

Industrial Zone Regulation Comparison		
CRITERIA	I2	I6
Development Regulations		
Buildings		
Max FAR	1.5	No Limit
Max Site Coverage	60%	50%
Max Height	14.0 m	2 ½ stories & 9.5 m
Min Front Yard Setback	7.5 m	4.5m but 6.0 m for garages / carports
Min Side Yard Setback	- 0.0 m when abutting a 'C' or an 'I' zone. - 4.5 m when abutting any other zone.	- 3.0 m for residential bldgs. - 4.5 m for industrial bldgs. when adjacent to 'I' zoned property. - 7.5 m for industrial bldgs. when adjacent to a non-industrial future land use.
Min Flanking Side Yard Setback	6.0 m	Not regulated
Rear Yard	- 0.0 m when abutting a 'C' or an 'I' zone. - 6.0 m when abutting any other zone.	- 7.5 m for all bldgs. - 30.0 m when adjacent to a non-industrial future land use.
Other Regulations		
Parking Locations		
	I2	I6
Min Front Yard Setback	2.0 m	No Parking in front yard except visitor and residential (4.5m)
Min Side Yard Setback	0.0 m unless abutting residential zone then 1.5 m	No Parking in side yards (3.0 m - 7.5 m)
Min Flanking Yard Setback	2.0 m	2.0 m
Min Rear Yard Setback	0.0 m unless abutting residential zone then 1.5 m	0.0 m unless: - abutting residential zone then 1.5 m - adjacent to non-industrial future land use then 7.5m
Outdoor Storage		
	I2	I6
Location	Not restricted	Not permitted in the setback areas and shall be consolidated into a single area per lot
Screening	Not restricted	Must be screened with opaque fencing and landscaping
Outdoor Display		
	I2	I6
Location	Not Restricted	Outdoor display / sales (& non-accessory parking) shall not encroach into the landscape areas

