451 SF

Notes:

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Seal

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A	2023-09-07	ISSUED FOR DEVELOPMENT PERMIT

Revisions

NOVATION ARCHITECTURE LTD
302 - 2237 LECKIE ROAD
KELOWNA BC V1X 6Y5

project title
BERNARD AVE

1531 Bernard Ave, Kelowna, BC
PLAN KAP3604 SECTION 20 TOWNSHIP 26
PARCEL Z, PCL Z OF PL 3604 AS SHWN ON PL B6449.

project no. 23015

drawing title
FLOOR PLANS - LEVEL 6 & ROOF

designed	PS	scale	1 : 150
drawn	IP		
checked	PS		

drawing no.
A2.03

plotted 4/11/2025 11:30:14 AM

Project File Name and Location:

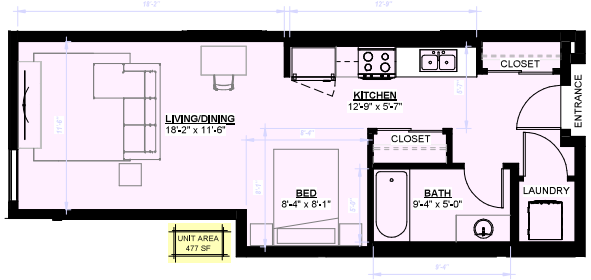
SCHEDULE A

This forms part of application

DP23-0232

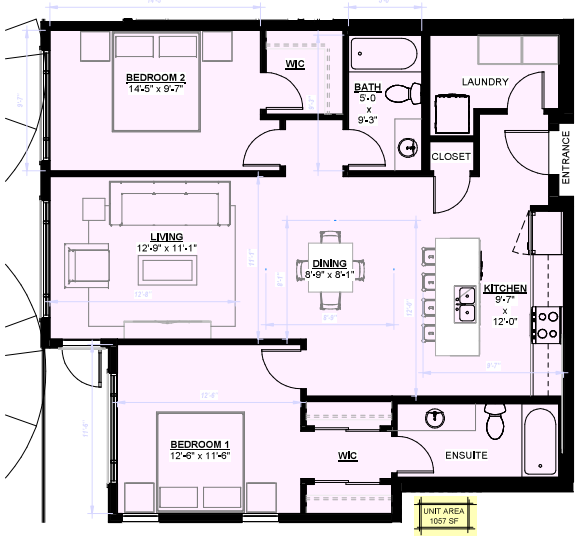
Planner Initials JI

City of Kelowna
DEVELOPMENT PLANNING



6 UNIT F
1/4" = 1'-0"

4 UNIT D
1/4" = 1'-0"



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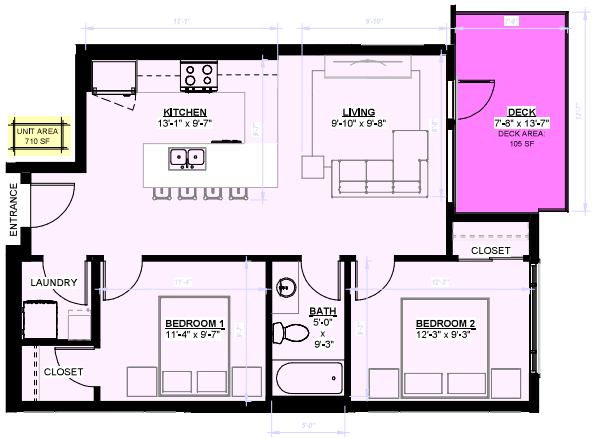

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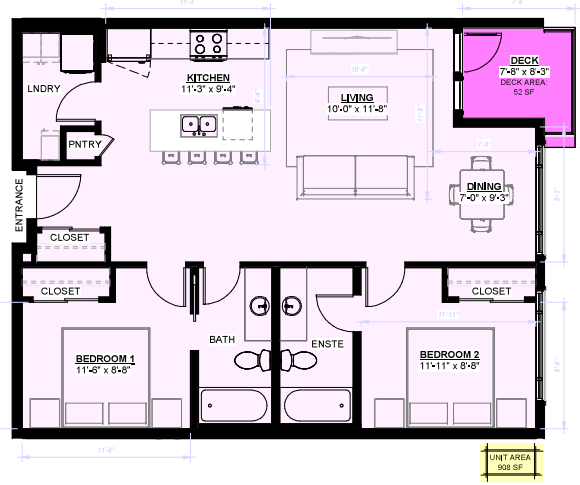

3 UNIT C
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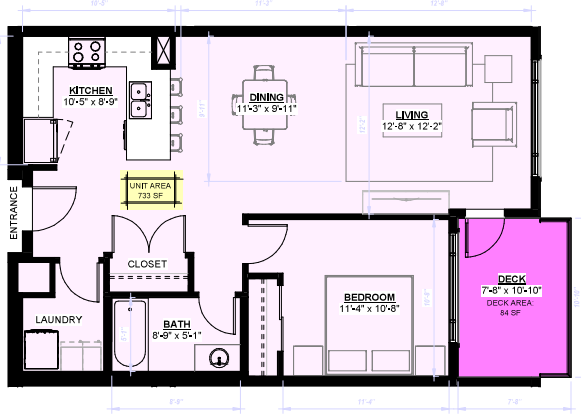

1 UNIT A
1/4" = 1'-0"

Project File Name and Location: C:\Users\Lenovo\Documents\Bernard_BLDG_Central_R24_R1_inderRTWZW.rvt

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Revisions

NOVATION ARCHITECTURE LTD.
302 - 2237 LECKIE ROAD
KELOWNA B.C. V1X 6Y5

project title
BERNARD AVE
1531 Bernard Ave, Kelowna, BC
PLAN KAP3604 SECTION 20 TOWNSHIP 26 PARCEL Z, PCL Z OF PL 3604 AS SHWN ON PL B6449.

project no. 23015

drawing title
UNIT PLANS

designed	PS	scale 1/4" = 1'-0"
drawn	IP	
checked	PS	

drawing no.
A2.04

plotted 4/11/2025 11:30:19 AM

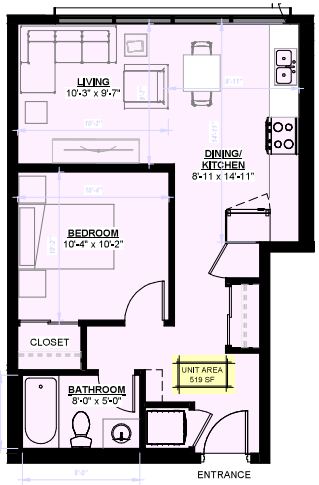
SCHEDULE A

This forms part of application

DP23-0232

Planner Initials JI

City of Kelowna
DEVELOPMENT PLANNING



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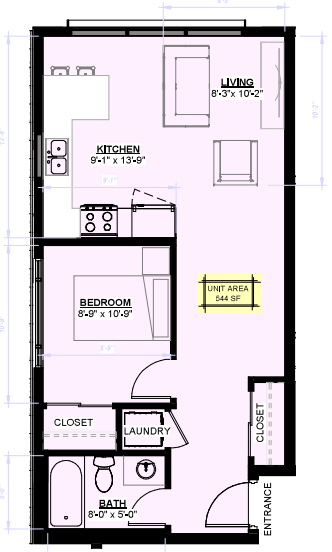
4 UNIT J
1/4" = 1'-0"

2 UNIT H
1/4" = 1'-0"



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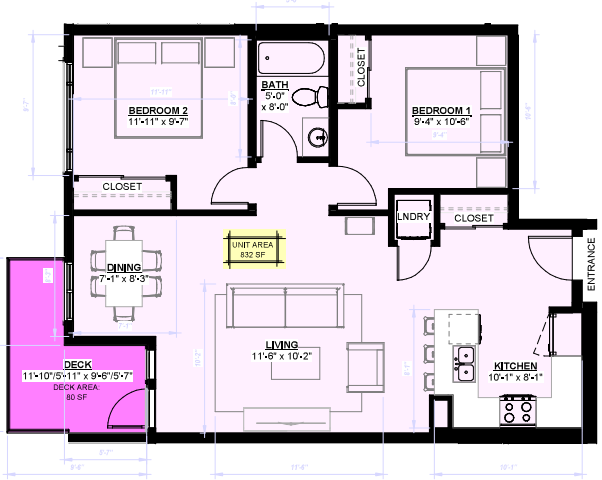

3 UNIT I
1/4" = 1'-0"

1 UNIT G
1/4" = 1'-0"

Project File Name and Location: C:\Users\Lenovo\Documents\Bernard_BLDG_Central_R24_R1_inderRTWZW.rvt

Seal

ARCHITECTURAL ASSOCIATION OF BRITISH COLUMBIA

2025-04-11

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B	2023-10-07	RE-ISSUED FOR DEVELOPMENT PERMIT
A	2023-09-07	ISSUED FOR DEVELOPMENT PERMIT

Revisions

NOVATION ARCHITECTURE LTD.
302 - 2237 LECKIE ROAD
KELOWNA BC V1X 6Y5

project title
BERNARD AVE
1531 Bernard Ave, Kelowna, BC
PLAN KAP3604 SECTION 20 TOWNSHIP 26
PARCEL Z, PCL Z OF PL 3604 AS SHWN ON PL B6449.

