

Development Permit & Development Variance Permit

DP24-0149 / DVP25-0111



This permit relates to land in the City of Kelowna municipally known as

3020, 3030, 3040, 3050 Abbott Street

and legally known as:

Lot A District Lot 14 ODYD Plan EPP96732, located at 3020 Abbott Street, Kelowna, BC

Lot B District Lot 14 ODYD Plan EPP96732, located at 3030 Abbott Street, Kelowna, BC

Lot C District Lot 14 ODYD Plan EPP96732, located at 3040 Abbott Street, Kelowna, BC

Lot D District Lot 14, ODYD Plan EPP96732, located at 3050 Abbott Street, Kelowna, BC

and permits the land to be used for the following development:

Participant Recreation Services, Indoor & Participant Recreation Services, Outdoor

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Approval: **June 17, 2025**

Development Permit Area: Form and Character & Natural Environment

Existing Zone: P3 – Parks and Open Space

Future Land Use Designation: PARK – Parks

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: City of Kelowna

Applicant: Little Building Solutions

Nola Kilmartin
Development Planning Department Manager
Planning & Development Services

Date of Issuance



1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP24-0149 and Development Variance Permit No. DVP25-0111 for:

Lot A District Lot 14 ODYD Plan EPP96732, located at 3020 Abbott Street, Kelowna, BC

Lot B District Lot 14 ODYD Plan EPP96732, located at 3030 Abbott Street, Kelowna, BC

Lot C District Lot 14 ODYD Plan EPP96732, located at 3040 Abbott Street, Kelowna, BC

Lot D District Lot 14, ODYD Plan EPP96732, located at 3050 Abbott Street, Kelowna, BC;

subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";

AND THAT variances to the following section of Zoning Bylaw No. 12375 be granted:

Table 7.2 –Tree & Landscaping Planting Requirements

To vary the minimum number trees within landscape area from 7 required to 1 proposed.

Section 8: Parking and Loading – Table 8.3.5 Institutional

To vary the minimum number of parking stalls from 8 stalls required to 4 stalls proposed.

Section 14: Core Area and Other Zones – Section 14.12 Industrial, Institutional, and Water Zone Development Regulations

To vary the minimum front yard setback from 6.0 m permitted to 3.9 m proposed.

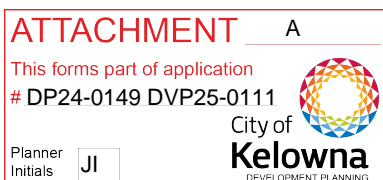
AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

4. INDEMNIFICATION

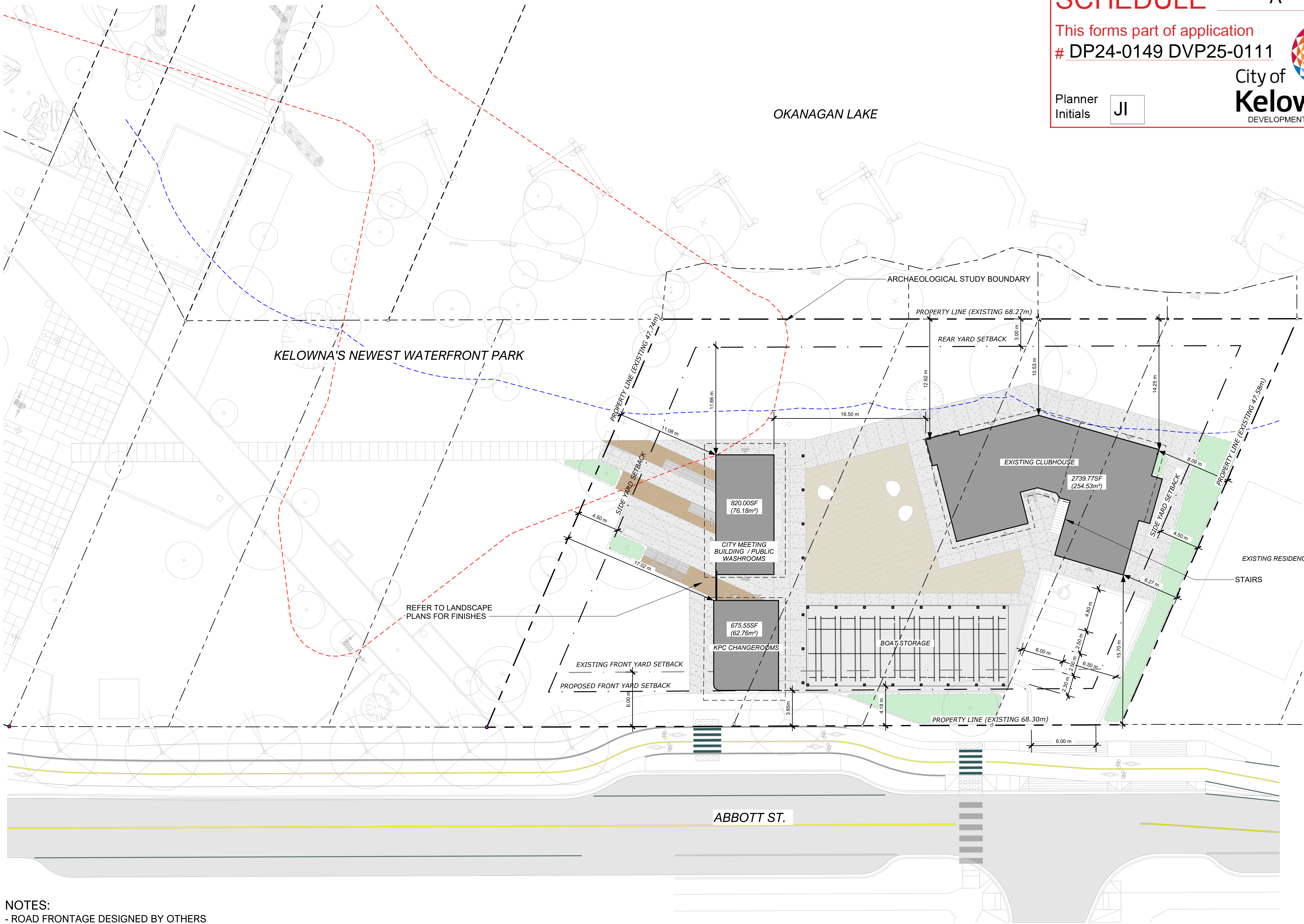
Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.



The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.



NOTES:
- ROAD FRONTAGE DESIGNED BY OTHERS
- SEE LANDSCAPE PLANS FOR LANDSCAPE DESIGN

SCHEDULE

This forms part of application
DP24-0149 DVP25-0111

Planner
Initials

JI

A

City of
Kelowna
DEVELOPMENT PLANNING



Little Building Solutions Inc.
1750 Springfield Rd
Kelowna, BC V1Y 5V6
tel. (778) 940-6956
design@littlebuildingsolutions.com

KELOWNA PADDLE CENTER

Kelowna Paddle Center
Project Type:
Project # 5218
Street: 3020 Abbott St
City, Prov: Kelowna, BC

Document Date:
May 26, 2025

Document Phase:
Design Development

rev.	date	remark
8	08/14/24	Issue For Review V3
9	08/21/24	ATC Design Update
10	09/19/24	City Design Clarification
11	10/04/24	Remove KPC Gates
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SITE PLAN

1 SITE PLAN
A2.1 1:200

A2.1

KELOWNA PADDLE CENTER

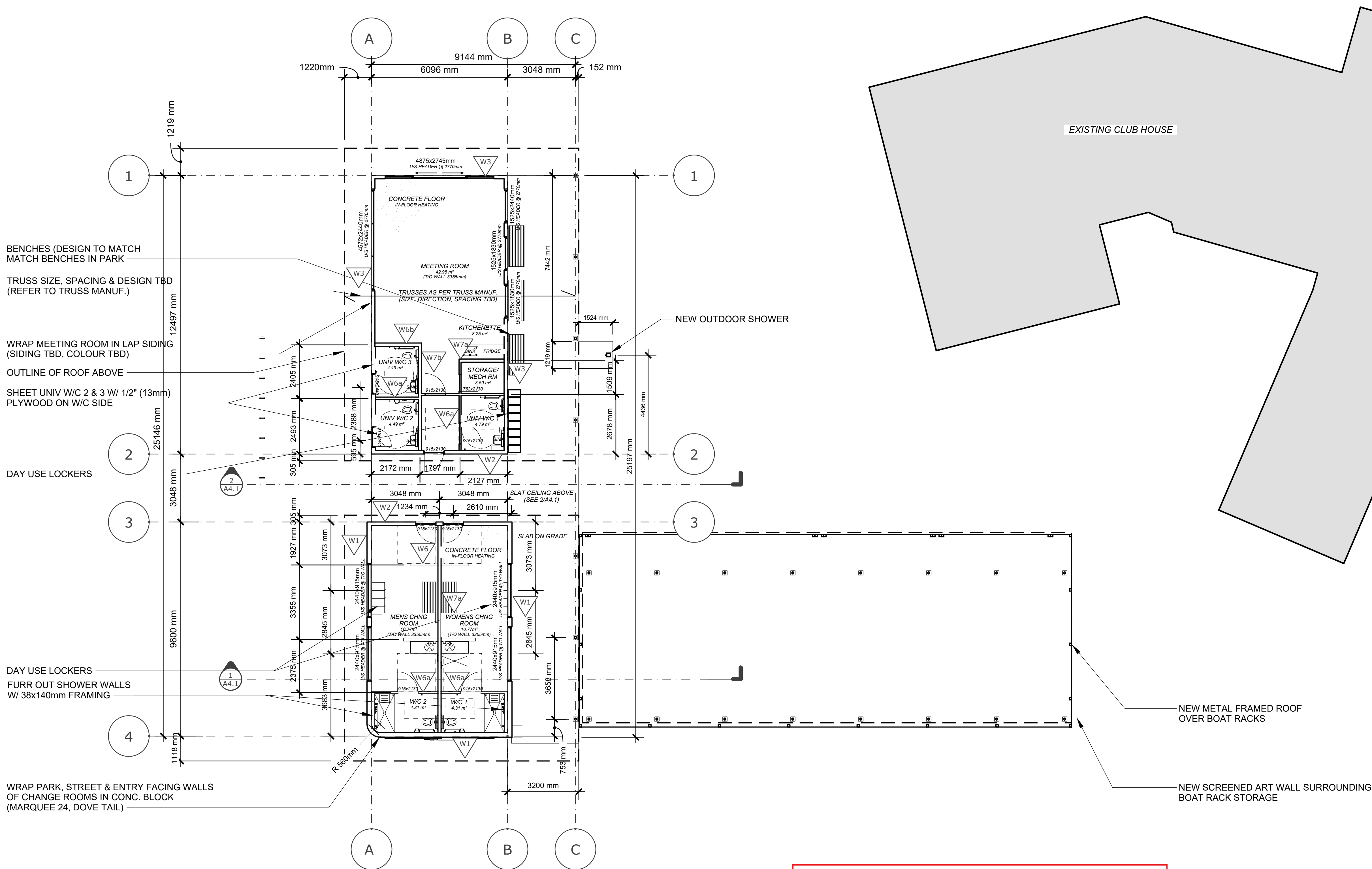
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NEW BLDG
FLOOR PLAN

A2.3



SCHEDULE A

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DP24-0149 DVP25-0111

Planner Initials **JI**

City of Kelowna
DEVELOPMENT PLANNING

1 NEW BLDG FLOOR PLAN
A2.3 1:100

- NOTES:
- REFER TO TRUSS MANUF. FOR ROOF DESIGNS
 - ROOF MEMBER SIZE, DIRECTION, & SPACING TBD (REFER TO TRUSS MANUF DRAWINGS)
 - BEAM LOCATIONS & TYPES TBD
 - ALL NEW WINDOWS TO BE TRIPLE PANE
 - TILE ALL WALLS IN SHOWERS (TILE TBD)
 - EXISTING LANDSCAPING TO REMAIN WHERE POSSIBLE
 - T&G CEILING AND SOFFIT ON NEW ROOFS