ATTACHMENT **B**

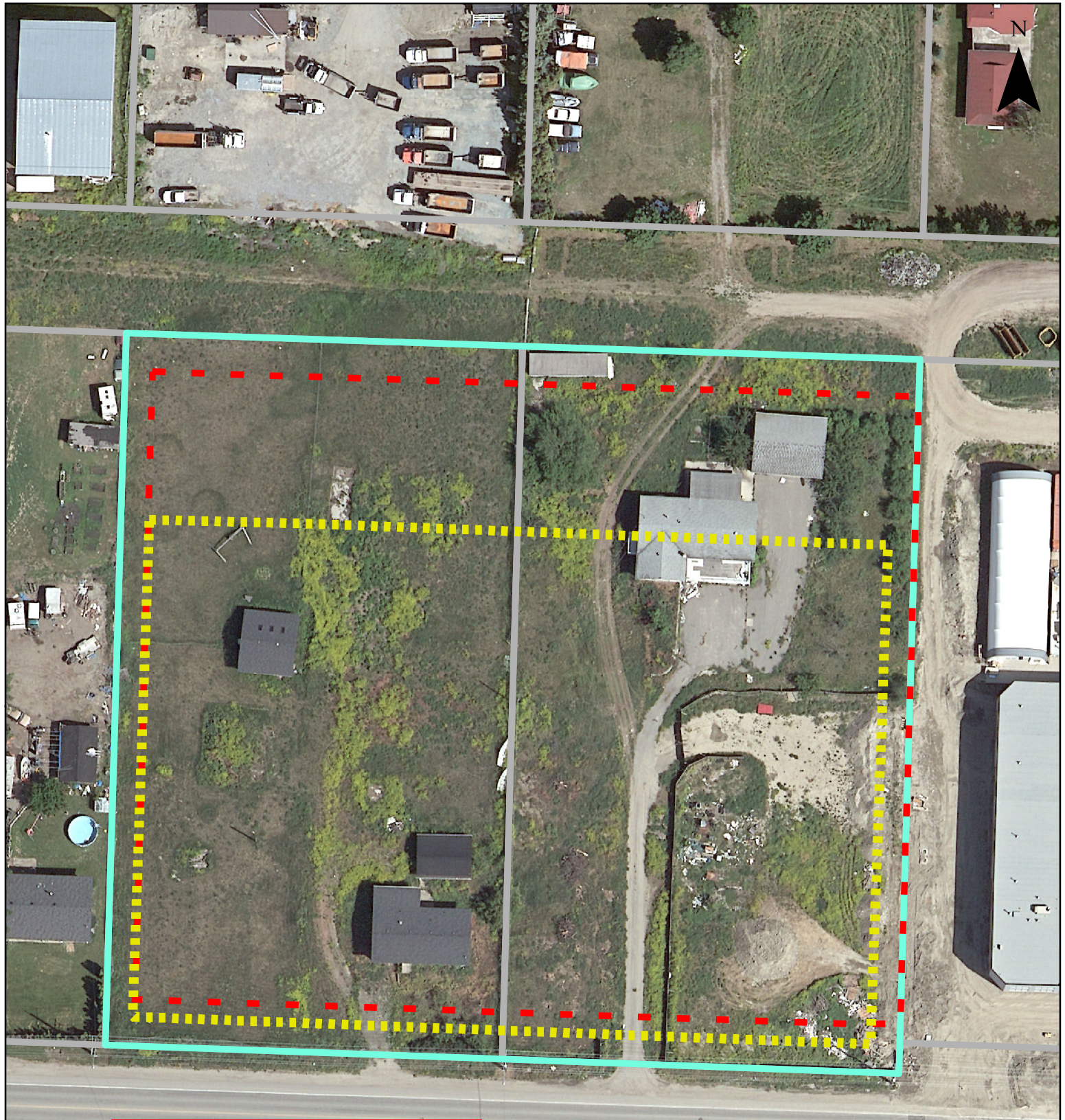
This forms part of application
Z16-0062

Planner Initials

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Industrial Zone Use Comparison			
Uses Permitted in I2 but NOT in I6		Uses Permitted in I6 but NOT in I2	
Primary Use	Secondary Use	Primary Use	Secondary Use
Auctioneering establishments	agriculture, urban	Animal clinics, minor	Home Base Business, major
breweries and distilleries, major	child care centre, major	Business Support Services	Home Base Business, minor
breweries and distilleries, minor		General Industrial Use, Limited	Secondary Suite
bulk fuel depots		Single Family Dwelling	
convenience vehicle rentals		Vehicle and Equipment Services, Limited	
fleet services			
food primary establishment			
general industrial uses			
gas bars			
liquor primary establishment, minor			
medical marihuana production facilities			
rapid drive-through vehicle services			
recycled materials drop-off centres			
service stations, minor			
service stations, major			
truck and mobile home sales/rentals			
vehicle and equipment services, industrial			
warehouse sales			

ATTACHMENT		B
This forms part of application # <u>Z16-0062</u>		
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ATTACHMENT B

This forms part of application
Z16-0062

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City of Kelowna
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I2 vs I6 Setback Illustration
File Z15-0054

 I6 Setbacks
 I2 Setbacks
 Subject Property

This map is for general information only.
 The City of Kelowna does not guarantee its accuracy. All information should be verified.

0 10 20 Metres

City of Kelowna
 Rev. 6/1/2016

CITY OF KELOWNA
MEMORANDUM

ATTACHMENT A

This forms part of application
Z16-0062



City of
Kelowna
COMMUNITY PLANNING

Planner
Initials **AC**

Date: November 17, 2015
File No.: Z15-0054
To: Planning & Development Services Department (AC)
From: Development Engineer Manager (SM)
Subject: 3150 & 3170 Sexsmith Rd., Lots 27 & 26, Plan 18861 A1 - I2

Development Engineering has the following comments and requirements associated with this application rezone the subject property from A-1 to I6 are as follows:

1. General

- a) The developer is required to legally consolidate the two subject properties and to grant Statutory Rights of Way if necessary.
- b) Access to the subject lots must ultimately be achieved off of Palomino Road as Sexsmith Road is designated as a 4 lane arterial and access will be restricted. Until such time that Palomino Road is built, the subject property is granted access onto Sexsmith Road under the condition, that the access is combined with the access to the property located to the west and that a Covenant to that effect as well as a mutual access agreement be registered on title of the properties.

2. Geotechnical Study

We recommend that a comprehensive geotechnical study be undertaken over the subject property. The geotechnical study should be undertaken by a Professional Engineer or a Geoscientist competent in this field. This study should analyse the soil characteristics and suitability for development of the requested zoning. As well, the study should address drainage patterns including the identification of ground water and the presence of any surface springs and the suitability of the lands for disposal of site generated storm drainage. In addition this study must describe soil sulphate contents, the presence or absence of swelling clays.

3. Sanitary Sewer System

- a) The subject properties have been pre-serviced as part of the Sol Terra Development. The proposed development lots are within the sanitary sewer connection area #35 and are subject to the associated charges.
- b) The Connection Area #35 charge is currently set by Bylaw at \$47,400 per Single Family Equivalent (SFE). This Bylaw is currently under review for an update that will be presented to Council in 2016. For the interim, a temporary charge is set at 19,700 per SFE, which is subject to Bylaw amendment and Council adoption. The connection Area charge is to be cash commuted in accordance with the City of Kelowna current policies and the value is

determined by the following formula: the first 0.36 acres of developed land or portion thereof equals 1 SFE. Thereafter 2.8 SFE's per acre of developed land.

The assessed value is based on the combined lot area less road dedication area for a developed area equal to 3.17 Acres is **\$194,557.00**

4. Water Servicing Requirements

This development is within the service area of the Glenmore Ellison Irrigation District (GEID). The developer is required to make satisfactory arrangements with the GEID for these items. All charges for service connection and upgrading costs are to be paid directly to the GEID. The developer is required to provide a confirmation that the district is capable of supplying fire flow in accordance with the City of Kelowna current Bylaws and Policies.