project no. 23015

drawing title
UNIT PLANS

designed	PS	scale 1/4" = 1'-0"
drawn	IP	
checked	PS	

drawing no.
A2.05

plotted 4/11/2025 11:30:25 AM

SCHEDULE A

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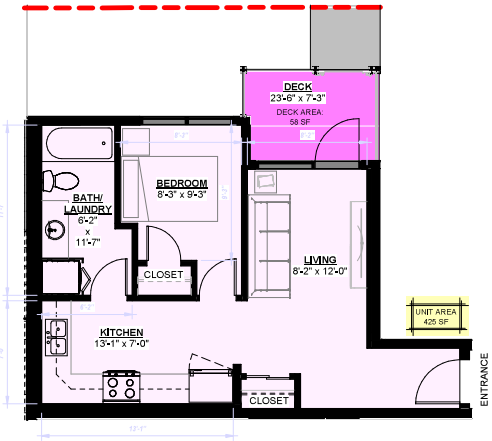
DP23-0232

Planner Initials JI

City of Kelowna
DEVELOPMENT PLANNING



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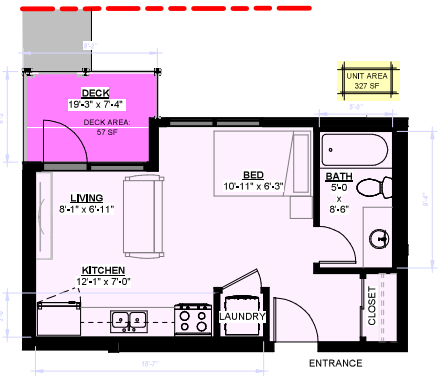

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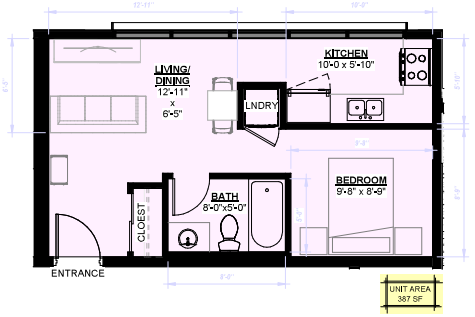
1/4" = 1'-0"



1 UNIT M
1/4" = 1'-0"

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Seal

2025-04-11

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No.	Date	Description
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C	2024-02-23	RE-ISSUED FOR DEVELOPMENT PERMIT
B	2023-12-07	RE-ISSUED FOR DEVELOPMENT PERMIT
A	2023-09-07	ISSUED FOR DEVELOPMENT PERMIT

Revisions

NOVATION ARCHITECTURE LTD.
302 - 2237 LECKIE ROAD
KELOWNA B.C. V1X 6Y5

project title
BERNARD AVE
1531 Bernard Ave, Kelowna, BC
PLAN KAP3604 SECTION 20 TOWNSHIP 26 PARCEL Z, PCL Z OF PL 3604 AS SHWN ON PL B6449.

project no. 23015

drawing title
UNIT PLANS

designed	PS	scale 1/4" = 1'-0"
drawn	IP	
checked	PS	

drawing no.
A2.06

plotted 4/11/2025 11:30:29 AM

Project File Name and Location: C:\Users\Lenovo\Documents\Bernard_BLDG_Central_R24_R1_inderRTWZW.rvt

SCHEDULE B

This forms part of application

DP23-0232

Planner Initials JI

City of Kelowna
DEVELOPMENT PLANNING

2 NORTH ELEVATION - COLOUR
SCALE: 1/8" = 1'-0"

KEYNOTE LEGEND

KEY	DESCRIPTION
1	BLACK - METAL FASCIA, FLASHINGS, RAILINGS
2	BLACK - WINDOW FRAME
3	CLEAR - GLASS
4	WHITE - BRICK VENEER
5	WHITE - FIBER CEMENT PANEL C/W REVEALS
6	WHITE - VERTICAL LAP SIDING
7	KONA - LUX SIDING & SOFFIT
8	EXPOSED CONCRETE
9	BLACK - SLEEK FENCE SCREENING

Notes:

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Seal

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B	2023-10-07	RE-ISSUED FOR DEVELOPMENT PERMIT
A	2023-09-07	ISSUED FOR DEVELOPMENT PERMIT

Revisions

NOVATION ARCHITECTURE LTD
302 - 2237 LECKIE ROAD
KELOWNA BC V1X 6Y5

project title
BERNARD AVE

1531 Bernard Ave, Kelowna, BC
PLAN KAP3604 SECTION 20 TOWNSHIP 26
PARCEL Z, PCL Z OF PL 3604 AS SHWN ON PL B6449.

project no.: 23015

drawing title
EXTERIOR ELEVATION - NORTH

designed	PS	scale	1/8" = 1'-0"
drawn	IP		
checked	PS		

drawing no.
A3.00

plotted 4/11/2025 11:31:47 AM

Project File Name and Location:

SCHEDULE B

This forms part of application

DP23-0232

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials JI

1 EAST ELEVATION - COLOUR
SCALE: 1/8" = 1'-0"

KEYNOTE LEGEND

KEY	DESCRIPTION
1	BLACK - METAL FASCIA, FLASHINGS, RAILINGS
2	BLACK - WINDOW FRAME
3	CLEAR - GLASS
4	WHITE - BRICK VENEER
5	WHITE - FIBER CEMENT PANEL C/W REVEALS
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A	2023-09-07	ISSUED FOR DEVELOPMENT PERMIT

Revisions

NOVATION ARCHITECTURE LTD
302 - 2237 LECKIE ROAD
KELOWNA BC V1X 6Y5

project title
BERNARD AVE

1531 Bernard Ave, Kelowna, BC
PLAN KAP3604 SECTION 20 TOWNSHIP 26
PARCEL Z, PCL Z OF PL 3604 AS SHWN ON PL B6449.

project no.: 23015

drawing title
EXTERIOR ELEVATION - EAST

designed	PS	scale 1/8" = 1'-0"
drawn	IP	
checked	PS	

drawing no.
A3.01

plotted 4/11/2025 11:33:53 AM

Project File Name and Location:

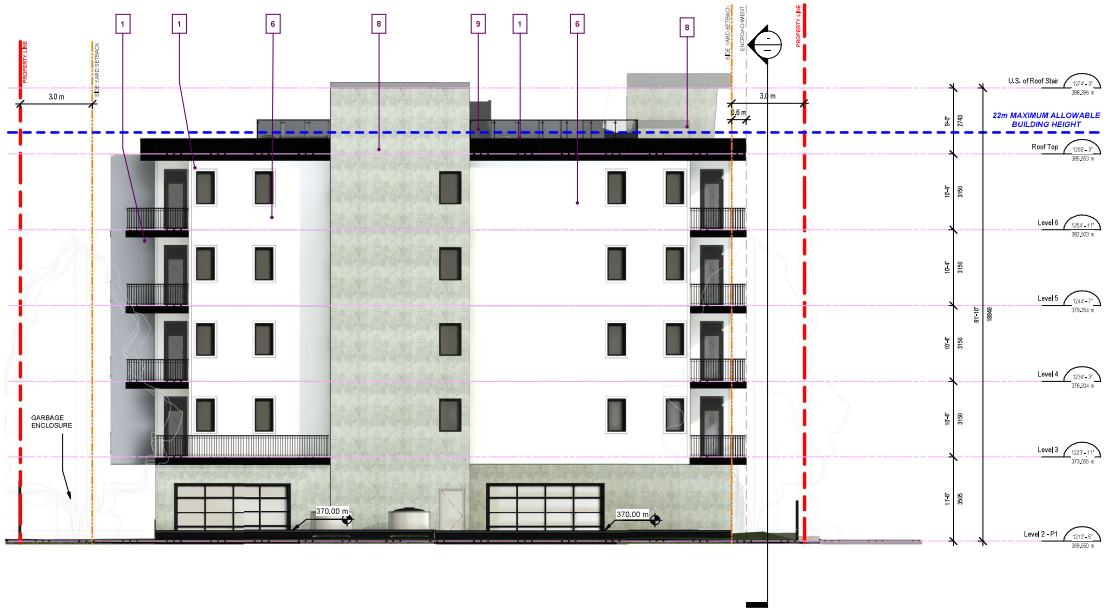
SCHEDULE B

This forms part of application

DP23-0232

Planner Initials JI

City of Kelowna
DEVELOPMENT PLANNING



2 SOUTH ELEVATION - COLOUR
SCALE: 1/8" = 1'-0"

KEYNOTE LEGEND

KEY	DESCRIPTION
1	BLACK - METAL FASCIA, FLASHINGS, RAILINGS
2	BLACK - WINDOW FRAME
3	CLEAR - GLASS
4	WHITE - BRICK VENEER
5	WHITE - FIBER CEMENT PANEL C/W REVEALS
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8	EXPOSED CONCRETE
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A	2023-09-07	ISSUED FOR DEVELOPMENT PERMIT