SCHEDULE

A

This forms part of application

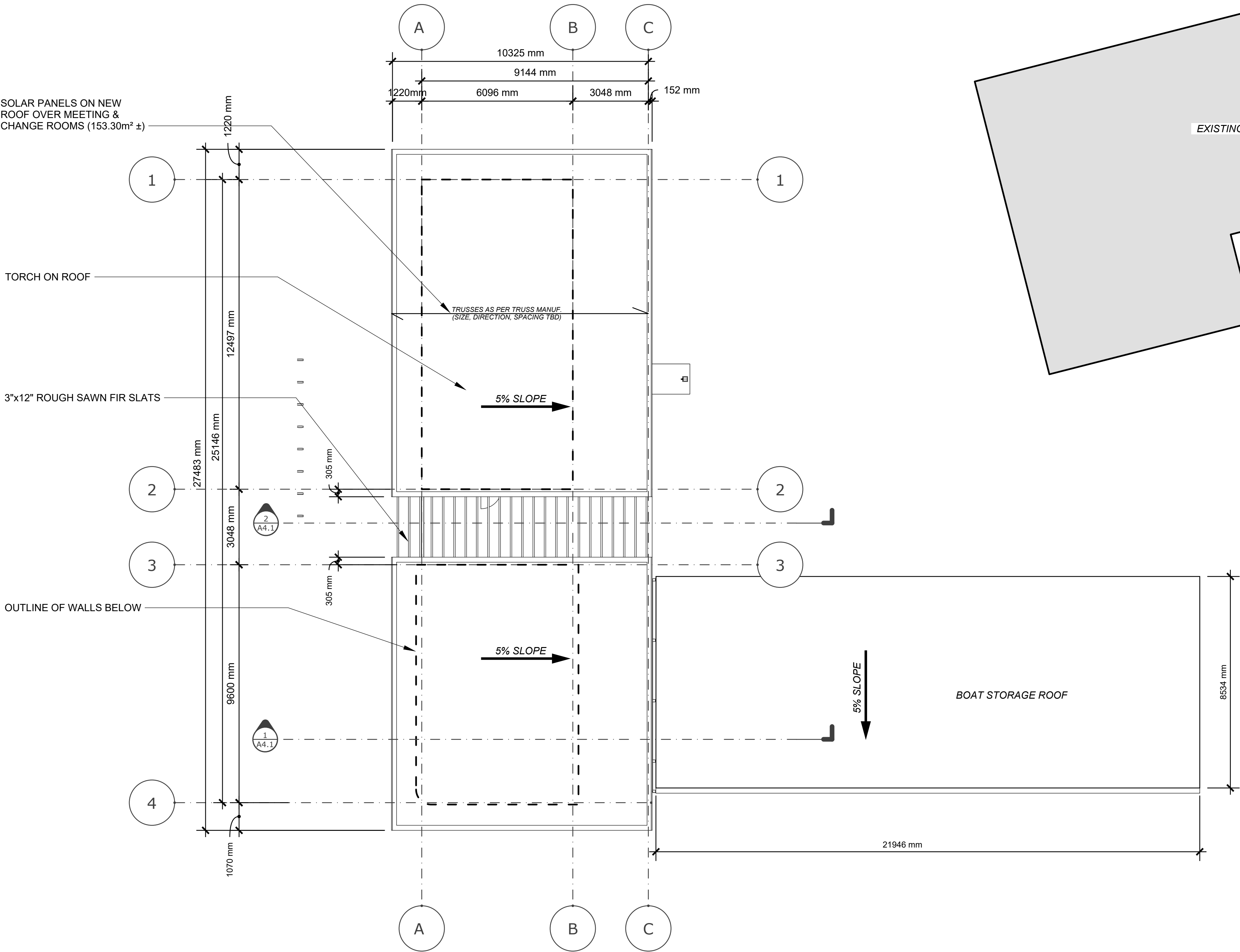
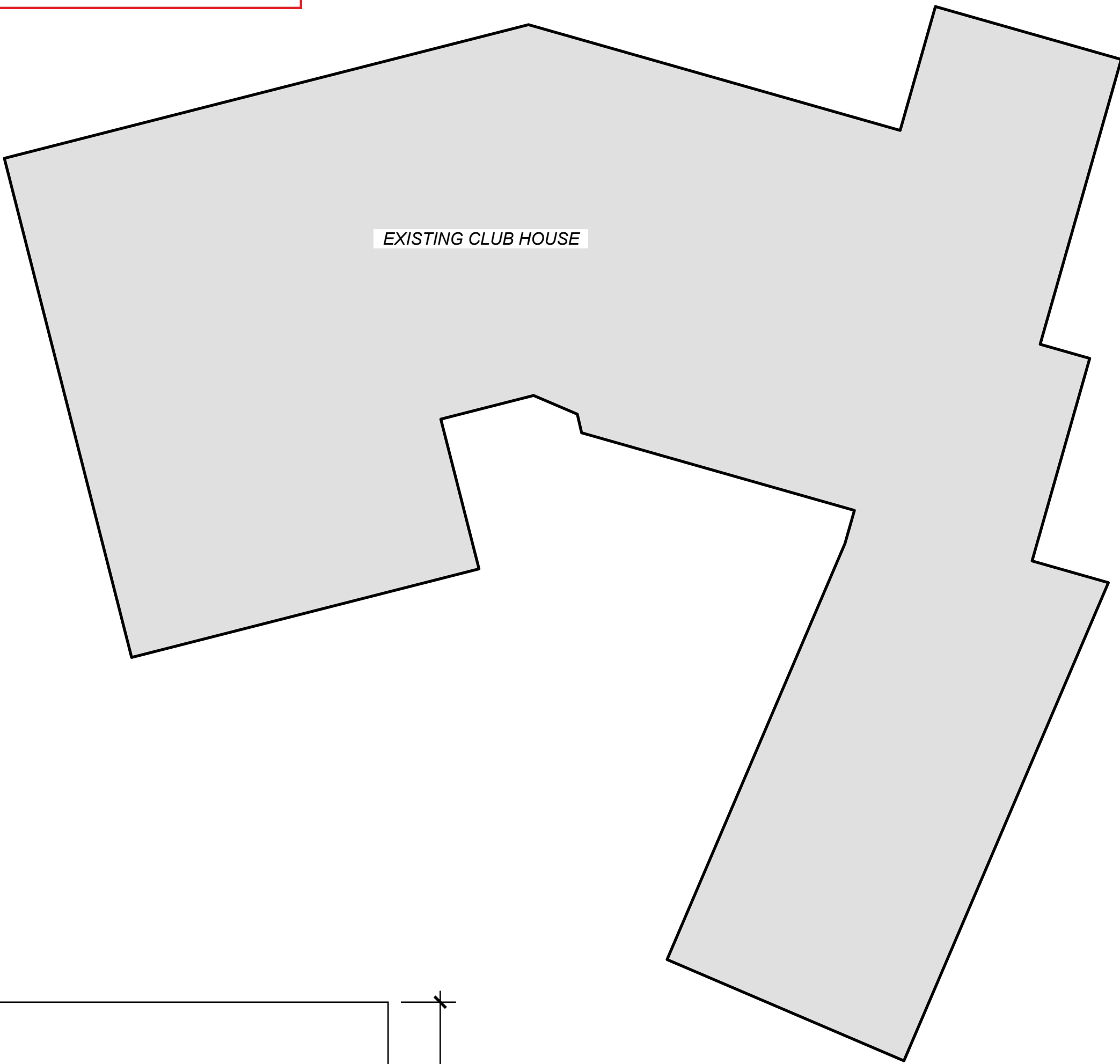
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City of Kelowna

DEVELOPMENT PLANNING



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- BEAM LOCATIONS & TYPES TBD

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KELOWNA PADDLE
CENTER

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Kelowna Paddle Center
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NEW BLDG
ROOF PLAN

1 NEW BLDG ROOF PLAN
A2.4 1:100

A2.4

SCHEDULE

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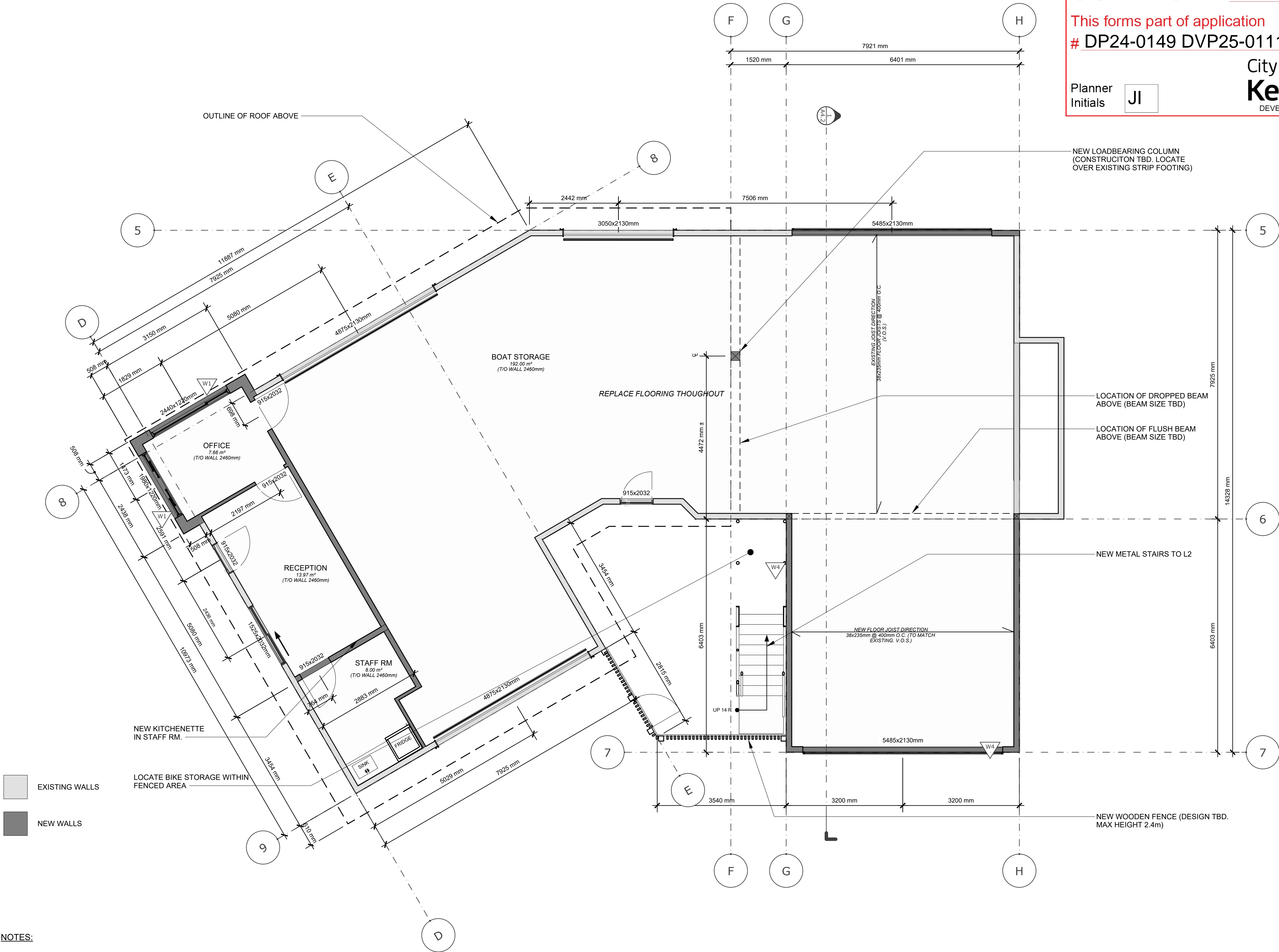
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CLUBHOUSE L1
PROPOSED

A2.9

1 CLUBHOUSE L1 PROPOSED
A2.9 1:50



NOTES:
- ALL NEW EXTERIOR DOORS
- ALL NEW ROLLER DOORS



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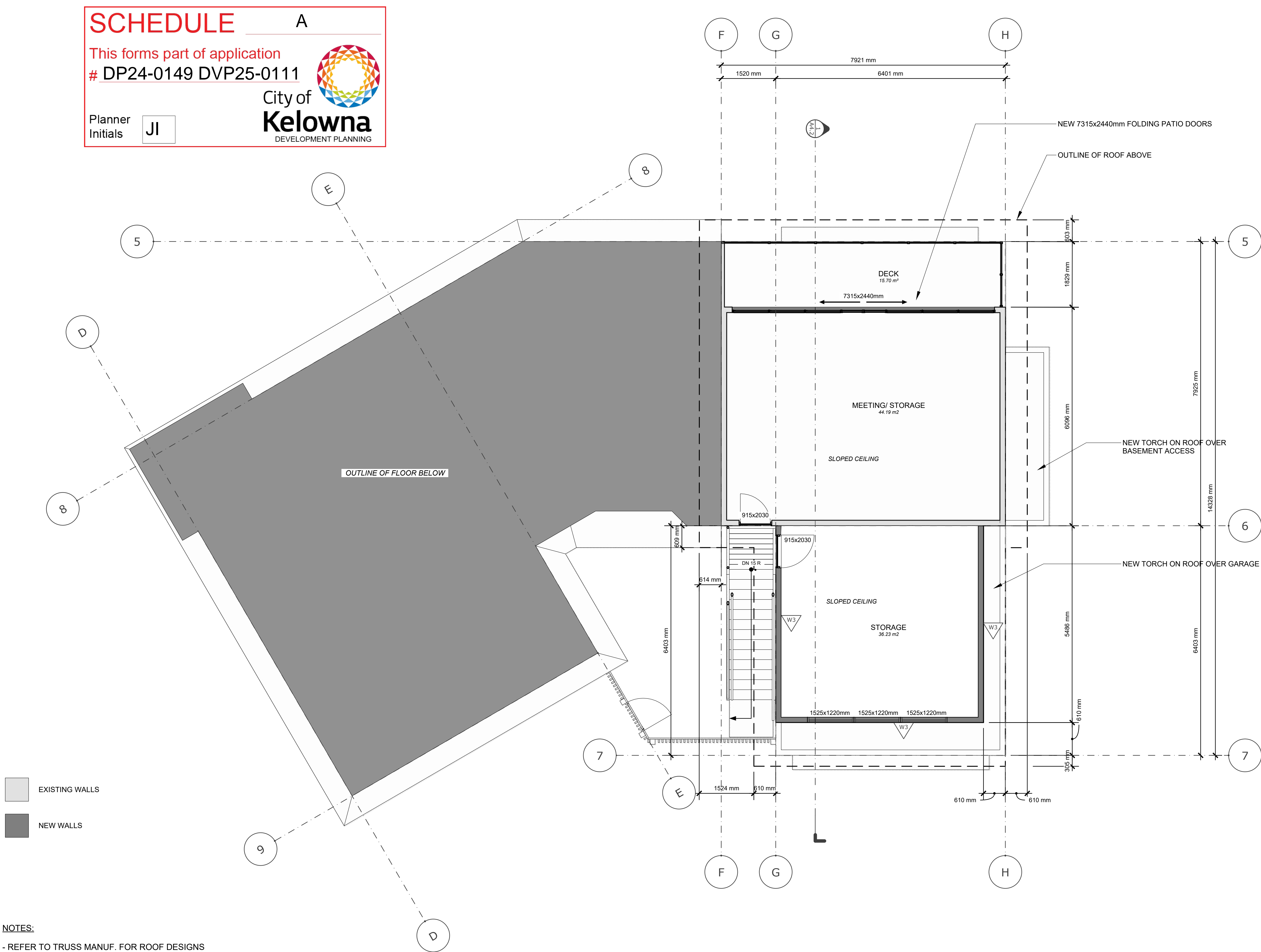
CLUBHOUSE L2
PROPOSED

A2.10

SCHEDULE A

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Planner
Initials **Jl**



NOTES:

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- ROOF MEMBER SIZE, DIRECTION, & SPACING TBD (REFER TO TRUSS MANUF DRAWINGS)
- BEAM LOCATIONS & TYPES TBD