Revisions

NOVATION ARCHITECTURE LTD
302 - 2237 LECKIE ROAD
KELOWNA BC V1X 6Y5

project title
BERNARD AVE

1531 Bernard Ave, Kelowna, BC
PLAN KAP3604 SECTION 20 TOWNSHIP 26
PARCEL Z, PCL Z OF PL 3604 AS SHWN ON PL B6449.

project no. 23015

drawing title
EXTERIOR ELEVATION - SOUTH

designed	PS	scale	1/8" = 1'-0"
drawn	IP		
checked	PS		

drawing no.
A3.02

plotted 4/11/2025 11:35:15 AM

Project File Name and Location:

1 WEST ELEVATION - COLOUR
SCALE: 1/8" = 1'-0"

SCHEDULE B

This forms part of application
DP23-0232

Planner Initials JI

City of Kelowna
DEVELOPMENT PLANNING

KEYNOTE LEGEND

KEY	DESCRIPTION
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2	BLACK - WINDOW FRAME
3	CLEAR - GLASS
4	WHITE - BRICK VENEER
5	WHITE - FIBER CEMENT PANEL C/W REVEALS
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Seal

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Revisions

NOVATION ARCHITECTURE LTD
302 - 2237 LECKIE ROAD
KELOWNA BC V1X 6Y5

project title
BERNARD AVE

1531 Bernard Ave, Kelowna, BC
PLAN KAP3604 SECTION 20 TOWNSHIP 26
PARCEL Z, PCL Z OF PL 3604 AS SHWN ON PL B6449.

project no. 23015

drawing title
EXTERIOR ELEVATION - WEST

designed	PS	scale 1/8" = 1'-0"
drawn	IP	
checked	PS	

drawing no.
A3.03

plotted 4/11/2025 11:37:17 AM

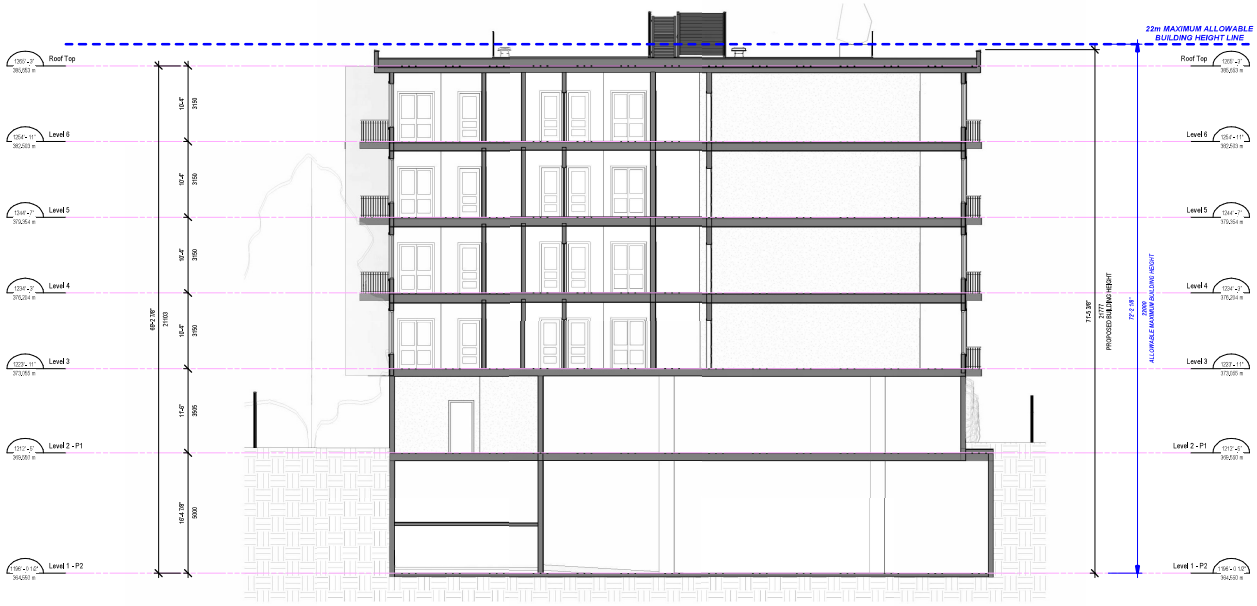
Project File Name and Location:

SCHEDULE B

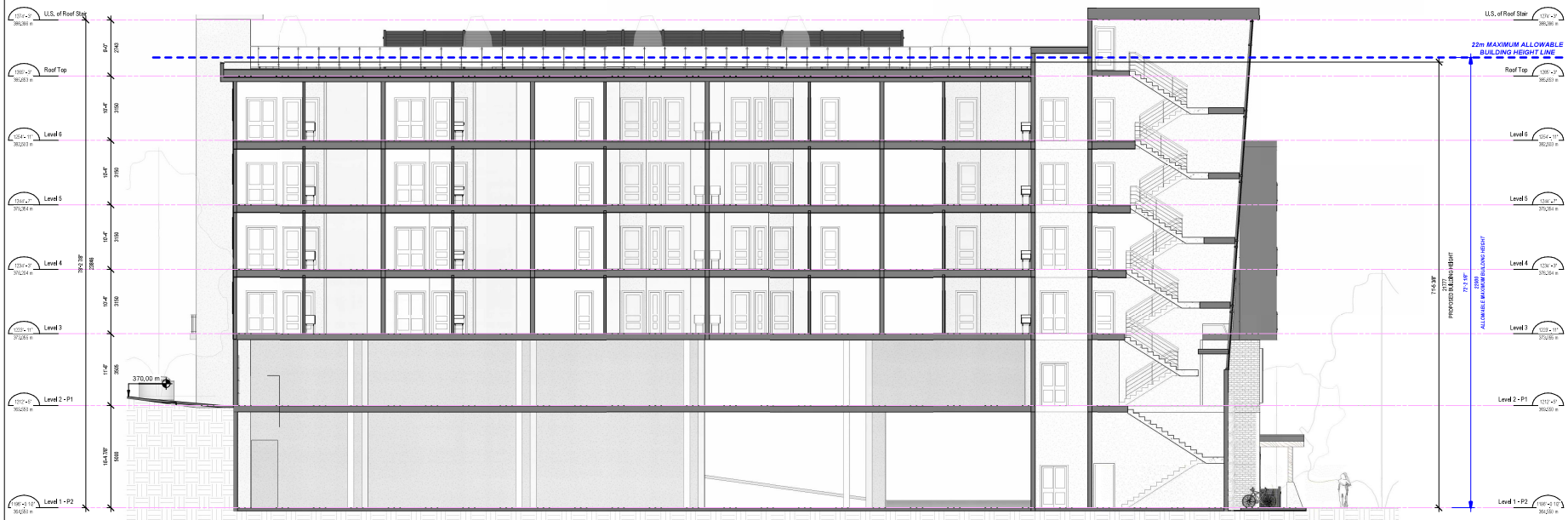
This forms part of application
DP23-0232

City of Kelowna
DEVELOPMENT PLANNING

Planner Initials JI



2 SECTION B
1/8" = 1'-0"



1 SECTION A
1/8" = 1'-0"

Project File Name and Location:

Notes:

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Revisions

NOVATION ARCHITECTURE LTD
302 - 2237 LECKIE ROAD
KELOWNA BC V1X 6Y5

project title
BERNARD AVE
1531 Bernard Ave, Kelowna, BC
PLAN KAP3604 SECTION 20 TOWNSHIP 26
PARCEL Z, PCL Z OF PL 3604 AS SHWN ON PL B6449.