1 CLUBHOUSE L2 PROPOSED
A2.10 1:50

A

Planner Initials JI

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KELOWNA PADDLE
CENTER

Kelowna Paddle Center
Project Type:
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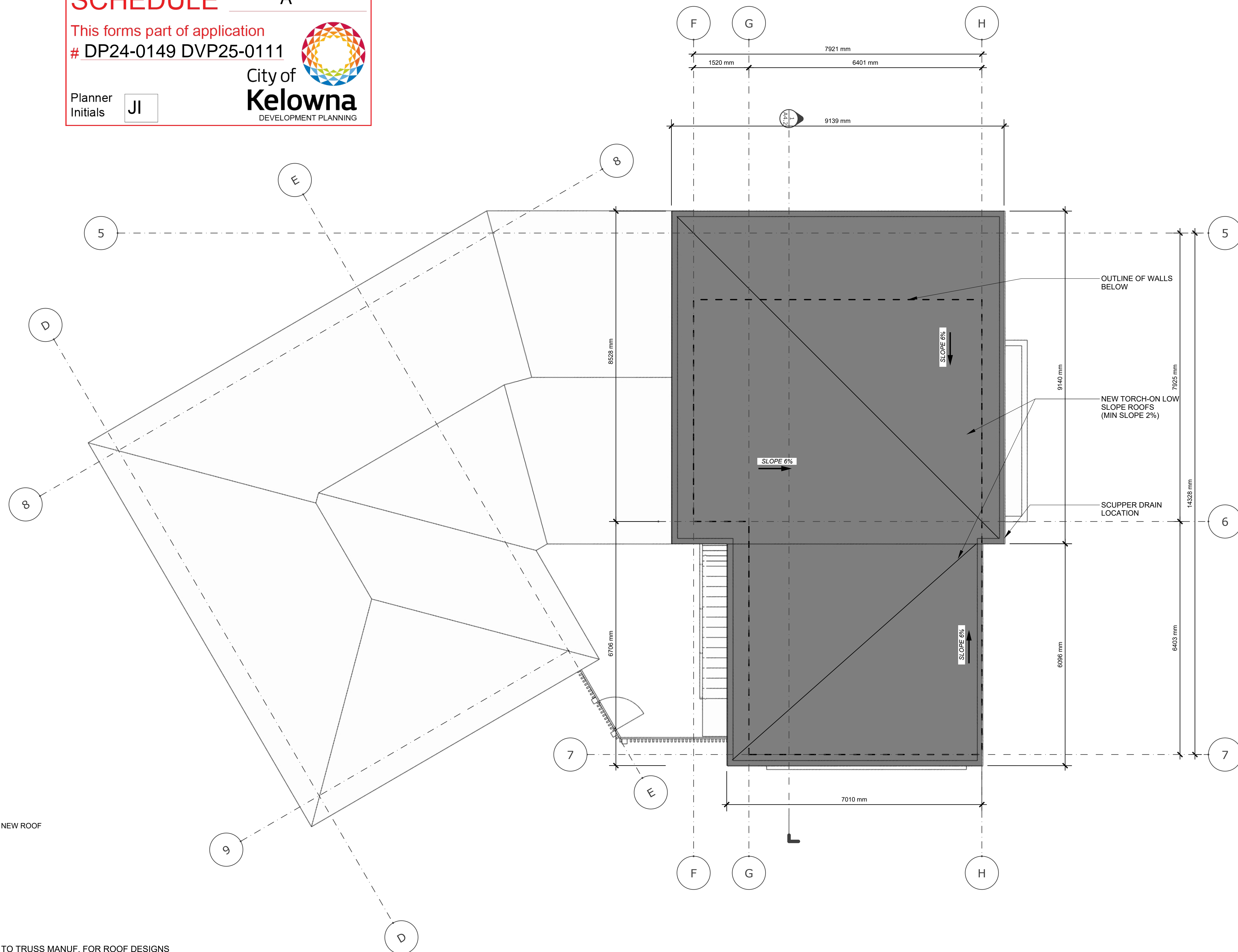
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CLUBHOUSE
PROPOSED
ROOF

A2.11

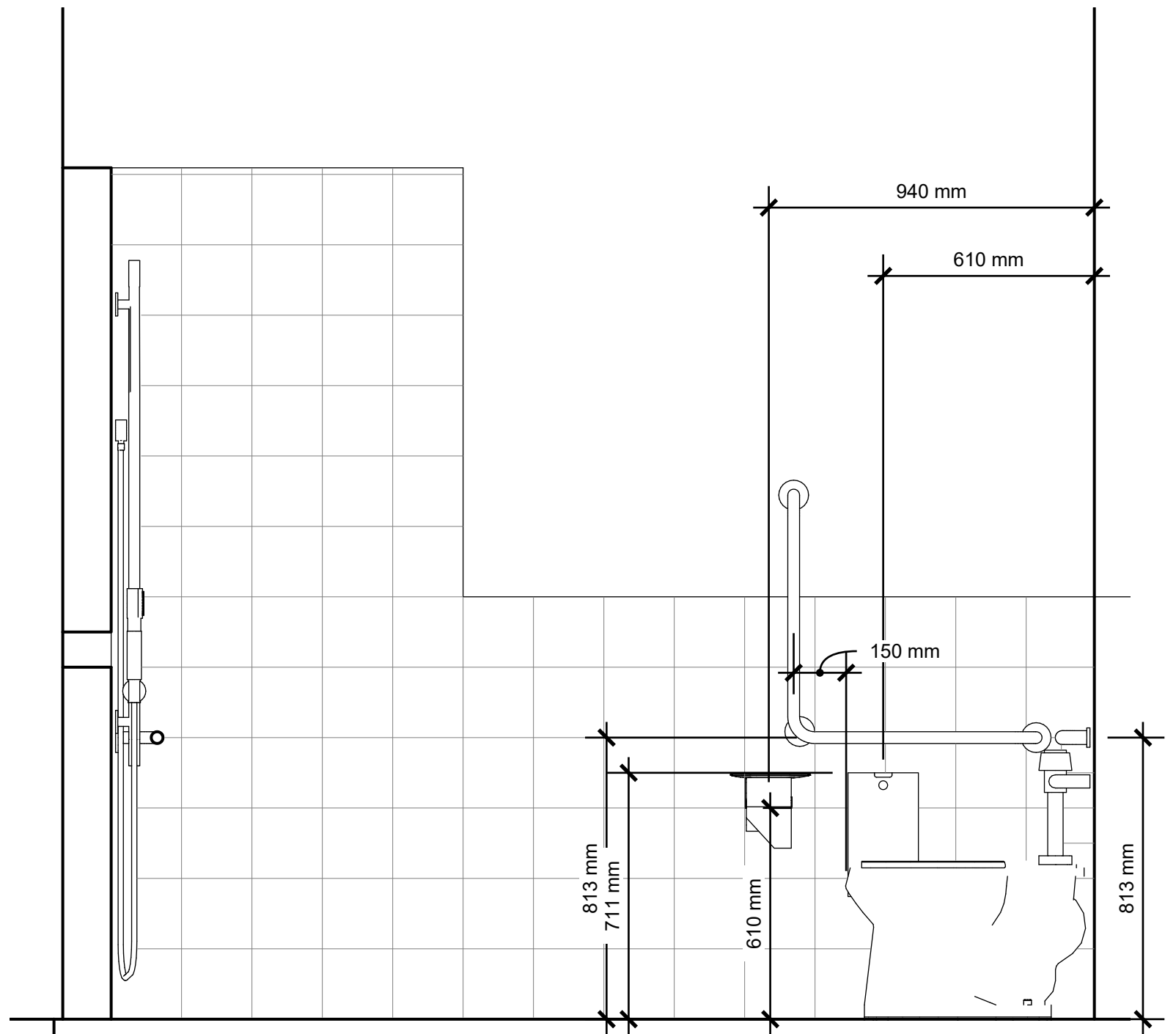
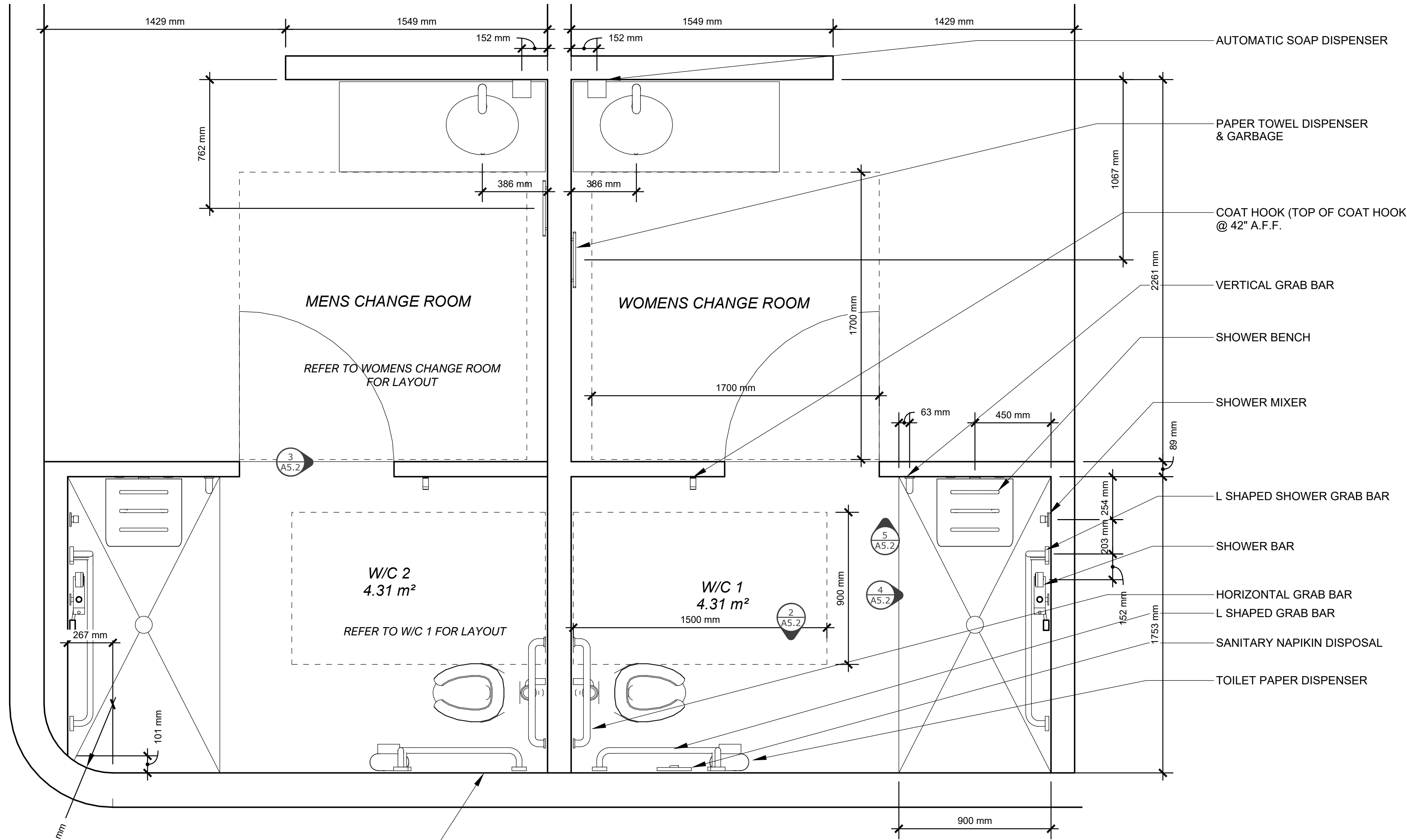


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1 CLUBHOUSE PROPOSED ROOF
A2.11 1:50