project no. 23015

drawing title
BUILDING SECTIONS

designed	PS	scale 1/8" = 1'-0"
drawn	IP	
checked	PS	

drawing no.
A4.00

plotted 4/11/2025 11:38:28 AM

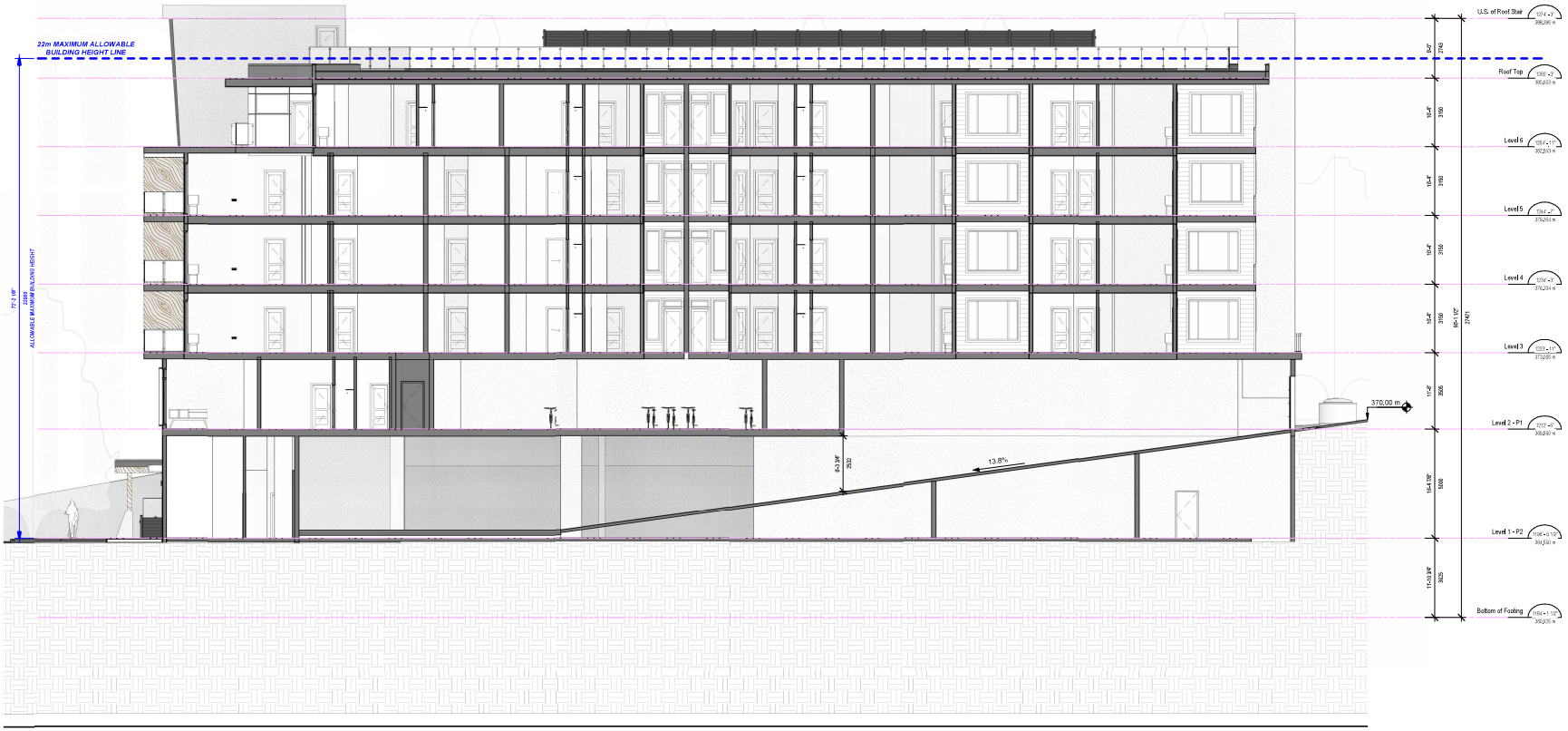
SCHEDULE B

This forms part of application

DP23-0232

Planner Initials JI

City of Kelowna
DEVELOPMENT PLANNING



1 SECTION C
1/8" = 1'-0"

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A	2023-09-07	ISSUED FOR DEVELOPMENT PERMIT

Revisions

NOVATION ARCHITECTURE LTD
302 - 2237 LECKIE ROAD
KELOWNA BC V1X 6Y5

project title
BERNARD AVE

1531 Bernard Ave, Kelowna, BC
PLAN KAP3604 SECTION 20 TOWNSHIP 26
PARCEL Z, PCL Z OF PL 3604 AS SHWN ON PL B6449.

project no. 23015

drawing title
BUILDING SECTIONS

designed	PS	scale 1/8" = 1'-0"
drawn	IP	
checked	PS	

drawing no.
A4.01

plotted 4/11/2025 11:41:39 AM

Project File Name and Location:

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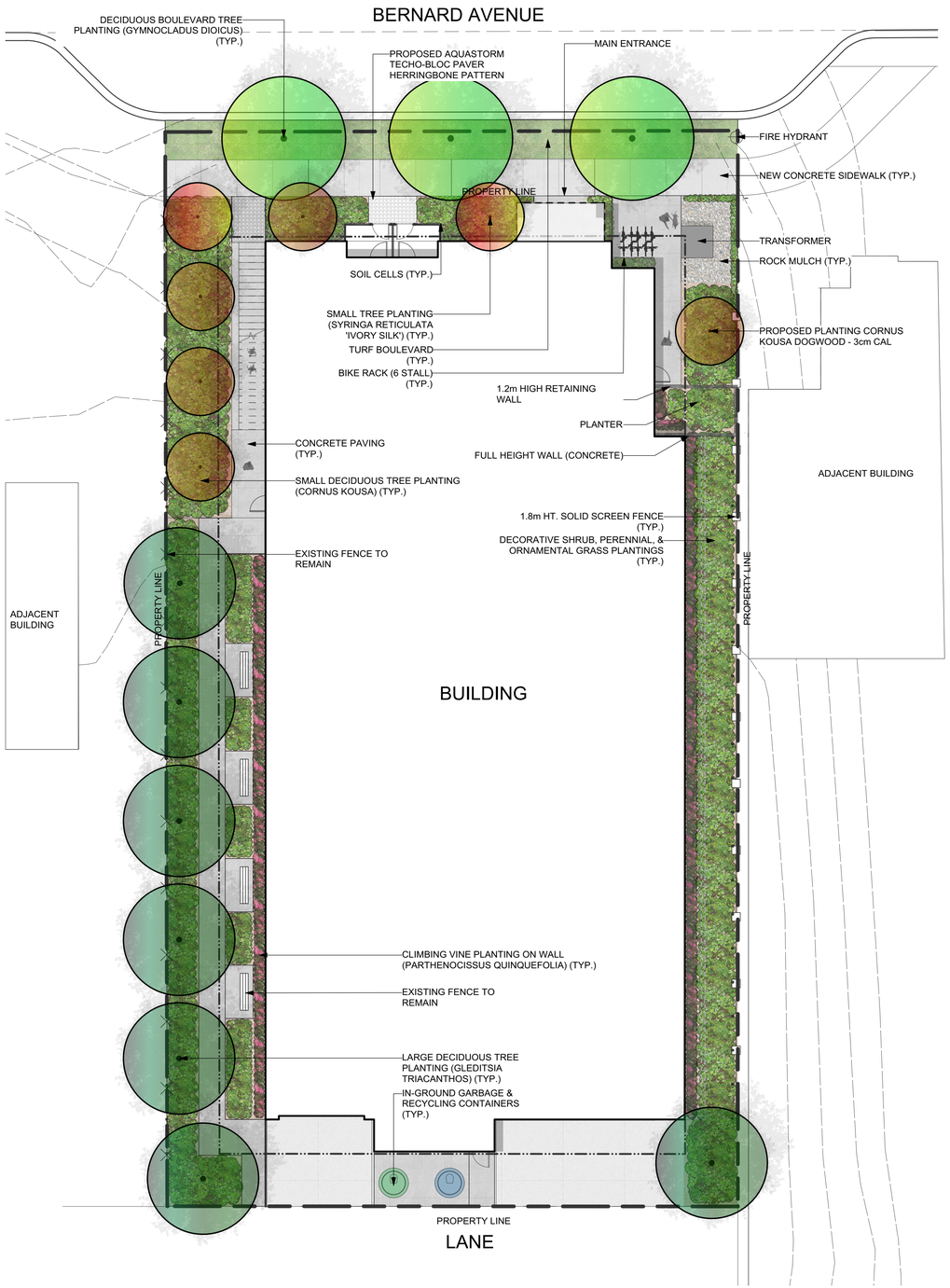
SCHEDULE C

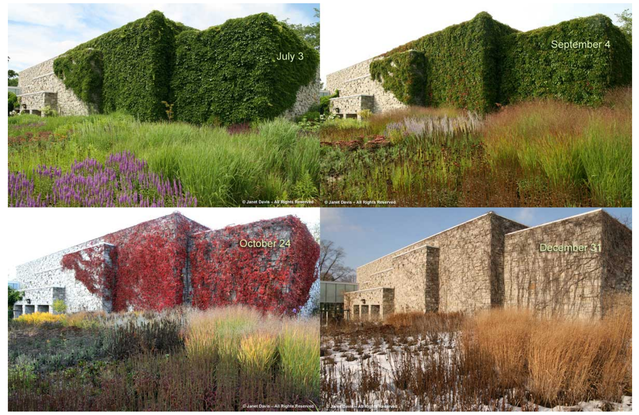
This forms part of application

DP23-0232

Planner Initials JI

City of Kelowna
DEVELOPMENT PLANNING





PRECEDENT IMAGE: CLIMBING VINE ON WALL

NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CANDAIAN LANDSCAPE STANDARDS. ALL OFFSITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 12375 STANDARDS.

2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.

3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm NATURAL WOOD MULCH AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.

4. SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT. TREE BEDS TO RECEIVE A MINIMUM 1000mm DEPTH TOPSOIL PLACEMENT.

5. TURF AREA FROM SOD SHALL BE NO.1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.

6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.

7. FOR CONFORMANCE WITH DEVELOPMENT PERMIT LANDSCAPE REQUIREMENTS, THE PRIME CONTRACTOR AND/OR CONSULTANTS REPONSIBLE FOR SITE SERVICING AND UTILITIES SHALL ENSURE THAT ALL BUILDING PERMIT SUBMITTALS ARE COORDINATED WITH LANDSCAPE ARCHITECTURAL SUBMITTALS.

PLANT LIST

PLANT QUANTITIES ESTIMATED ONLY. NOT FOR PRICING

BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES			
CORNUS KOUSA	KOUSA DOGWOOD	5	3cm CAL.
GLEDITSIA TRIACANTHOS	HONEY LOCUST	7	5cm CAL.
GYMNOCLADUS DIOICUS	KENTUCKY COFFEE TREE	3	5cm CAL.
SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	2	3cm CAL.
SHRUBS			
CORNUS ALBA 'BAILHALO'	IVORY HALO DOGWOOD	10	#02 CONT. /1.8M O.C. SPACING
PHILADELPHUS LEWISII 'BLIZZARD'	MOCK ORANGE 'BLIZZARD'	20	#02 CONT. /1.2M O.C. SPACING
PHYSOCARPUS OPULIFOLIUS 'SMPOTW'	TINY WINE NINEBARK	20	#02 CONT. /1.2M O.C. SPACING
SPIRAEA JAPONICA 'GOLDMOUND'	GOLDMOUND SPIREA	20	#02 CONT. /1.2M O.C. SPACING
SYMPHORICARPOS ALBUS	SNOWBERRY	10	#02 CONT. /1.8M O.C. SPACING
PERENNIALS & GRASSES			
ACHILLEA MILLEFOLIUM	COMMON YARROW	40	#01 CONT. /0.60M O.C. SPACING
COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM THREADLEAF COREOPSIS	40	#01 CONT. /0.6M O.C. SPACING
HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	40	#01 CONT. /0.6M O.C. SPACING
HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	20	#01 CONT. /0.9M O.C. SPACING
PANICUM VIRGATUM	SWITCH GRASS	20	#01 CONT. /0.9M O.C. SPACING
PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'	DWARF RUSSIAN SAGE	40	#01 CONT. /0.6M O.C. SPACING
SALVIA NEMOROSA 'CARADONNA'	CARADONNA PERENNIAL SALVIA	40	#01 CONT. /0.6M O.C. SPACING
VINES			
PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	18	#01 CONT. /2.5M O.C. SPACING

ecora
200-2045 Enterprise Way
Kelowna, BC V1Y 9T5
T (250) 469-9757
www.ecora.ca

N

PROJECT TITLE

1531 BERNARD AVENUE
GROUND LEVEL

Kelowna, BC

DRAWING TITLE

CONCEPTUAL LANDSCAPE PLAN

ISSUED FOR / REVISION

1	24.02.14	Development Permit
2	24.04.24	Development Permit
3	24.04.30	Development Permit
4	24.08.20	Development Permit
5	24.08.26	Development Permit
6	25.04.16	Development Permit

PROJECT NO	23-0585
DESIGN BY	GS/AM
DRAWN BY	DM
CHECKED BY	TK
DATE	APR 16, 2025
SCALE	1:150
PAGE SIZE	24"x36"

SEAL

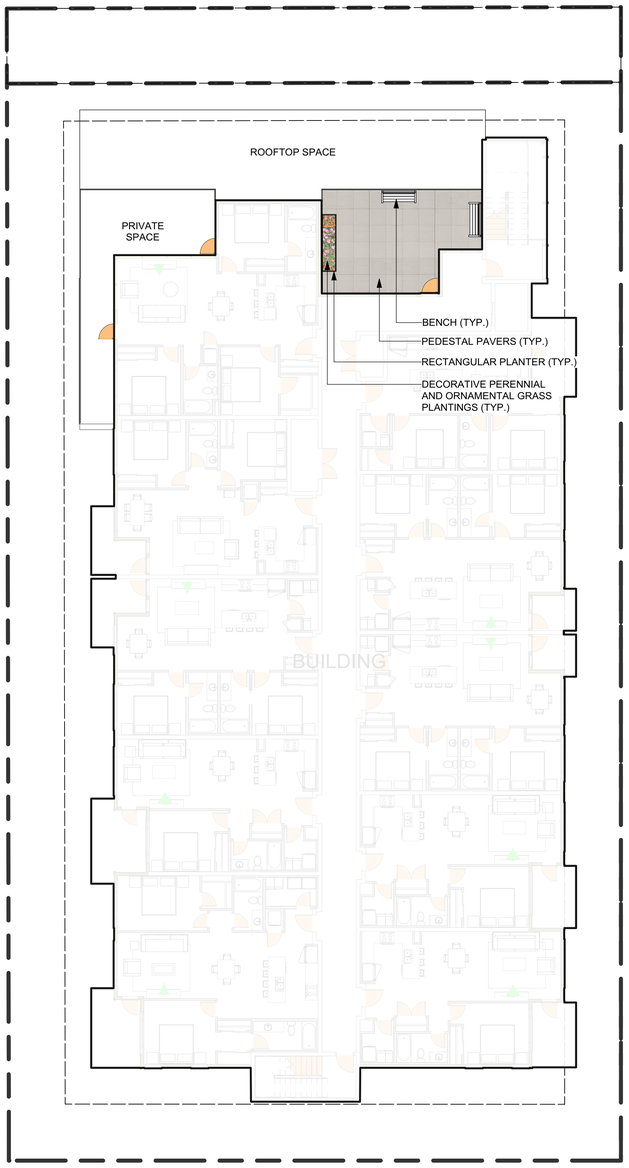
BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS
REGISTERED MEMBER
GEORGE D. HARRIS
432

DRAWING NUMBER

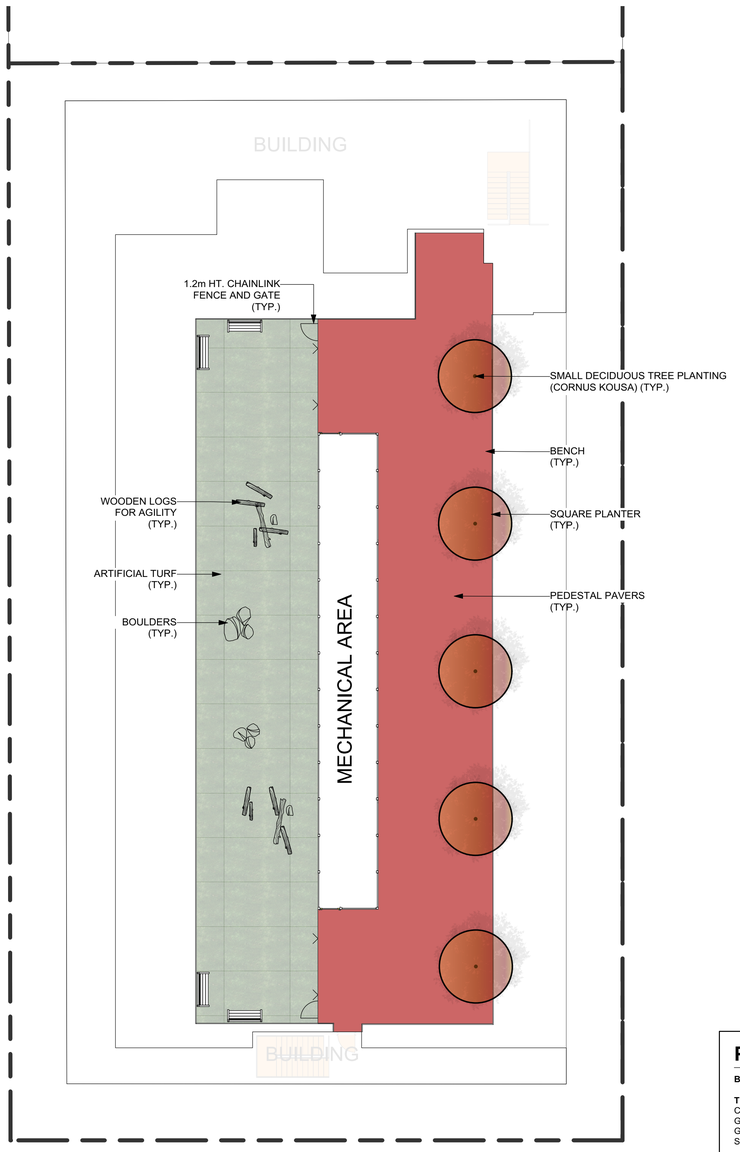
L1/4

NOT FOR CONSTRUCTION

0 5 10 15 20 25 M



LEVEL 6



ROOFTOP

SCHEDULE C

This forms part of application
DP23-0232

Planner Initials JI

City of Kelowna
DEVELOPMENT PLANNING

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GYMNOCLADUS DIOICUS	KENTUCKY COFFEE TREE	3	5cm CAL.
SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK TREE LILAC	2	3cm CAL.
SHRUBS			
CORNUS ALBA 'BAILHALO'	IVORY HALO DOGWOOD	10	#02 CONT. /1.8M O.C. SPACING
PHILADELPHUS LEWISII 'BLIZZARD'	MOCK ORANGE 'BLIZZARD'	20	#02 CONT. /1.2M O.C. SPACING
PHYSOCARPUS OPULIFOLIUS 'SMPOTW'	TINY WINE NINEBARK	20	#02 CONT. /1.2M O.C. SPACING
SPIRAEA JAPONICA 'GOLDMOUND'	GOLDMOUND SPIREA	20	#02 CONT. /1.2M O.C. SPACING
SYMPHORICARPOS ALBUS	SNOWBERRY	10	#02 CONT. /1.8M O.C. SPACING
PERENNIALS & GRASSES			
ACHILLEA MILLEFOLIUM	COMMON YARROW	40	#01 CONT. /0.60M O.C. SPACING
COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM THREADLEAF COREOPSIS	40	#01 CONT. /0.6M O.C. SPACING
HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	40	#01 CONT. /0.6M O.C. SPACING
HEMEROCALLIS 'RUBY STELLA'	RUBY STELLA DAYLILY	20	#01 CONT. /0.9M O.C. SPACING
PANICUM VIRGATUM	SWITCH GRASS	20	#01 CONT. /0.9M O.C. SPACING
PEROVSKIA ATRIPLICIFOLIA 'LITTLE SPIRE'	DWARF RUSSIAN SAGE	40	#01 CONT. /0.6M O.C. SPACING
SALVIA NEMOROSA 'CARADONNA'	CARADONNA PERENNIAL SALVIA	40	#01 CONT. /0.6M O.C. SPACING
VINES			
PARTHENOCISSUS QUINQUEFOLIA	VIRGINIA CREEPER	18	#01 CONT. /2.5M O.C. SPACING