2 CHANGE ROOM W/C 1 NORTH ELEV.
A5.2 1:15

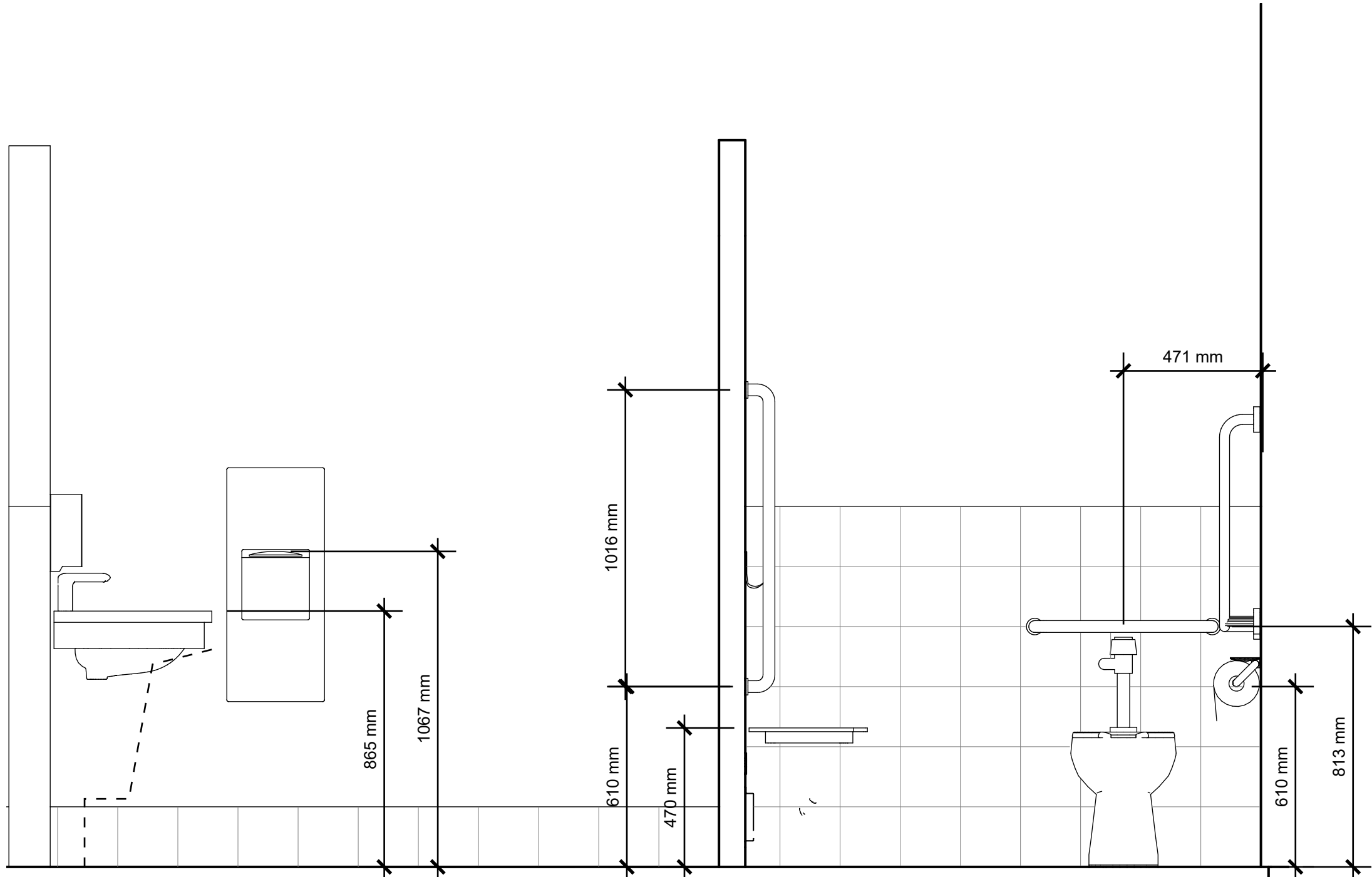
SCHEDULE

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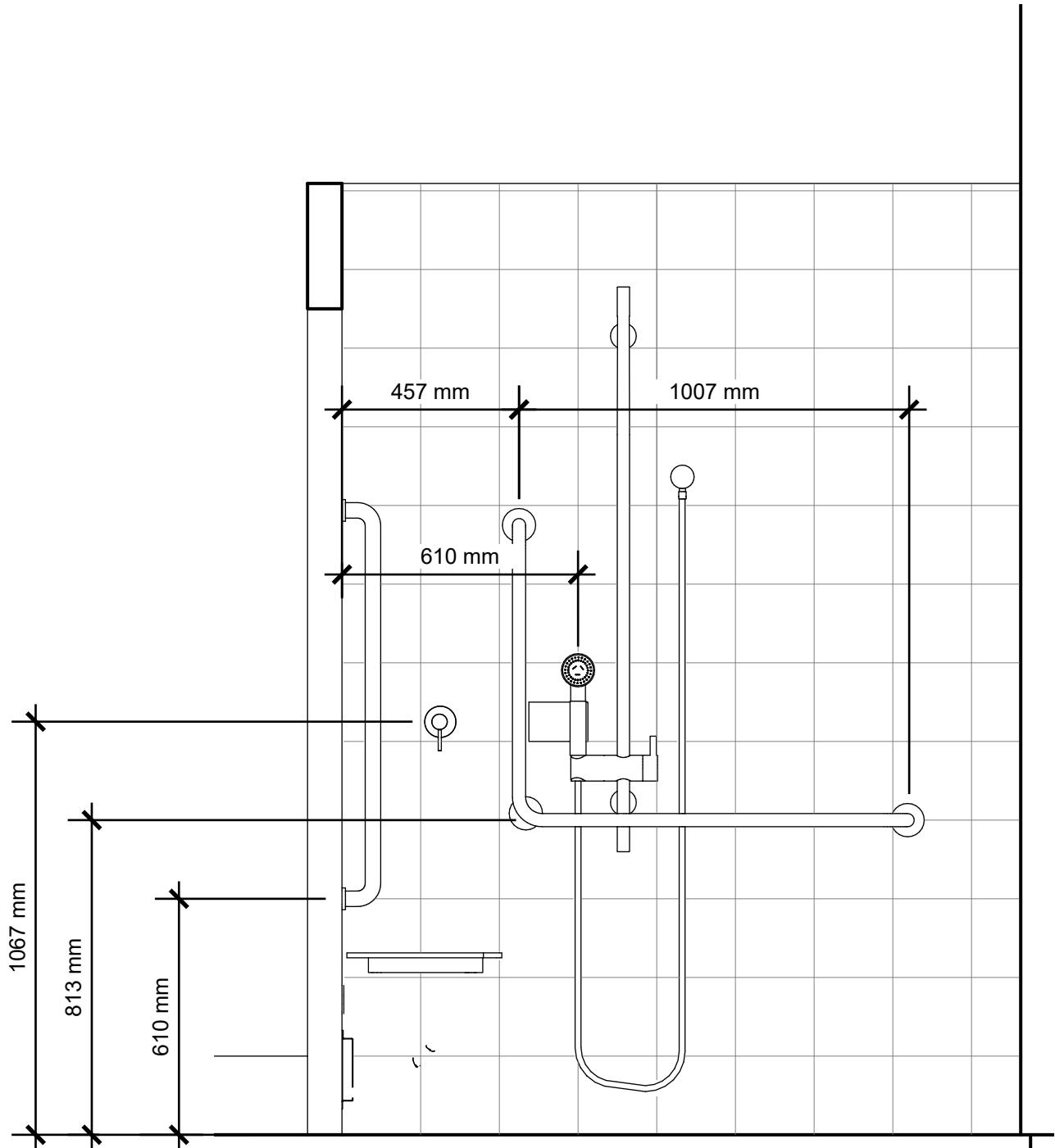
Planner
Initials JI

A

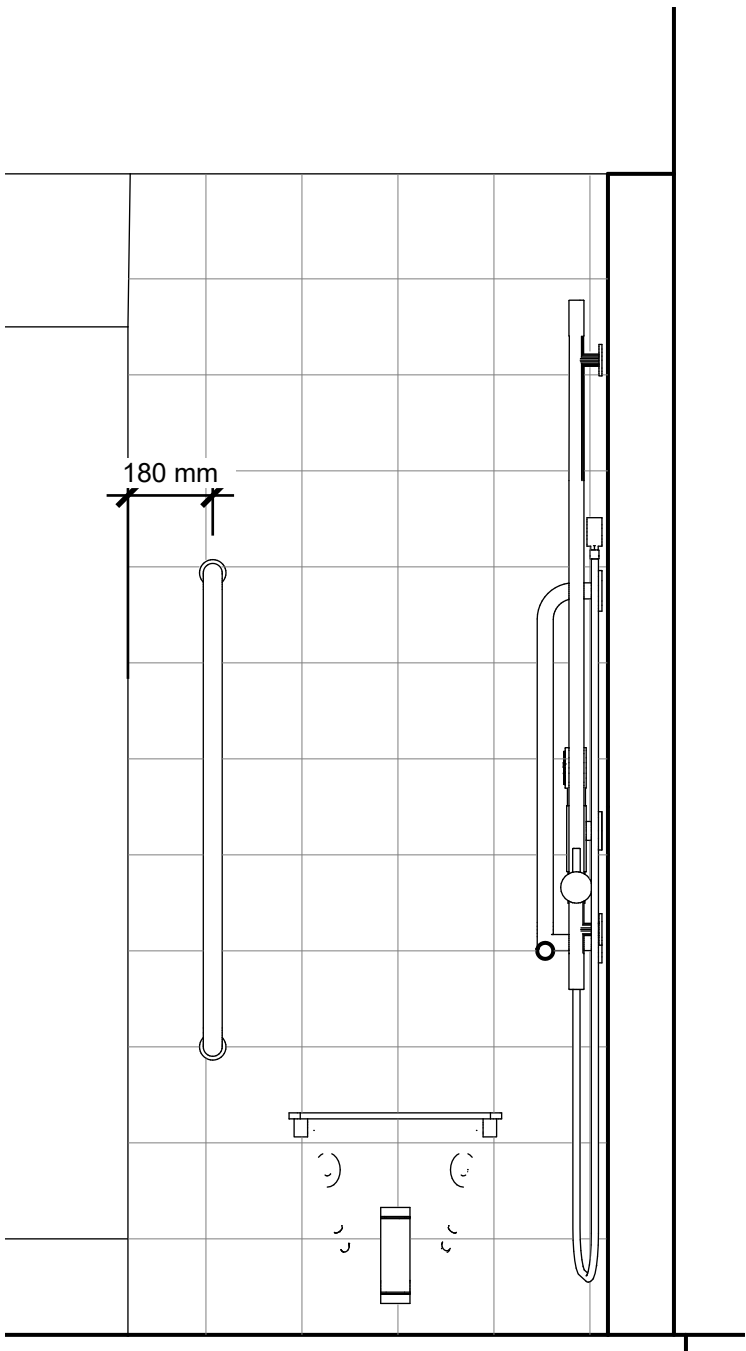

City of
Kelowna
DEVELOPMENT PLANNING



3 CHANGE ROOM W/C 2 EAST ELEV.
A5.2 1:15



4 CHANGE ROOM W/C 1 EAST ELEV.
A5.2 1:15



5 CHANGE ROOM W/C 2 NORTH ELEV.
A5.2 1:15



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KELOWNA PADDLE CENTER

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ENLARGED
CHANGE ROOM
PLANS

A5.2

CONNECT SIGN TO WALL & METAL POST
FOR ART SCREEN

METAL LOGO AT ENTRANCE
TO KPC FROM STREET
(DESIGN TBD)

CORTEN DISPLAY PANEL (TBD)

0.00m
T/O FLOOR

4.43m
T/O ROOF

3.37m
T/O WALL

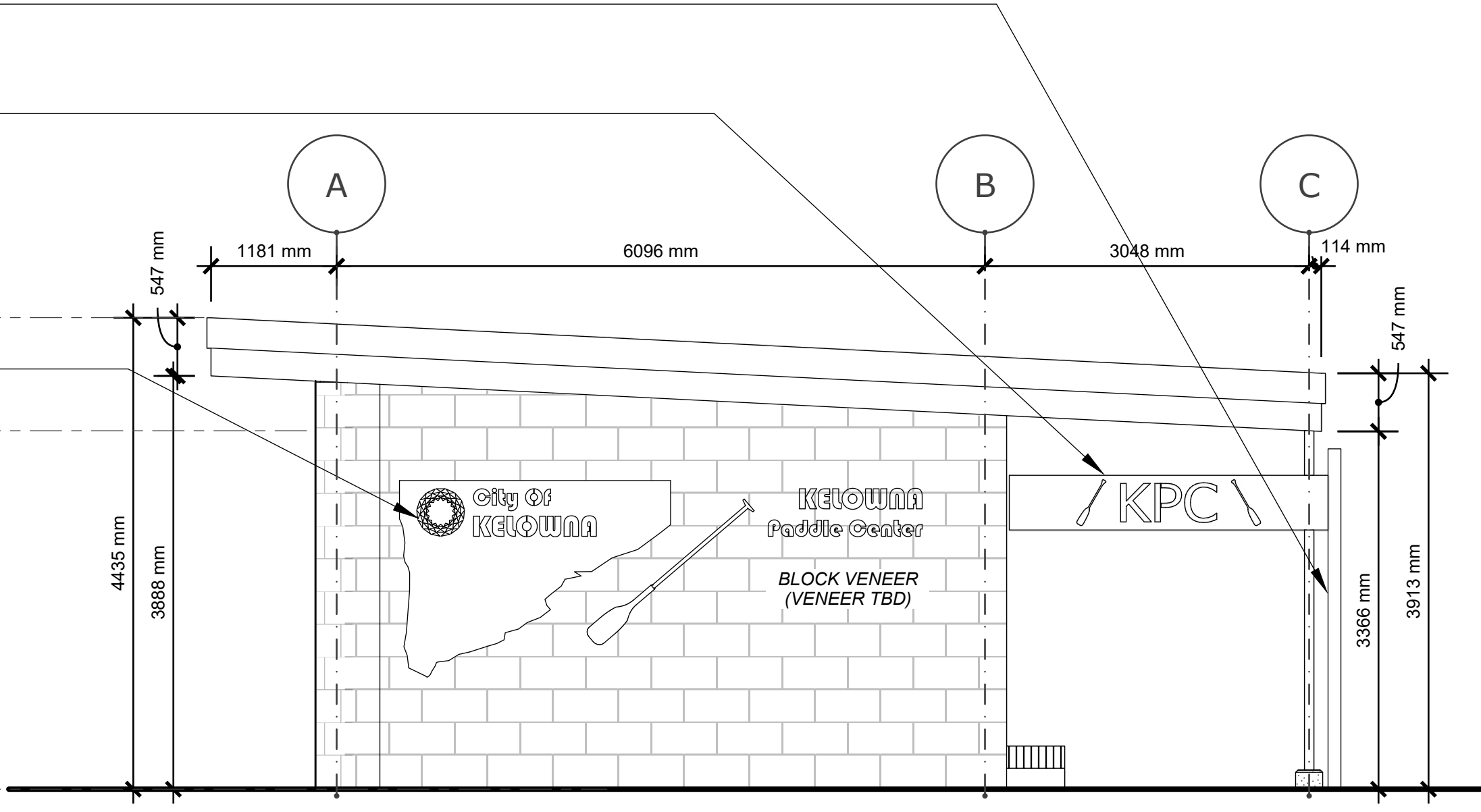
T&G WOOD SOFFIT
(WOOD TBD, FINISH TBD)

METAL LOGO AT ENTRANCE
TO KPC FROM PARK
(DESING TBD)