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www.ecora.ca

N

PROJECT TITLE

1531 BERNARD AVENUE
LEVEL 6 & ROOFTOP

Kelowna, BC

DRAWING TITLE

CONCEPTUAL LANDSCAPE PLAN

ISSUED FOR / REVISION

1	24.02.14	Development Permit
2	24.04.24	Development Permit
3	24.04.30	Development Permit
4	24.08.20	Development Permit
5	24.08.26	Development Permit
6	25.04.16	Development Permit

PROJECT NO	23-0585
DESIGN BY	GS/AM
DRAWN BY	DM
CHECKED BY	TK
DATE	APR 16, 2025
SCALE	1:150
PAGE SIZE	24"x36"

SEAL

BRITISH COLUMBIA SOCIETY OF LANDSCAPE ARCHITECTS
REGISTERED MEMBER
GEORGE D. HARRIS
432

DRAWING NUMBER

L2/4

NOT FOR CONSTRUCTION

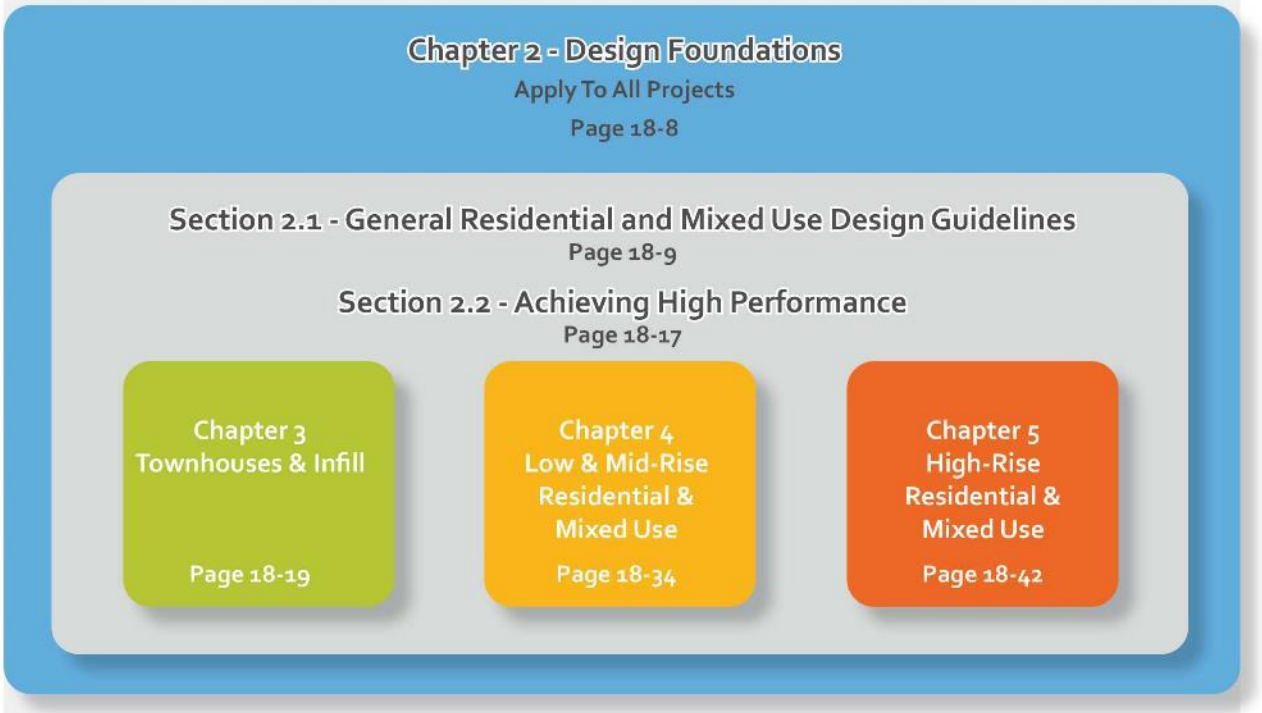
FORM & CHARACTER – DEVELOPMENT PERMIT GUIDELINES

Chapter 2 - The Design Foundations : apply to all projects and provide the overarching principles for supporting creativity, innovation and design excellence in Kelowna.

- Facilitate Active Mobility
- Use Placemaking to Strengthen Neighbourhood Identity
- Create Lively and Attractive Streets & Public Spaces
- Design Buildings to the Human Scale
- Strive for Design Excellence

The General Residential and Mixed Use Guidelines : provide the key guidelines that all residential and mixed use projects should strive to achieve to support the Design Foundations.

- The General Guidelines are supplement by typology-specific guidelines (e.g., Townhouses & Infill on page 18-19, High-Rise Residential and Mixed-Use on page 18-42), which provide additional guidance about form and character.



ATTACHMENT B
This forms part of application
DP23-0232
City of Kelowna
DEVELOPMENT PLANNING
Planner Initials JI

*Note: Refer to the Design Foundations and the Guidelines associated with the specific building typology.

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE *(1 is least complying & 5 is highly complying)*	**N/A**	**1**	**2**	**3**	**4**	**5**
2.1 General residential & mixed use guidelines						
2.1.1 Relationship to the Street	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.						x
b. On corner sites, orient building facades and entries to both fronting streets.	x					
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.						x
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.					x	
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.						x
f. Avoid blank, windowless walls along streets or other public open spaces.						x
g. Avoid the use of roll down panels and/or window bars on retail and commercial frontages that face streets or other public open spaces.	x					
h. In general, establish a street wall along public street frontages to create a building height to street width ration of 1:2, with a minimum ration of 11:3 and a maximum ration of 1:1.75. • Wider streets (e.g. transit corridors) can support greater streetwall heights compared to narrower streets (e.g. local streets); • The street wall does not include upper storeys that are setback from the primary frontage; and • A 1:1 building height to street width ration is appropriate for a lane of mid-block connection condition provided the street wall height is no greater than 3 storeys.						x
2.1.2 Scale and Massing	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.					x	
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.					x	
c. Step back the upper storeys of buildings and arrange the massing and siting of buildings to: • Minimize the shadowing on adjacent buildings as well as public and open spaces such as sidewalks, plazas, and courtyards; and • Allow for sunlight onto outdoor spaces of the majority of ground floor units during the winter solstice.						x

2.1.3 Site Planning	N/A	1	2	3	4	5
a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.					x	
b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.						x
c. Limit the maximum grades on development sites to 30% (3:1)						x
d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: • Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible; • Incorporating terracing to create usable open spaces around the building • Using the slope for under-building parking and to screen service and utility areas; • Design buildings to access key views; and • Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped).						x
e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planed future public street, bicycle, and/or pedestrian network.						x
f. Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks.	x					
g. Apply universal accessibility principles to primary building entries, sidewalks, plazas, mid-block connections, lanes, and courtyards through appropriate selection of materials, stairs, and ramps as necessary, and the provision of wayfinding and lighting elements.						x
2.1.4 Site Servicing, Access, and Parking	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view.						x
b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.						x
c. Avoid locating off-street parking between the front façade of a building and the fronting public street.						x
d. In general, accommodate off-street parking in one of the following ways, in order of preference: • Underground (where the high water table allows) • Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage);						x