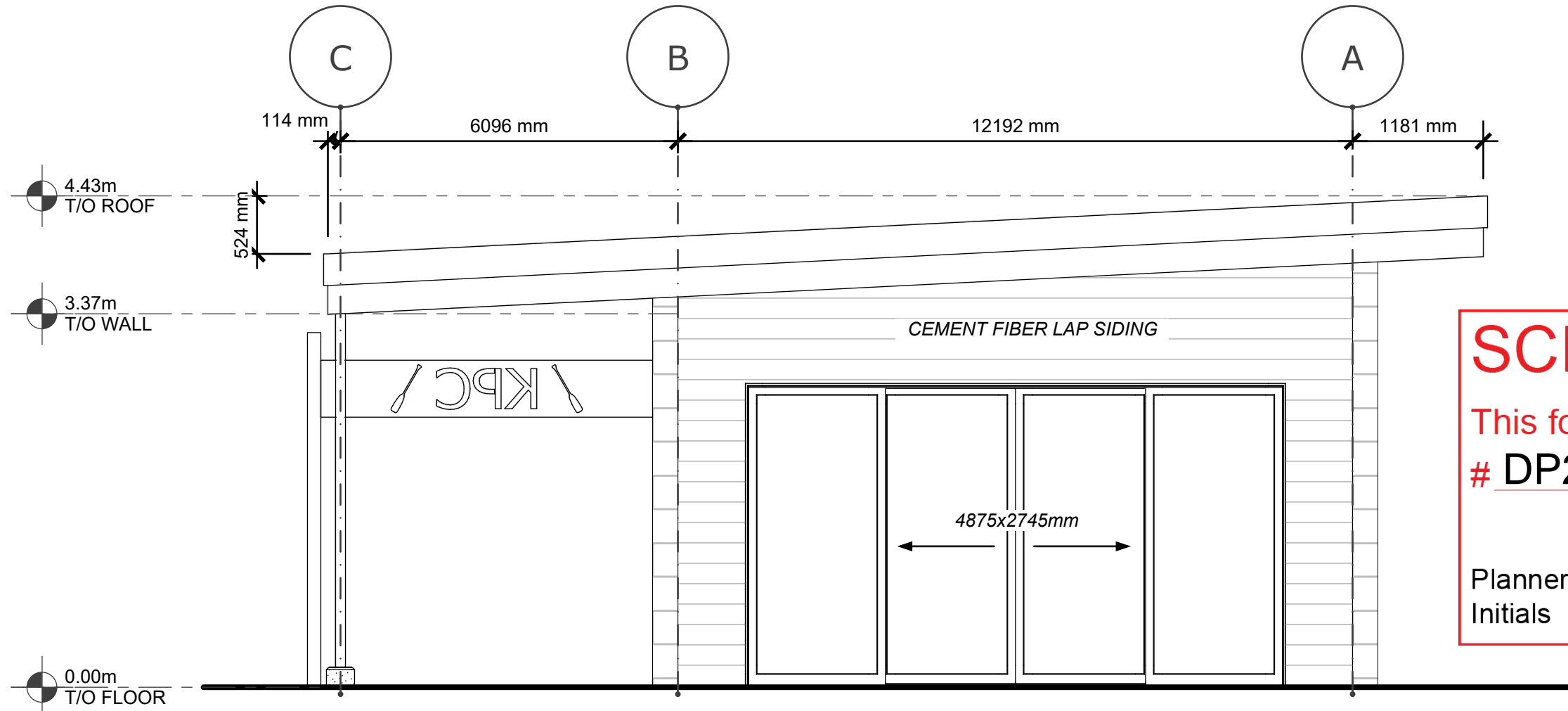
4.43m
T/O ROOF

3.37m
T/O WALL

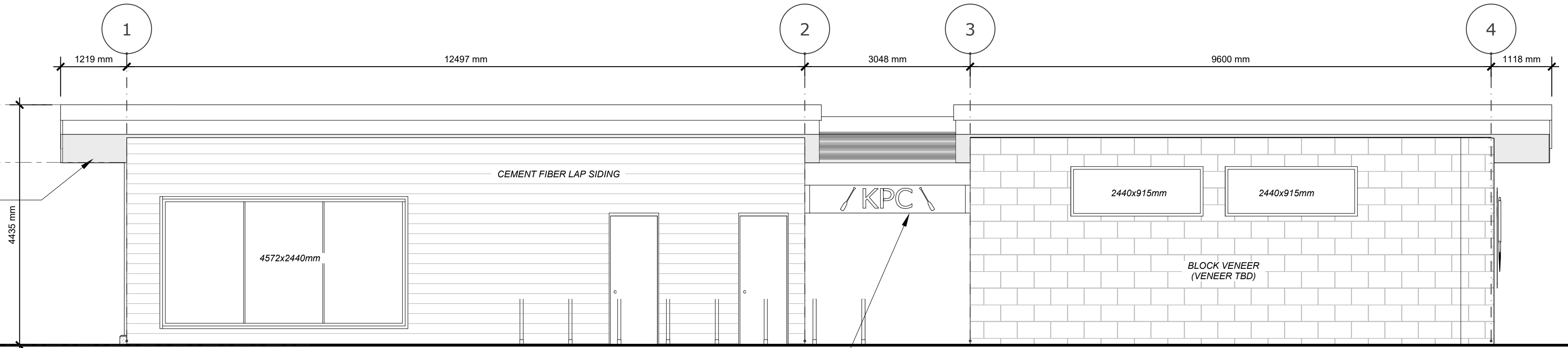
0.00m
T/O FLOOR



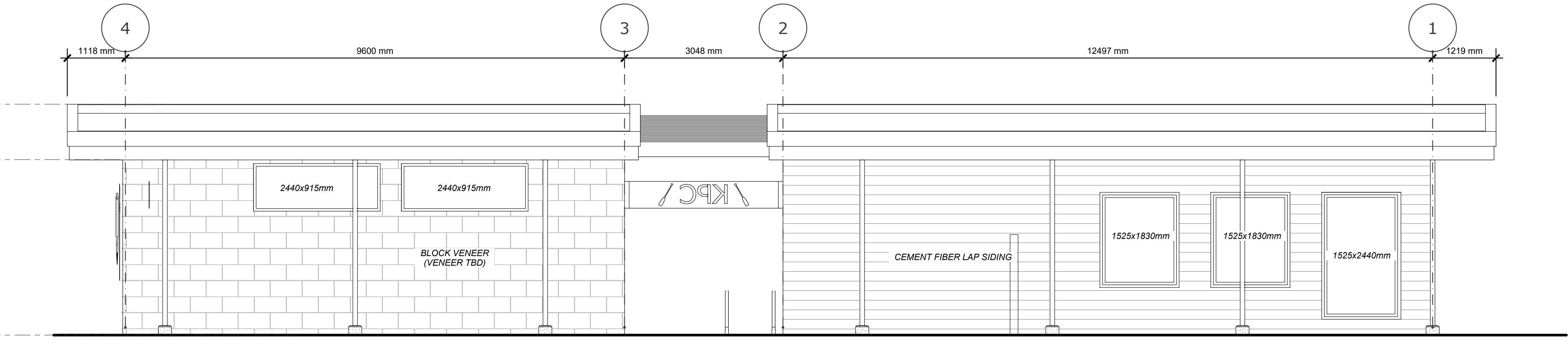
1 NEW BLDG SOUTH ELEV.
A3.1 1:50



2 NEW BLDG ELEVATIONS
A3.1 1:50



3 NEW BLDG WEST ELEV.
A3.1 1:50



4 NEW BLDG EAST ELEV.
A3.1 1:50



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SCHEDULE B

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DP24-0149 DVP25-0111

Planner
Initials JI



KELOWNA PADDLE CENTER

Street: 3020 Abbott St
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Kelowna Paddle Center
Project Type:
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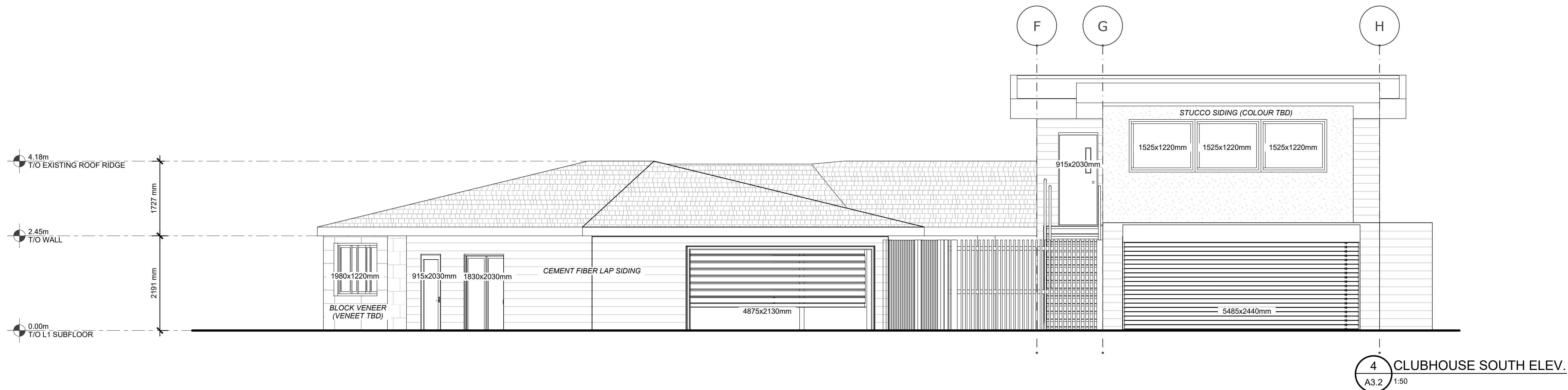
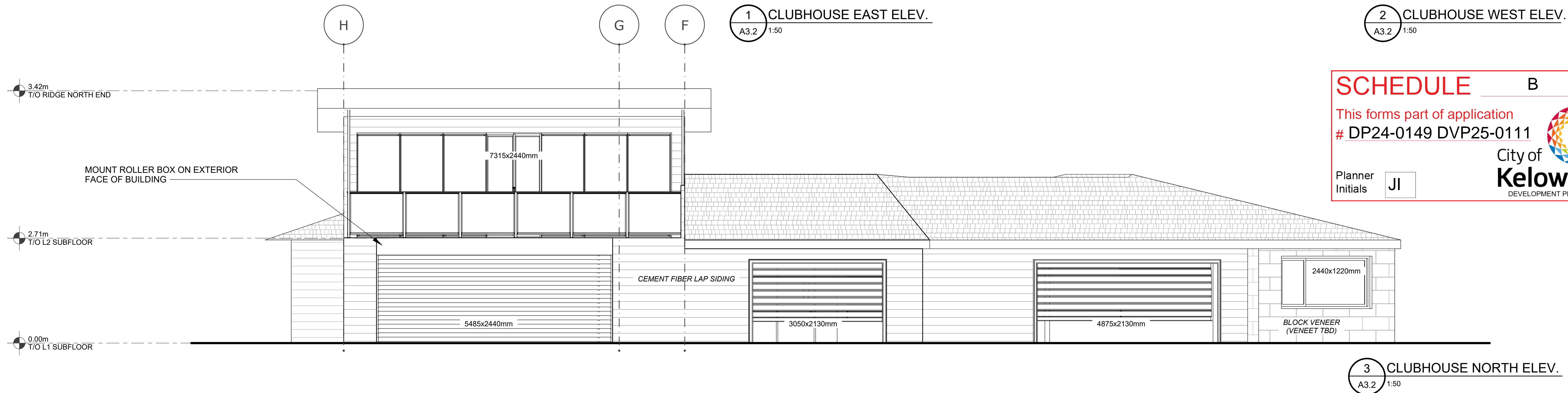
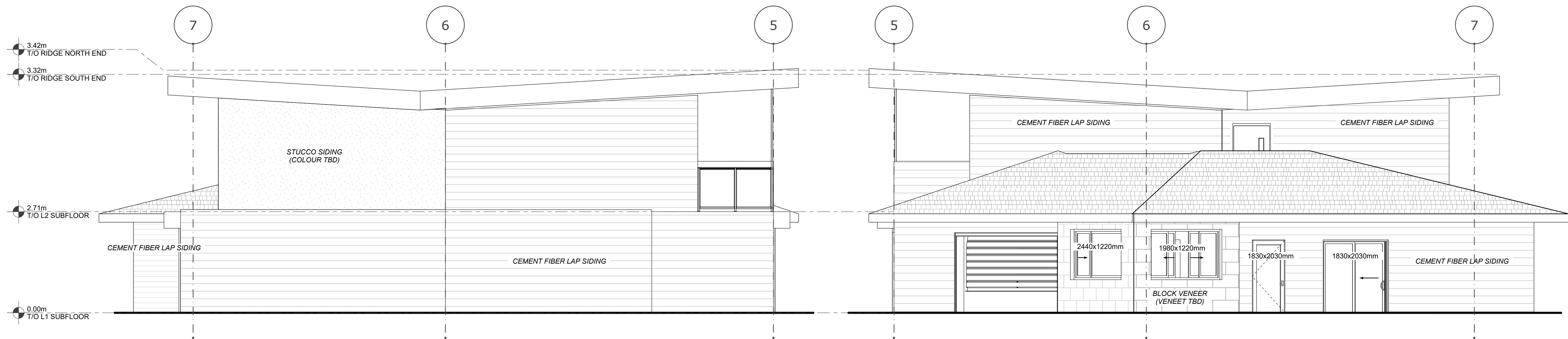
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NEW BLDG ELEVATIONS

A3.1



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SCHEDULE

B

This forms part of application

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Planner

Initials

JL

City of

Kelowna

DEVELOPMENT PLANNING

KELOWNA PADDLE CENTER

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CLUBHOUSE
ELEVATIONS

A3.2



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KELOWNA PADDLE CENTER

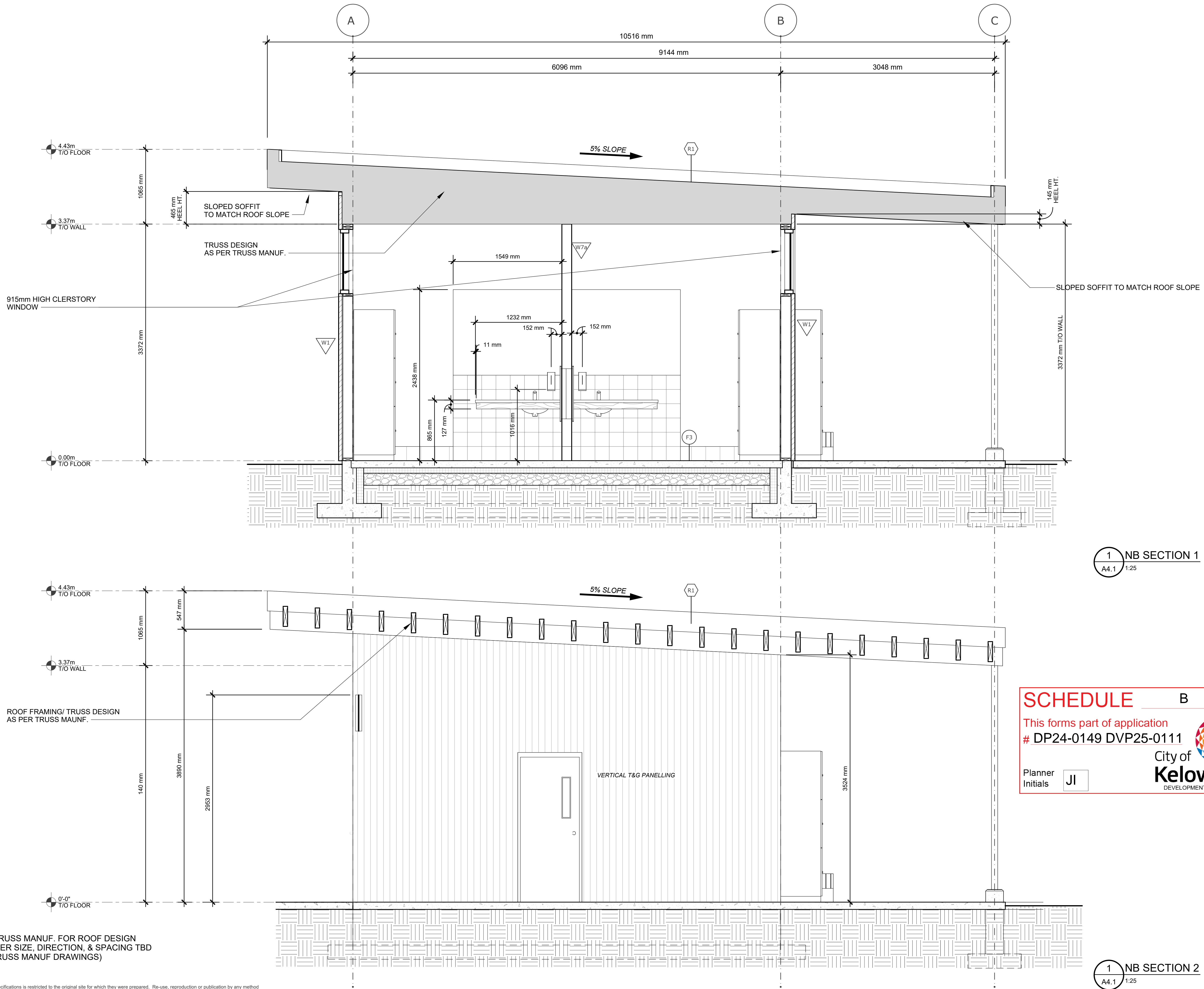
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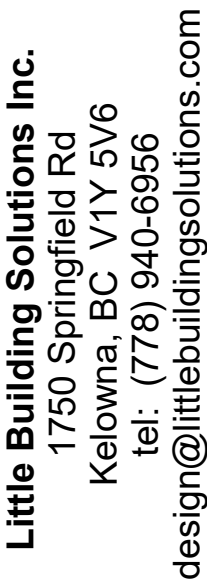
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NEW BLDG
SECTIONS 1

A4.1





Street: 3020 Abbott St
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KELOWNA PADDLE
CENTER

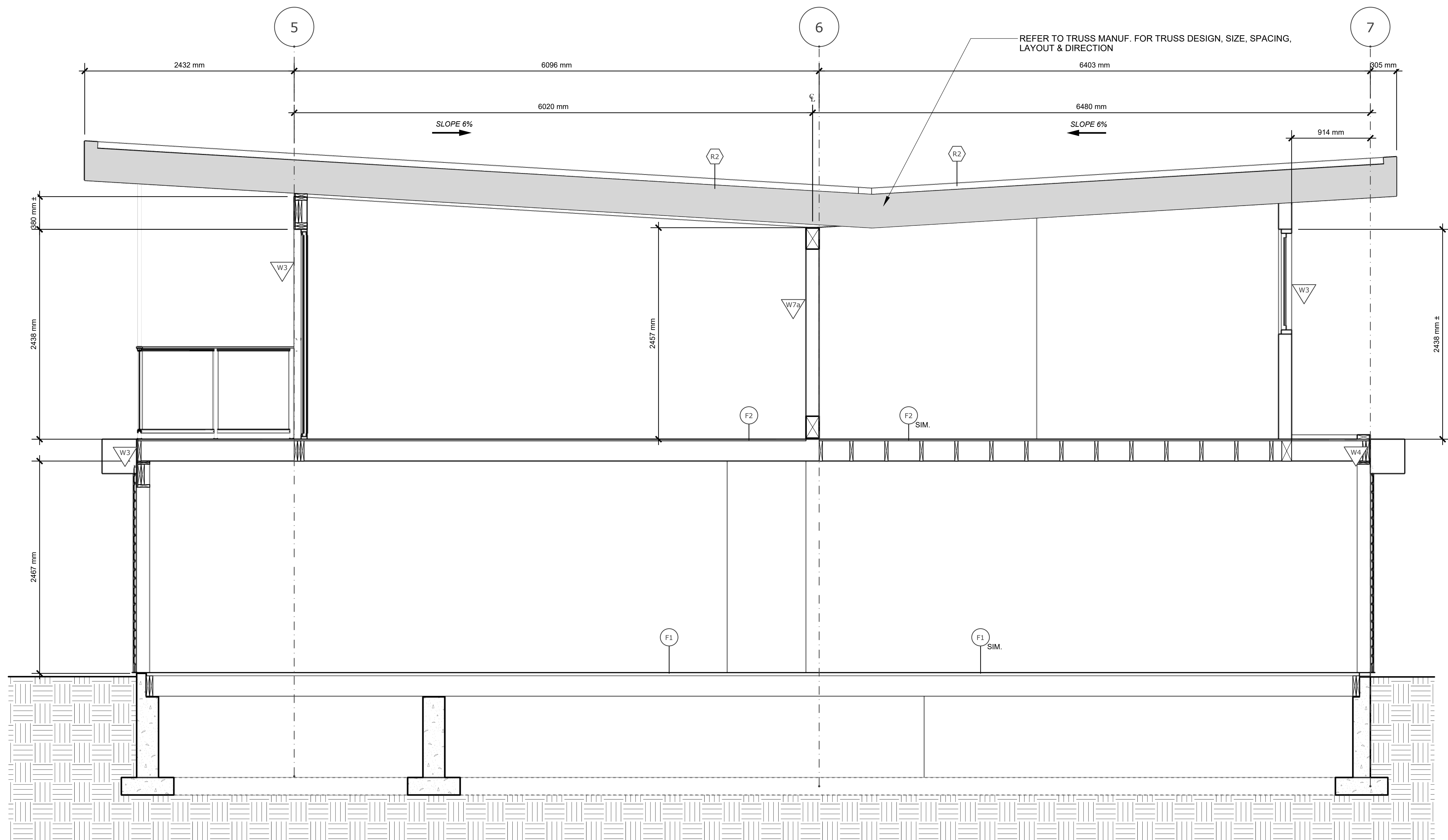
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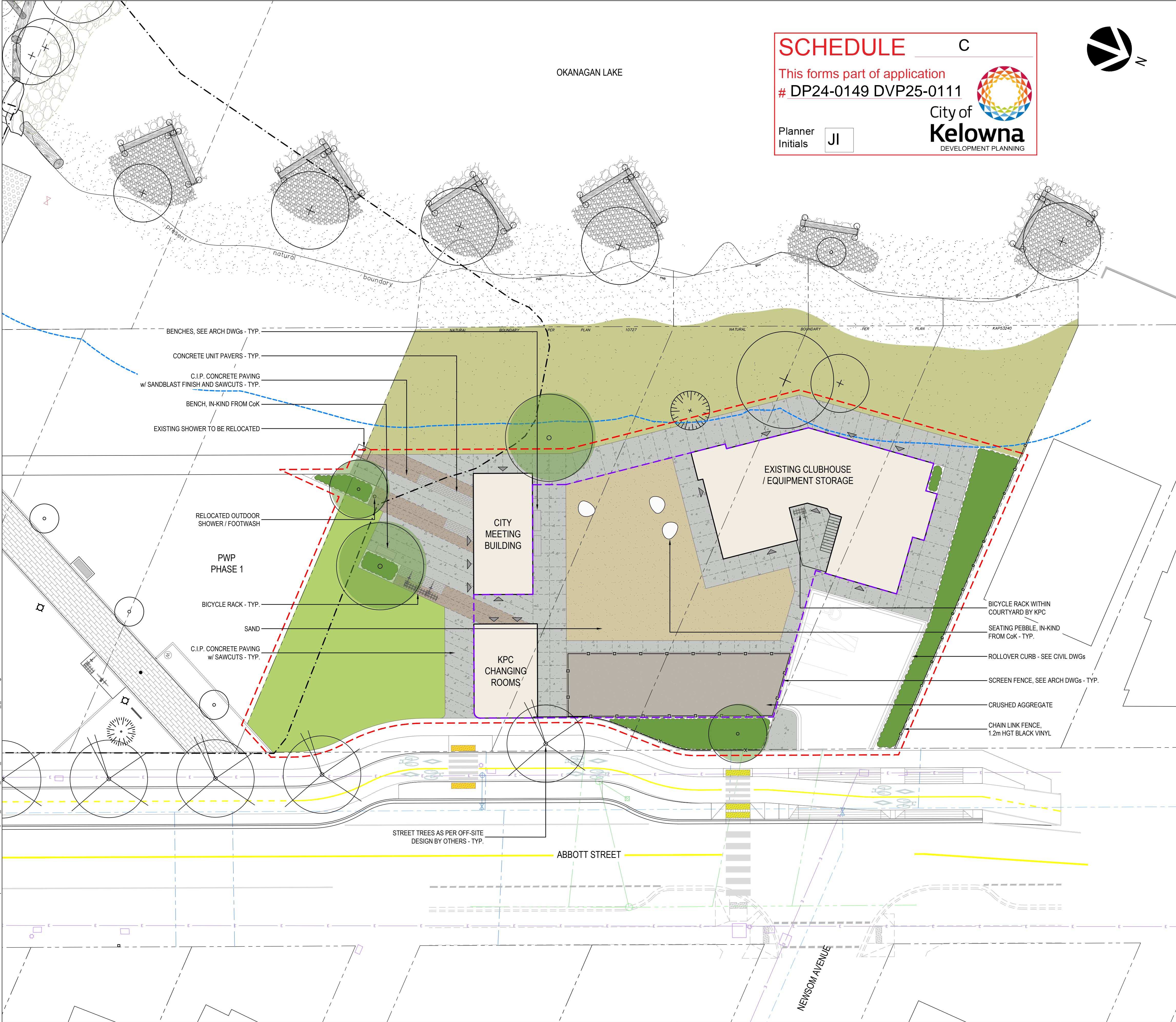
CLUBHOUSE SECTION 1

A4.2



1 CLUBHOUSE SECTION 1
A4.2 1:25

<h1 style="margin: 0; color: #C00000;">SCHEDULE</h1> <p style="margin: 10px 0 0 0; color: #C00000;">This forms part of application</p> <p style="margin: 0 0 0 0; color: #000080; font-weight: bold; font-size: 1.2em;"># DP24-0149 DVP25-0111</p> <div style="margin-top: 20px; display: flex; align-items: center;"> <div style="margin-right: 10px;">Planner Initials</div> <div style="border: 1px solid black; width: 60px; height: 60px; display: flex; align-items: center; justify-content: center; font-size: 2em; font-weight: bold;">JI</div> </div>	<div style="margin-bottom: 20px;"> <div style="font-size: 2em; font-weight: bold; margin: 0;">B</div> <hr style="border: 0.5px solid black; margin: 5px 0;"/> </div> <div style="margin-bottom: 20px;">  </div> <div> <div style="margin: 0 auto; text-align: center;"> City of Kelowna <small>DEVELOPMENT PLANNING</small> </div> </div>
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SCHEDULE

C

This forms part of application

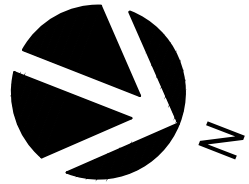
DP24-0149 DVP25-0111

Planner Initials

JL

City of Kelowna

DEVELOPMENT PLANNING



GENERAL LEGEND

LIMIT OF WORK

PROPERTY LINE

15m NATURAL BOUNDARY OFFSET (ESTABLISHED IN PHASE 1)

ARCHAEOLOGICAL SITE BOUNDARY 2024

BUILDING ENTRY

COST ESTIMATE BOUNDARY

SITE FEATURES LEGEND

BENCH - IN-KIND FROM CITY

BICYCLE RACK

CHAIN LINK FENCE

C.I.P. CONCRETE PAVING w/ SAWCUTS

C.I.P. CONCRETE PAVING w/ SANDBLAST FINISH AND SAWCUTS

CONCRETE UNIT PAVERS

CRUSHED AGGREGATE

OUTDOOR SHOWER

SAND

SCREEN FENCE

SEATING PEBBLE - IN-KIND FROM CITY

PLANTING LEGEND

EXISTING CONIFER TO REMAIN

EXISTING DECIDUOUS TO REMAIN

ORNAMENTAL PLANTING

ORNAMENTAL TREE

REJUVENATED LAWN

SOD LAWN

DEVELOPMENT PERMIT NOTES:

1. PLANT MATERIALS AND CONSTRUCTION METHODS SHALL CONFORM TO MINIMUM STANDARDS ESTABLISHED IN THE CANADIAN LANDSCAPE STANDARD (CURRENT EDITION).

2. THE LANDSCAPE DESIGN DESIGNATED HEREIN IS CONCEPTUAL BUT REFLECTS THE MINIMUM ACCEPTABLE QUALITY AND SIZE.

3. PLANT MATERIAL SELECTIONS ARE CONCEPTUAL ONLY. FINAL PLANTING SELECTIONS MAY VARY DEPENDING UPON AVAILABILITY.

4. ALL PLANTING BEDS SHALL HAVE APPROVED MULCH.

5. ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN EFFICIENT AUTOMATIC IRRIGATION SYSTEM.

6. THIS DRAWING DEPICTS FORM AND CHARACTER AND IS TO BE USED FOR DEVELOPMENT PERMIT SUBMISSION ONLY. IT IS NOT INTENDED FOR USE AS A CONSTRUCTION DOCUMENT.

REPRESENTATIVE PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	MATURE PLANT SIZE (H X W)	SIZE
TREES			
<i>Acer truncatum</i> 'Main Street'	MAIN STREET SHANTUNG MAPLE	10.00m x 8.00m	60mm CAL.
<i>Cercis canadensis</i>	EASTERN REDBUD	10.00m x 8.00m	60mm CAL.
GRASSES / PERENNIALS / SHRUBS			
<i>Aronia melanocarpa</i> 'Low Scape Mound'	LOW SCAPE MOUND ARONIA	0.60m x 0.60m	#3
<i>Buxus</i> 'Green Gem'	GREEN GEM BOXWOOD	0.50m x 0.50m	#3
<i>Lavandula</i> 'Hidcote Superior'	HIDCOTE SUPERIOR LAVENDER	0.45m x 0.90m	#1
<i>Sesleria autumnalis</i>	AUTUMN MOOR GRASS	0.75m x 0.50m	#1

USER: LeeB

CTB: ...