• Garages or at-grade parking integrated into the building (located at the rear of the building); and • Surface parking at the rear, with access from the lane or secondary street wherever possible.						
e. Design parking areas to maximize rainwater infiltration through the use of permeable materials such as paving blocks, permeable concrete, or driveway planting strips.	x					
f. In cases where publicly visible parking is unavoidable, screen using strategies such as: • Landscaping; • Trellises; • Grillwork with climbing vines; or • Other attractive screening with some visual permeability.	x					
g. Provide bicycle parking at accessible locations on site, including: • Covered short-term parking in highly visible locations, such as near primary building entrances; and • Secure long-term parking within the building or vehicular parking area.						x
h. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.						x
i. Consolidate driveway and laneway access points to minimize curb cuts and impacts on the pedestrian realm or common open spaces.	x					
j. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping.	x					
2.1.5 Streetscapes, Landscapes, and Public Realm Design	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Site buildings to protect mature trees, significant vegetation, and ecological features.	x					
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.						x
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.						x
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.						x
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: • Locating outdoor spaces where they will receive ample sunlight throughout the year; • Using materials and colors that minimize heat absorption; • Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and • Using building mass, trees and planting to buffer wind.					x	
f. Use landscaping materials that soften development and enhance the public realm.					x	

g.	Plant native and/or drought tolerant trees and plants suitable for the local climate.						x
h.	Select trees for long-term durability, climate and soil suitability, and compatibility with the site's specific urban conditions.						x
i.	Design sites and landscapes to maintain the pre-development flows through capture, infiltration, and filtration strategies, such as the use of rain gardens and permeable surfacing.					x	
j.	Design sites to minimize water use for irrigation by using strategies such as: • Designing planting areas and tree pits to passively capture rainwater and stormwater run-off; and • Using recycled water irrigation systems.						x
k.	Create multi-functional landscape elements wherever possible, such as planting areas that also capture and filter stormwater or landscape features that users can interact with.						x
l.	Select materials and furnishings that reduce maintenance requirements and use materials and site furnishings that are sustainably sourced, re-purposed or 100% recycled.						x
m.	Use exterior lighting to complement the building and landscape design, while: • Minimizing light trespass onto adjacent properties; • Using full cut-off lighting fixtures to minimize light pollution; and • Maintaining lighting levels necessary for safety and visibility.						x
n.	Employ on-site wayfinding strategies that create attractive and appropriate signage for pedestrians, cyclists, and motorists using a 'family' of similar elements.					x	
2.1.6 Building Articulation, Features and Materials		**N/A**	**1**	**2**	**3**	**4**	**5**
a.	Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: • Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks; • Repeating window patterns on each step-back and extension interval; • Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval.						x
b.	Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs. Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters;						x

	ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.						
c.	Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.					x	
d.	Design buildings such that their form and architectural character reflect the buildings internal function and use.						x
e.	Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.					x	
f.	Provide weather protection such as awnings and canopies at primary building entries.						x
g.	Place weather protection to reflect the building's architecture.						x
h.	Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.						x
i.	Provide visible signage identifying building addresses at all entrances.						x

SECTION 4.0: LOW & MID-RISE RESIDENTIAL MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE *(1 is least complying & 5 is highly complying)*	**N/A**	**1**	**2**	**3**	**4**	**5**
4.1 Low & mid-rise residential & mixed use guidelines						
4.1.1 Relationship to the Street	**N/A**	**1**	**2**	**3**	**4**	**5**
i. Ensure lobbies and main building entries are clearly visible from the fronting street.						x
j. Avoid blank walls at grade wherever possible by: • Locating enclosed parking garages away from street frontages or public open spaces; • Using ground-oriented units or glazing to avoid creating dead frontages; and • When unavoidable, screen blank walls with landscaping or incorporate a patio café or special materials to make them more visually interesting.						x
Residential & Mixed Use Buildings						
k. Set back residential buildings on the ground floor between 3-5 m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio. • A maximum 1.2 m height (e.g. 5-6 steps) is desired for front entryways. • Exceptions can be made in cases where the water table requires this to be higher. In these cases, provide a larger patio and screen parking with ramps, stairs and landscaping.					x	

l. Incorporate individual entrances to ground floor units accessible from the fronting street or public open spaces.						x
m. Site and orient buildings so that windows and balconies overlook public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.						x
4.1.2 Scale and Massing	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Residential building facades should have a maximum length of 60 m. A length of 40 m is preferred.					x	
b. Residential buildings should have a maximum width of 24 m.						x
c. Buildings over 40 m in length should incorporate a significant horizontal and vertical break in the façade.					x	
d. For commercial facades, incorporate a significant break at intervals of approximately 35 m.	x					
4.1.3 Site Planning	**N/A**	**1**	**2**	**3**	**4**	**5**
a. On sloping sites, floor levels should step to follow natural grade and avoid the creation of blank walls.						x
b. Site buildings to be parallel to the street and to have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior court yards: • Building sides that interface with streets, mid-block connections and other open spaces and should positively frame and activate streets and open spaces and support pedestrian activity; and • Building sides that are located away from open spaces (building backs) should be designed for private/shared outdoor spaces and vehicle access.	x					
c. Break up large buildings with mid-block connections which should be publicly-accessible wherever possible.	x					
d. Ground floors adjacent to mid-block connections should have entrances and windows facing the mid-block connection.	x					
4.1.4 Site Servicing, Access and Parking	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Vehicular access should be from the lane. Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access may be provided from the street, provided: • Access is from a secondary street, where possible, or from the long face of the block; • Impacts on pedestrians and the streetscape is minimised; and • There is no more than one curb cut per property.						x
b. Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms and should be screened from public view with active retail uses, active residential uses, architectural or landscaped screening elements.					x	
c. Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations:						x

• Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and • Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized.						
4.1.5 Publicly-Accessible and Private Open Spaces	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Integrate publicly accessible private spaces (e.g. private courtyards accessible and available to the public) with public open areas to create seamless, contiguous spaces.	x					
b. Locate semi-private open spaces to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.					x	
Outdoor amenity areas						
c. Design plazas and urban parks to: • Contain 'three edges' (e.g. building frontage on three sides) where possible and be sized to accommodate a variety of activites; • Be animated with active uses at the ground level; and • Be located in sunny, south facing areas.	x					
d. Design internal courtyards to: • Provide amenities such as play areas, barbecues, and outdoor seating where appropriate. • Provide a balance of hardscape and softscape areas to meet the specific needs of surrounding residents and/or users.	x					
e. Design mid-block connections to include active frontages, seating and landscaping.	x					
Rooftop Amenity Spaces						
f. Design shared rooftop amenity spaces (such as outdoor recreation space and rooftop gardens on the top of a parkade) to be accessible to residents and to ensure a balance of amenity and privacy by: • Limiting sight lines from overlooking residential units to outdoor amenity space areas through the use of pergolas or covered areas where privacy is desired; and • Controlling sight lines from the outdoor amenity space into adjacent or nearby residential units by using fencing, landscaping, or architectural screening.					x	
g. Reduce the heat island affect by including plants or designing a green roof, with the following considerations: • Secure trees and tall shrubs to the roof deck; and • Ensure soil depths and types are appropriate for proposed plants and ensure drainage is accommodated.						x
4.1.6 Building Articulation, Features, and Materials	**N/A**	**1**	**2**	**3**	**4**	**5**
a. Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20 m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance and include:					x	

• Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the façade; • Repeating window pattern intervals that correspond to extensions and step backs (articulation) in the building façade; • Providing a porch, patio, deck, or covered entry for each interval; • Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance; • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval; • Changing the materials with the change in building plane; and • Provide a lighting fixture, trellis, tree or other landscape feature within each interval.						
b. Break up the building mass by incorporating elements that define a building's base, middle and top.						**X**
c. Use an integrated, consistent range of materials and colors and provide variety, by for example, using accent colors.						**x**
d. Articulate the façade using design elements that are inherent to the buildings as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.					**x**	
e. Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows, and adding awnings or canopies.	**x**					
f. Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas with particular attention to the following locations: • Primary building entrances;, • Adjacent to bus zones and street corners where people wait for traffic lights; • Over store fronts and display windows; and • Any other areas where significant waiting or browsing by people occurs.						**x**
g. Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.						**x**
h. Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern.						**x**
i. Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length of facades.						**x**
j. Provide attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings						**x**

	located on highways and/or major arterials in alignment with the City's Sign Bylaw.						
k.	Avoid the following types of signage: • Internally lit plastic box signs; • Pylon (stand alone) signs; and • Rooftop signs.						x
l.	Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.	x					

ATTACHMENT B
This forms part of application
DP23-0232
Planner Initials JI
City of Kelowna
DEVELOPMENT PLANNING

December 8th, 2023

Our File: 23015

City of Kelowna
1435 Water St,
Kelowna, BC V1Y 1J4

ATTACHMENT C
This forms part of application
DP23-0232
Planner Initials JI
City of Kelowna
DEVELOPMENT PLANNING

Attention: Trisa Atwood, Planner Specialist, City of Kelowna

Dear Ms. Atwood,

Re: Development Permit / Rezoning for property located at 1531 Bernard Avenue

This development proposal will adhere to the requirements of the MF3R zone as described in the City of Kelowna Zoning Bylaw No. 12375.

Project Description

The current zoning for the site is RU4b. With an OCP future land use designation of C-NHD, we are seeking a rezoning from RU4b to MF3R zone. The proposed project contains (1) 6-storey building with two levels of parking, one of which is below grade. The proposed project would include (51) multi-family residential units. The housing consists of underground and main level parking with 5 levels of residential above, providing (4) 3-bed, (24) 2-bed, (18) 1-bed and (5) studio units. The project consists of a prominent entrance at street level with ground-oriented units providing a strong connection to the neighborhood.

Design Rationale

We present an evolved design rationale for the 1531 Bernard Ave Residential Project, aligning its purpose with city objectives while acknowledging the transition from the current tenancy under the Abbey Field Society. The property's current operation, managed by Abbey Field Society, hosts 12 tenants, offering an independent retirement community experience. Residents benefit from a communal lifestyle akin to a modern commune, where bedrooms are rented, and shared facilities foster a family-like environment. The society provides self-served breakfast and two home-cooked meals daily, delivering a unique blend of communal living and culinary convenience.