LAYOUT: LDP-1

PLOTTED: 2025-05-23 - 11:07 AM

700 - 1631 DICKSON AVENUE

KELOWNA, BC

CANADA V1Y 0B5

PHONE: 250-860-5500

www.wsp.com

WSP

BASE

BL

DESIGN

RF

APPROVED

RF

DATE

2025-03-03

SCALE

HORIZ. 1:200

VERT.

SCALE NOT ACCURATE

OVER LONG DISTANCES

CITY OF KELOWNA

DESIGN AND CONSTRUCTION

KPC / PWP PHASE 2

LANDSCAPE PLAN

DIVISION

PARKS

DRAWING NO.

LDP

1

REV NO.

D

NO.

YY/MM/DD

BY

REVISION

CH'KD

D

25/05/23

BL

RE-ISSUED FOR DEVELOPMENT PERMIT

RF

C

25/04/07

BL

RE-ISSUED FOR DEVELOPMENT PERMIT

RF

B

25/03/17

BL

RE-ISSUED FOR DEVELOPMENT PERMIT

RF

A

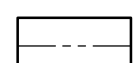
25/03/07

BL

ISSUED FOR DEVELOPMENT PERMIT

RF

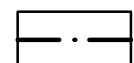
LIMIT OF WORK



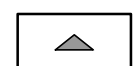
PROPERTY LINE



15m NATURAL BOUNDARY OFFSET (ESTABLISHED IN PHASE 1)



ARCHAEOLOGICAL SITE BOUNDARY 2024



BUILDING ENTRY



COST ESTIMATE BOUNDARY

HIGH WATER REQUIREMENTS



AVERAGE WATER REQUIREMENTS

This forms part of application

DP24-0149 DVP25-0111



City of Kelowna
DEVELOPMENT PLANNING

Planner Initials JI

JI

D	25/05/23	BL	RE-ISSUED FOR DEVELOPMENT PERMIT		RF
C	25/04/07	BL	RE-ISSUED FOR DEVELOPMENT PERMIT		RF
B	25/03/19	BL	RE-ISSUED FOR DEVELOPMENT PERMIT		RF
A	25/03/07	BL	ISSUED FOR DEVELOPMENT PERMIT		RF
NO.	YY/MM/DD	BY	REVISION		CH'KD

BASE	BL	DESIGN	RF
APPROVED		RF	
DATE		2025-03-03	
SCALE		HORIZ. 1:200 VERT.	
SCALE NOT ACCURATE OVER LONG DISTANCES			

CITY OF KELOWNA
DESIGN AND CONSTRUCTION

KPC / PWP PHASE 2
HYDROZONE PLAN

DIVISION

PARKS

DRAWING NO.
LDP
2

REV NO	
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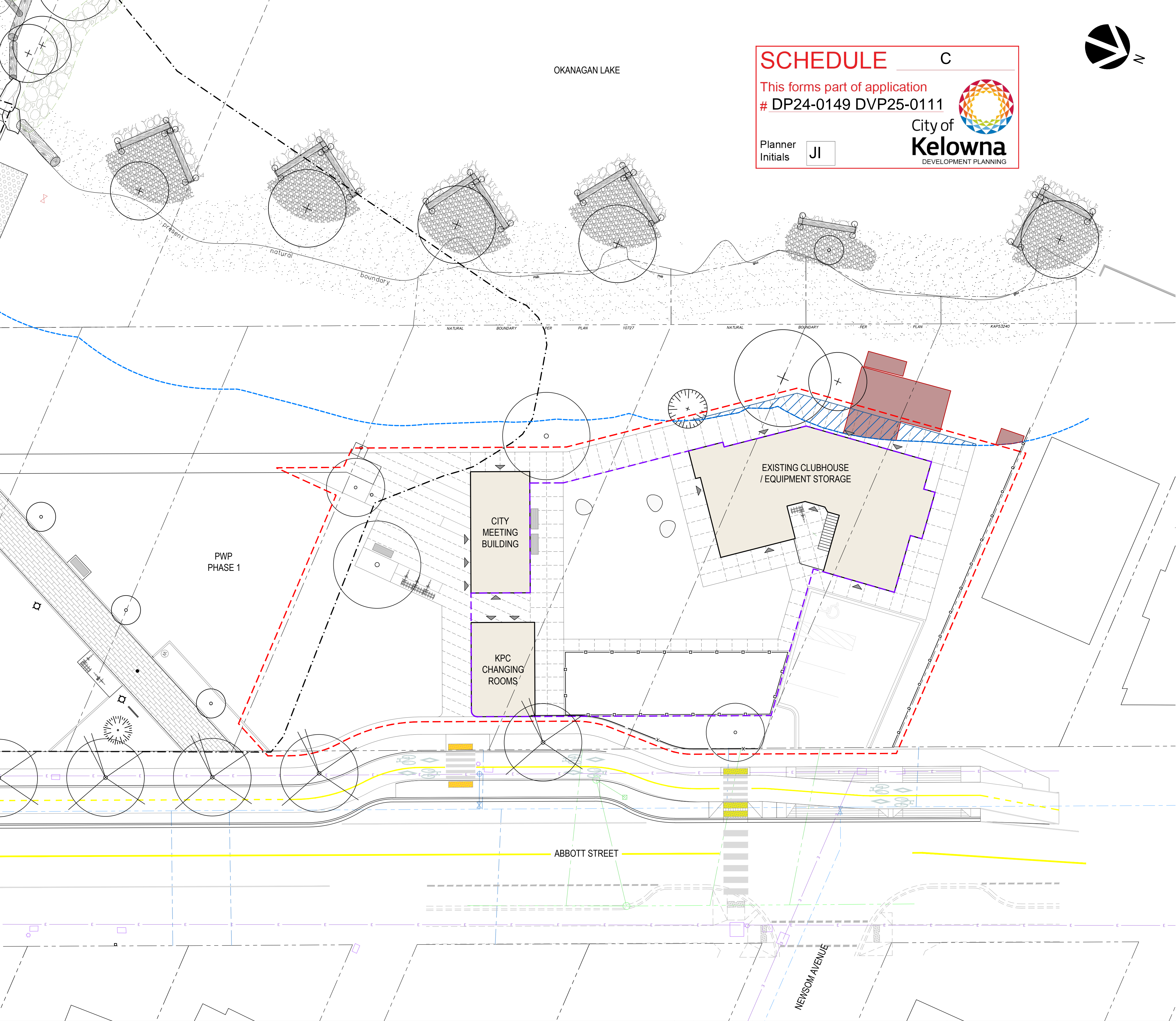
700 - 1631 DICKSON AVENUE
KELOWNA, BC
CANADA V1Y 0B5
PHONE: 250-980-5500
www.wsp.com

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USER: LesB
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USER: LeeB
CTB:
LAYOUT: LDP3
PLOTTED: 2025-05-23 - 11:08 AM

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SCHEDULE

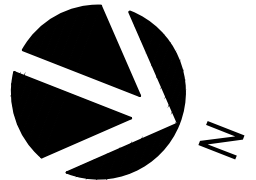
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This forms part of application
DP24-0149 DVP25-0111

Planner
Initials JI

City of Kelowna

DEVELOPMENT PLANNING



- GENERAL LEGEND
- LIMIT OF WORK
- PROPERTY LINE
- 15m NATURAL BOUNDARY OFFSET (ESTABLISHED IN PHASE 1)
- ARCHAEOLOGICAL SITE BOUNDARY 2024
- BUILDING ENTRY
- COST ESTIMATE BOUNDARY
- RESTORATION LEGEND
- CONCRETE REMOVED WITHIN 15m NATURAL BOUNDARY OFFSET - 65m2
- CONCRETE ADDED WITHIN 15m NATURAL BOUNDARY OFFSET - 42m2
- RESTORATION NOTES:
1. PLANT SCHEDULE:
FINAL PLANT SCHEDULE IS SUBJECT TO CHANGE DEPENDING ON PLANT MATERIAL AVAILABILITY. CONTRACTORS SHALL GET APPROVAL FROM LANDSCAPE ARCHITECT AND ENVIRONMENTAL PROFESSIONAL PRIOR TO MAKING ANY SUBSTITUTIONS. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ANY UNAPPROVED MATERIAL.

2. LAYOUT:
PLANT PLACEMENT TO BE FIELD FITTED BY AN EXPERIENCED ENVIRONMENTAL CONTRACTOR WITH SUPERVISION BY A QUALIFIED ENVIRONMENTAL CONSULTANT.

3. SITE PREPARATION:
CONTRACTOR IS RESPONSIBLE FOR GENERAL SITE CLEAN UP.

4. SOURCE:
ALL PLANT MATERIAL TO BE NURSERY GROWN STOCK AND SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE CANADIAN NURSERY TRADES ASSOCIATION FOR SIZE, HEIGHT, SPREAD, GRADING, QUALITY, AND METHOD OF CULTIVATION.

5. GROWING MEDIUM:
IMPORT GROWING MEDIUM SHALL BE PLACED IN PLANTING POCKETS AT MIN. DEPTH NOTED. IMPORTED GROWING MEDIUM IS TO MEET GROWING MEDIUM STANDARDS FOR PLANTING AREAS, PLANTERS, SHRUBS AND GROUNDCOVERS AS IDENTIFIED IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARDS.

7. GROWING MEDIUM DEPTHS:
TREES PITS: 1000mm
SHRUBS: 450mm
LAWN: 150mm
SEED: 50mm

8. GROWING MEDIUM TESTING:
CONTRACTOR IS RESPONSIBLE FOR PROVIDING SOIL ANALYSIS AND AMENDING AS REQUIRED PRIOR TO PLACEMENT ON SITE. CONTRACTOR WILL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ANY UNAPPROVED MATERIAL. GROWING MEDIUM TEST MUST BE NO MORE THAN 3 MONTHS OLD.

9. MULCH:
THE CONTRACTOR SHALL INSTALL APPROVED MULCH AT 75mm DEPTH ON ALL PLANTING AREAS AS SHOWN ON THE DRAWINGS. NO PLASTIC FILM OR WEED BARRIER IS TO BE INSTALLED UNLESS OTHERWISE SPECIFIED IN THE DRAWINGS.

10. INSPECTIONS:
CONTRACTOR IS TO PROVIDE A CITY OF KELOWNA APPROVED QUALIFIED SITE INSPECTOR FOR ALL WORKS WITHIN LIMIT OF WORK.

11. ALL SHRUB AND TREE PRESERVATION SHALL BE IN ACCORDANCE WITH CITY OF KELOWNA'S TREE PRESERVATION POLICY AS OUTLINED BY THE PARKS SERVICES - URBAN FORESTRY DIVISION. MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD.

12. IRRIGATION:
A TEMPORARY IRRIGATION SYSTEM SHALL BE INSTALLED IN ALL RESTORATION AREAS. THE IRRIGATION SYSTEM WILL BE REMOVED ONCE PLANT MATERIAL IS ESTABLISHED.

13. NATIVE MATERIAL AND EXISTING ROCKS ALONG SHORELINE (BETWEEN EXISTING SHORELINE AND HIGH WATER LINE (HWL)) IS TO REMAIN UNDISTURBED. ALL MAN-MADE DEBRIS SUCH AS METALS AND GARBAGE ARE TO BE REMOVED FROM BETWEEN EXISTING SHORELINE AND HWL.

14. ANIMAL CONTROL:
BEAVER CONTROL WIRING (HARDWARE CLOTH) TO BE INSTALLED BY CONTRACTOR DURING CONSTRUCTION AND FOR DURATION OF MAINTENANCE PERIOD.

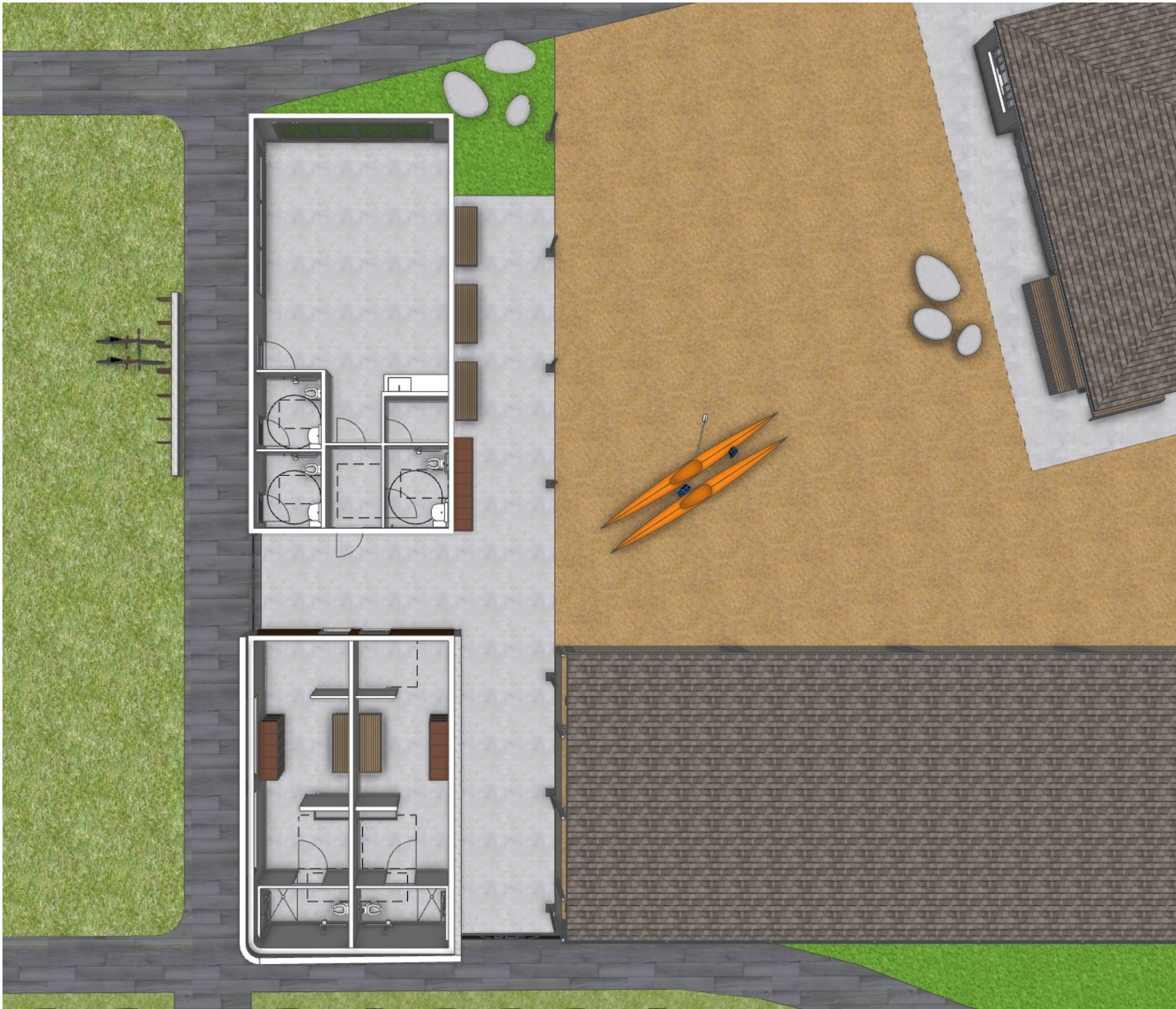
15. MAINTENANCE:
CONTRACTOR IS RESPONSIBLE FOR A 5 YEAR RIPARIAN MAINTENANCE PLAN THAT ACCOMMODATES FOR THE WEEDING, FERTILIZING OF THE SITE 3 - 4 TIMES A YEAR FOR THE FIRST 5 YEARS OF ITS EXISTENCE. CONTRACTOR IS RESPONSIBLE FOR WEEDING AND TOUCHING UP THE EDGE OF THE PATH AS NECESSARY.
- REPRESENTATIVE RESTORATION PLANT SCHEDULE
- | BOTANICAL NAME | COMMON NAME | MATURE PLANT SIZE (H X W) |
|-----------------------------|-------------------|---------------------------|
| TREES | | |
| <i>Populus balsamifera</i> | BLACK COTTONWOOD | 24.00m x 9.00m |
| <i>Salix lucida</i> | PACIFIC WILLOW | 14.00m x 8.00m |
| SHRUBS | | |
| <i>Cornus stolonifera</i> | RED-OSIER DOGWOOD | 1.80m x 2.40m |
| <i>Mahonia aquifolium</i> | TALL OREGON GRAPE | 2.00m x 1.50m |
| <i>Rosa nutkana</i> | NOOTKA ROSE | 2.40m x 1.20m |
| <i>Salix exigua</i> | SANDBAR WILLOW | 4.50m x 4.50m |
| <i>Symphoricarpos albus</i> | COMMON SNOWBERRY | 1.80m x 1.80m |



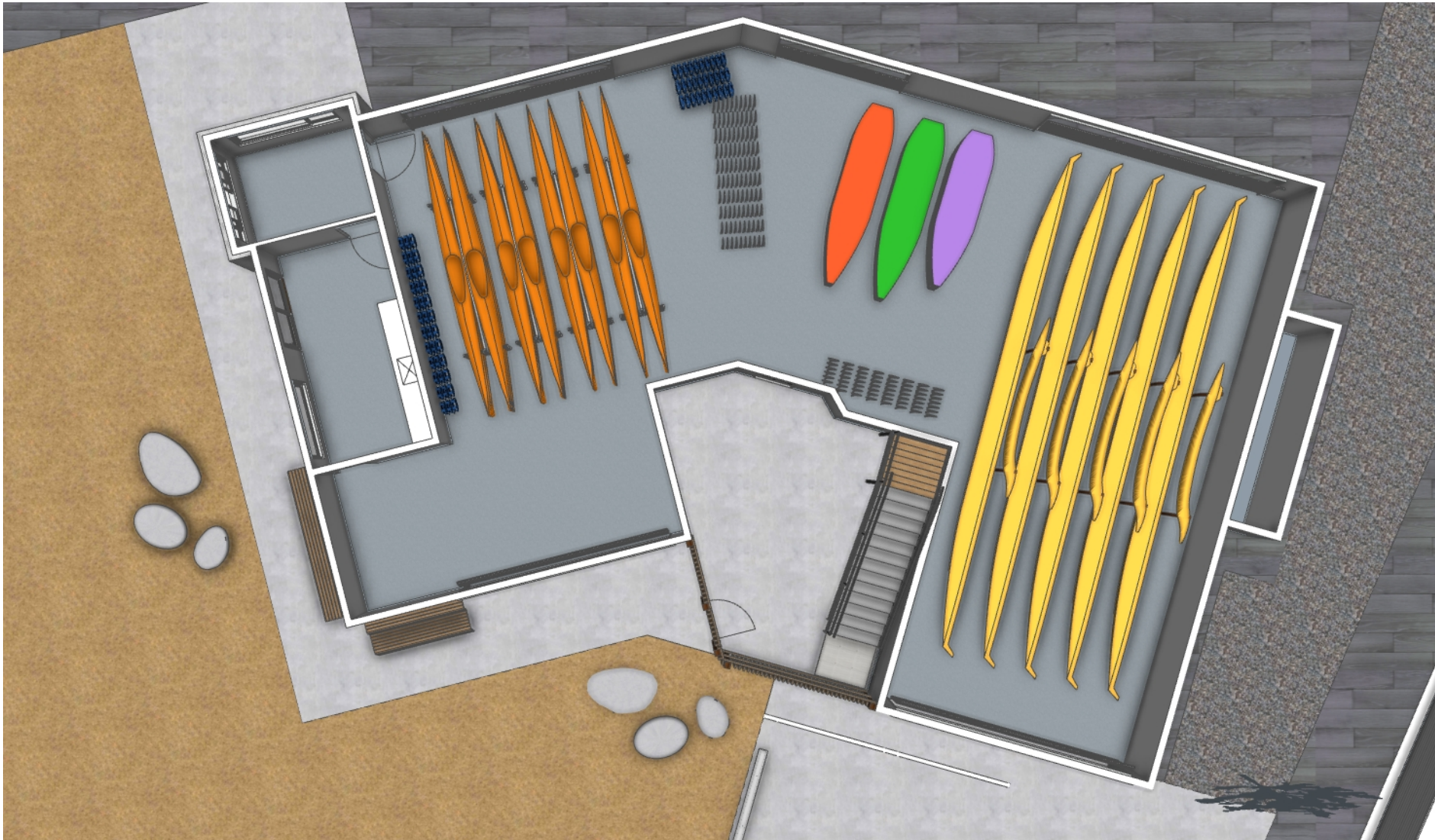
D	25/05/23	BL	RE-ISSUED FOR DEVELOPMENT PERMIT	RF	
C	25/04/07	BL	RE-ISSUED FOR DEVELOPMENT PERMIT	RF	
B	25/03/19	BL	RE-ISSUED FOR DEVELOPMENT PERMIT	RF	
A	25/03/07	BL	ISSUED FOR DEVELOPMENT PERMIT	RF	
NO.	YY/MM/DD	BY	REVISION	CH'KD	

BASE	BL	DESIGN	RF
APPROVED		RF	
DATE		2025-03-03	
SCALE		HORIZ. 1:200 VERT.	
SCALE NOT ACCURATE OVER LONG DISTANCES			

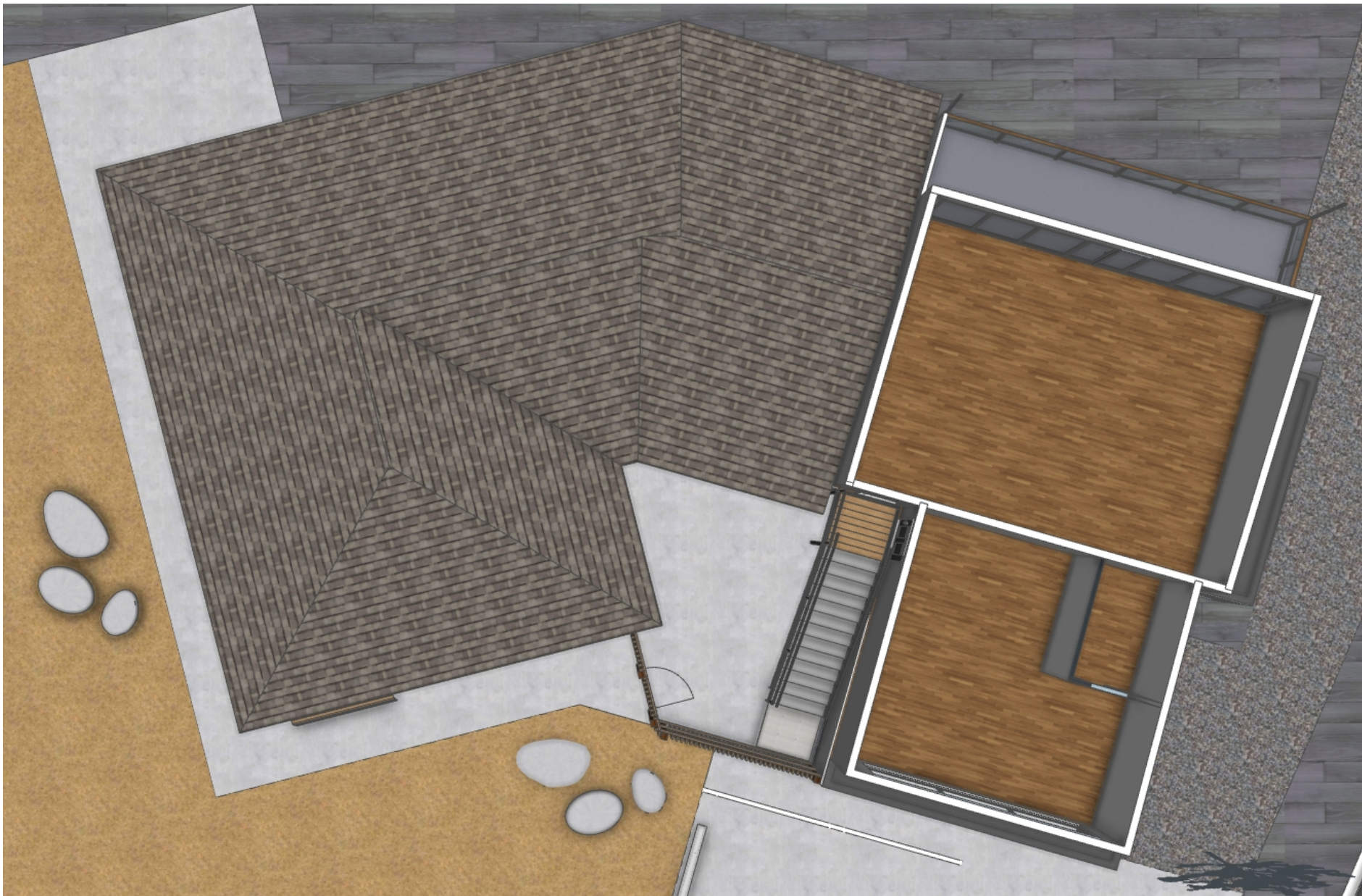
CITY OF KELOWNA		DIVISION	
DESIGN AND CONSTRUCTION		PARKS	
KPC / PWP PHASE 2		DRAWING NO.	REV NO.
RESTORATION PLAN		LDP 3	D



NEW BUILDING FLOOR PLAN



CLUBHOUSE MAIN FLOOR PLAN



CLUBHOUSE TOP FLOOR PLAN



NEW BLDG PERSPECTIVE FROM STREET



NEW BLDG PERSPECTIVE FROM LAKE



CLUBHOUSE PERSPECTIVE FROM LAKE



CLUBHOUSE PERSPECTIVE COURTYARD



Little Building Solutions Inc.
1750 Springfield Rd
Kelowna, BC V1Y 5V6
Tel: (778) 940-6956
design@littlebuildingsolutions.com

Street: 3020 Abbott St
City, Prov: Kelowna, BC

ATTACHMENT B

This forms part of application
DP24-0149 DVP25-0111

Planner
Initials

JL



KELOWNA PADDLE CENTER

Kelowna Paddle Center
Project Type:
Project # 5218

Document Date:
May 26, 2025

Document Phase:
Design Development

rev.	date	remark
8	08/14/24	Issue For Review V3
9	08/21/24	ATC Design Update
10	09/19/24	City Design Clarification
11	10/04/24	Remove KPC Gates
12	12/09/24	Trees & RMA Setback
13	01/21/25	Update Data Sheet
14	02/18/25	Add Zoning Analysis
15	02/21/25	Update to on site Parking
16	03/04/25	BLVD Width Update
17	03/06/25	Update Data sheet & Site plan
18	05/26/25	Match Site Plan w/ Landscape

PERSPECTIVE

A0.1



SITE PLAN PERSPECTIVE



NEW BUILDING CURVED WALL



NEW BLDG OUTDOOR COVERED AREA



CLUBHOUSE ROOF AT LAKE SIDE



CLUB HOUSE BUILDING ADDITION



Little Building Solutions Inc.
1750 Springfield Rd
Kelowna, BC V1Y 5V6
tel. (778) 940-6956
design@littlebuildingsolutions.com

Street: 3020 Abbott St
City, Prov: Kelowna, BC

KELOWNA PADDLE CENTER

Kelowna Paddle Center
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May 26, 2025

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PERSPECTIVE 2

ATTACHMENT B

This forms part of application
DP24-0149 DVP25-0111

Planner
Initials
JI



FORM & CHARACTER – DEVELOPMENT PERMIT GUIDELINES

Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 7.0 INSTITUTIONAL						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE (1 is least complying & 5 is highly complying)	N/A	1	2	3	4	5
6.1 General Guidelines						
6.1.1 General Guidelines	N/A	1	2	3	4	5
a. Design institutional buildings to respond to the Design Foundations and General Guidelines while respecting the need for functional (e.g. access or parking) or site-specific design solutions.						x
b. Key institutional buildings may incorporate landmark or emblematic design features, such as prominent vertical elements, significant corner treatments, and entry plazas or large extensions of the public realm.						x
c. In large-scale projects, demonstrate variety in massing and materiality.						x
d. Design buildings such that their form and architectural character reflect the building's internal function and use (e.g. a school, a hospital, a museum).						x

ATTACHMENT

C

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DP24-0149 DVP25-0111

Planner Initials

JL

City of Kelowna

DEVELOPMENT PLANNING