The proposed development will transition to a rental-only model, focusing on market-rate units. It stands distinct from low-income or supportive housing, operating without supportive services and not aligning with a non-profit structure. Abbeyfield, citing challenges within the Landlord Tenant Act in BC, operational costs, and the age of its board, will cease to operate the facility, leading to the discontinuation of Orchard City Abbeyfield Society.

Paul M. Schuster – Architect AIBC, CAB, MRAIC, and NCARB Certified
• 302 – 2237 Leckie Rd. • Kelowna, BC • V1X 6Y5 | www.novationarchitecture.com | paul@novationarchitecture.com | (236) 420 – 4144 •

The project's suitability within the MF3R zone persists due to its residential context, accessibility, and potential to contribute positively to the city's future designation. Situated in a well-established neighborhood, its strategic location positions it as an ideal candidate for increased density, aligning with Kelowna's sustainability goals and long-term vision. In accordance with (OCP) objectives, we've included 10% 3-bedroom units in the unit mix to accommodate larger families and diverse household needs while maintaining the project's density and economic feasibility.

Our design philosophy extends beyond physical structures, aiming to fortify the neighborhood's identity. Through deliberate material integration, such as various brick and cementitious siding, the project seeks to create an aesthetically pleasing and pedestrian-friendly frontage along Bernard Ave, complemented by lush landscaping. Ground-oriented units at the entrance foster community cohesion, enhancing the area's visual harmony.

The project prioritizes accessibility through a dedicated lane, ensuring safe access for residents. Furthermore, the inclusion of comprehensive amenities—visitor parking, easily accessible bike storage and wash station, mailbox facilities, and waste recycling—reflects our commitment to convenience and sustainability, embodying our vision for a vibrant and accessible residential space.
Continued efforts toward a harmonious blend of community-centric design and sustainable functionality remain at the core of our approach for the 1531 Bernard Ave Residential Project.

In conclusion, the Bernard Ave Residential Project encapsulates our dedication to blending innovative design, community enhancement, and sustainable mobility.

We believe this proposal will not only meet the city's standards but also contribute positively to the fabric of Kelowna. We welcome the opportunity to engage in further discussions and provide additional information as needed.

We are seeking no variances as we feel that the development has been designed appropriately for the site and location.

I trust that you will find our application in good order. Please contact our office if you require any further information.

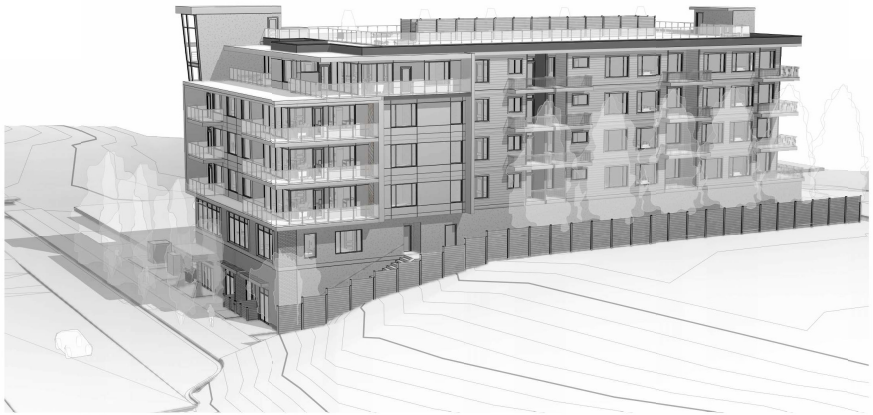
Kind Regards,

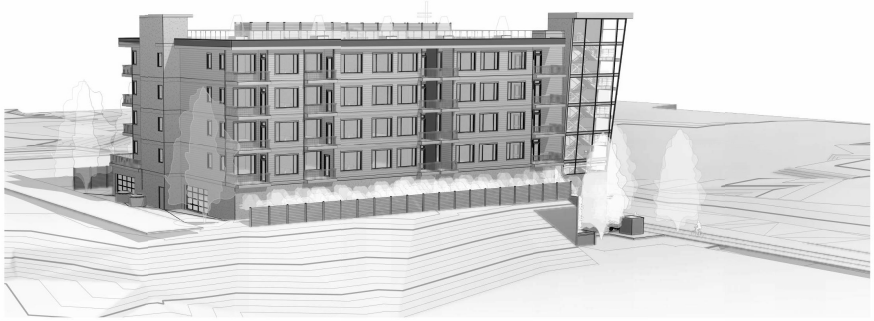
NOvation Architecture Ltd.

Paul M. Schuster, Architect
AIBC, CAB, MRAIC and NCARB Certified

(250) 718 - 1302
paul@novationarchitecture.com

ATTACHMENT C
This forms part of application
DP23-0232
City of Kelowna
DEVELOPMENT PLANNING
Planner Initials JI





Notes:

All drawings shall be read in conjunction with specifications and consultant details.

All work shall be carried out in accordance with Canadian standards, specifications, BC Building Code (2018 edition) and local authority bylaws and requirements.

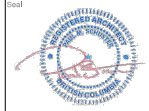
Tabulated scales refer to Arch D size drawings sheet.

This drawing must not be scaled.

Contractors shall verify all dimensions prior to commencement of work.

Any omissions or discrepancies shall be reported to the architect.

Seal



2025-04-11

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- [ ] A CONTROLLED document. Revisions will be advised.
- [ ] The first issue of the document.
- [ ] A complete revision. Remove previous issues from use.
- [ ] A partial revision. Remove previous issues of corresponding sheets / pages from use.
- [■] Not for Construction.

NOT FOR CONSTRUCTION

No.	Date	Description
E	2025-04-11	RE-ISSUED FOR DEVELOPMENT PERMIT
D	2024-09-12	RE-ISSUED FOR DEVELOPMENT PERMIT
C	2024-02-23	RE-ISSUED FOR DEVELOPMENT PERMIT
B	2023-10-07	RE-ISSUED FOR DEVELOPMENT PERMIT
A	2023-09-07	ISSUED FOR DEVELOPMENT PERMIT

Revisions

NOVATION ARCHITECTURE LTD
302 - 2237 LECKIE ROAD
KELOWNA BC V1X 6Y5

project title
BERNARD AVE

1531 Bernard Ave, Kelowna, BC
PLAN KAP3604 SECTION 20 TOWNSHIP 26
PARCEL Z, PCL Z OF PL 3604 AS SHWN ON PL B6449.

project no. 23015

drawing title
PROJECT MASSING

designed	PS	scale
drawn	IP	
checked	PS	

drawing no.
A0.02

plotted 4/11/2025 11:27:06 AM

ATTACHMENT D
This forms part of application
DP23-0232
City of Kelowna
DEVELOPMENT PLANNING

Planner Initials JI

Project File Name and Location

1575 BERNARD AVENUE
C.O.K. APPROVED DP
ADJACENT 6 STOREY BUILDING

1573 BERNARD AVENUE
PROPOSED NEW BUILDING

1 BERNARD AVENUE STREETSCAPE VIEW
3/32" = 1'-0"

ATTACHMENT E
This forms part of application
DP23-0232
Planner Initials JI
City of Kelowna
DEVELOPMENT PLANNING

Notes:

All drawings shall be read in conjunction with specifications and consultant details.

All work shall be carried out in accordance with Canadian standards, specifications, BC Building Code (2018 edition) and local authority bylaws and regulations.

Tabulated scales refer to Arch D size drawings sheet.

This drawing must not be scaled.

Contractors shall verify all dimensions prior to commencement of work.

Any omissions or discrepancies shall be reported to the architect.

Seal
2025-04-11

this document is:
- [x] NOT controlled. Revisions may be made without notice.
- [ ] A CONTROLLED document. Revisions will be advised.
- [ ] The first issue of the document.
- [ ] A complete revision. Remove previous issues from use.
- [ ] A partial revision. Remove previous issues of corresponding sheets / pages from use.
- [x] Not for Construction.

NOT FOR CONSTRUCTION

No.	Date	Description
E	2025-04-11	RE-ISSUED FOR DEVELOPMENT PERMIT
D	2024-09-12	RE-ISSUED FOR DEVELOPMENT PERMIT
C	2024-02-23	RE-ISSUED FOR DEVELOPMENT PERMIT
B	2023-10-07	RE-ISSUED FOR DEVELOPMENT PERMIT
A	2023-09-07	ISSUED FOR DEVELOPMENT PERMIT

Revisions

NOVATION ARCHITECTURE LTD.
302 - 2237 LECKIE ROAD
KELOWNA BC V1X 6Y5

project title
BERNARD AVE
1531 Bernard Ave, Kelowna, BC
PLAN KAP3604 SECTION 20 TOWNSHIP 26 PARCEL Z, PCL Z OF PL 3604 AS SHWN ON PL B6449.

project no. 23015

drawing title
STREETSCAPE

designed Designer
drawn Author
checked Checker
scale 3/32" = 1'-0"

drawing no.
A3.10

plotted 4/11/2025 11:37:43 AM

Project File Name and Location: C:\Users\Lenovo\Documents\Bernard_BLDG_Central_R24_R1_inderRTWZW.rvt