5. Storm Drainage

A comprehensive site drainage management plan and design to comply with the City's drainage design and policy manual is required.

6. Road Improvements

- a.) The frontage of Sexsmith Road will be upgraded to a full 4 lane arterial urban standard in accordance with Bylaw 7900, complete with curb and gutter, storm works, sidewalk, fillet paving, landscaped and irrigated boulevard, lane markings, street lighting, removal and/or relocation existing utilities as may be required, etc. This construction will be deferred until Sexsmith Road is upgraded to a 4 lane standard and a cash in lieu of construction payment of **\$47,400.00** is required for the combined frontage of the subject properties.
- b.) Palomino Road at the rear of the property will be constructed to a full urban Standard (SS-R5) in accordance with Bylaw 7900, complete with curb, gutter, sidewalk, fillet paving, storm drainage works which extends and connects to the municipal system, landscaped and irrigated boulevard, lane markings, street lighting, removal and/or relocation existing utilities as may be required, etc. The developer is responsible for contributing for their half of Palomino road for the combined frontage of the subject properties. The cash in lieu of construction for these works is **\$79,100.00**

7. Road Dedication and Subdivision Requirements

- (a) The developer is required to consolidate the two subject properties.
- (b) The developer is required dedicate 5m of roadway fronting Sexsmith Road to achieve the 4 lane arterial urban standard width in accordance with Bylaw 7900
- (c) Grant Statutory Rights Of Way if required for utility services.
- (d) If any road dedication or closure affects lands encumbered by a Utility right-of-way (such as Hydro, Telus, Gas, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.

ATTACHMENT A

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8. Power and Telecommunication Services

The services to this development are to be installed underground. It is the developer's responsibility to make a servicing application to the respective utility companies. The utility companies are then required to obtain the city's approval before commencing their works.

9. Design and Construction

- a) Design, construction supervision and inspection of all off-site civil works and site servicing must be performed by a Consulting Civil Engineer and all such work is subject to the approval of the City Engineer. Drawings must conform to City standards and requirements.
- b) Engineering drawing submissions are to be in accordance with the City's "Engineering Drawing Submission Requirements" Policy. Please note the number of sets and drawings required for submissions.
- c) Quality Control and Assurance Plans must be provided in accordance with the Subdivision, Development & Servicing Bylaw No. 7900 (refer to Part 5 and Schedule 3).
- d) A "Consulting Engineering Confirmation Letter" (City document 'C') must be completed prior to submission of any designs.
- e) Before any construction related to the requirements of this subdivision application commences, design drawings prepared by a professional engineer must be submitted to the City's Works & Utilities Department. The design drawings must first be "Issued for Construction" by the City Engineer. On examination of design drawings, it may be determined that rights-of-way are required for current or future needs.

10. Servicing Agreements for Works and Services

- a) A Servicing Agreement is required for all works and services on City lands in accordance with the Subdivision, Development & Servicing Bylaw No. 7900. The applicant's Engineer, prior to preparation of Servicing Agreements, must provide adequate drawings and estimates for the required works. The Servicing Agreement must be in the form as described in Schedule 2 of the bylaw.
- b) Part 3, "Security for Works and Services", of the Bylaw, describes the Bonding and Insurance requirements of the Owner. The liability limit is not to be less than \$5,000,000 and the City is to be named on the insurance policy as an additional insured.

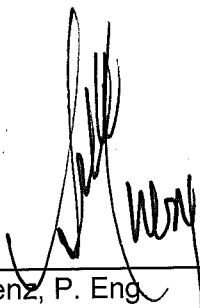
11. DCC Credits

None of the required improvements qualify for DCC credit consideration, as these levies are collected as cash in lieu.

ATTACHMENT		A
This forms part of application		
# Z16-0062		
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12. Bonding and Levies SummaryLevies

Sexsmith Road upgrades	\$47,400.00
Palomino Road construction	\$79,100.00
Connection. Area #35 (subject to Council approval)	<u>\$194,557.00</u>
Total levies	<u>\$321,057.00</u>



Steve Muenz, P. Eng
Development Engineering Manager

jo

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# Z16-0062		
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OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

206 - 1889 Spall Road
Kelowna, BC V1Y 4R2
T (250) 868-9270
www.outlanddesign.ca



PROJECT TITLE

3150-3170 SEXSMITH RD

Kelowna, BC

DRAWING TITLE

CONCEPTUAL
LANDSCAPE PLAN

ISSUED FOR	REVISION
1	16.09.20 Review
2	
3	
4	
5	

PROJECT NO	10069
DESIGN BY	KG
DRAWN BY	KG
CHECKED BY	FB
DATE	SEPT. 20, 2018
SCALE	1:300

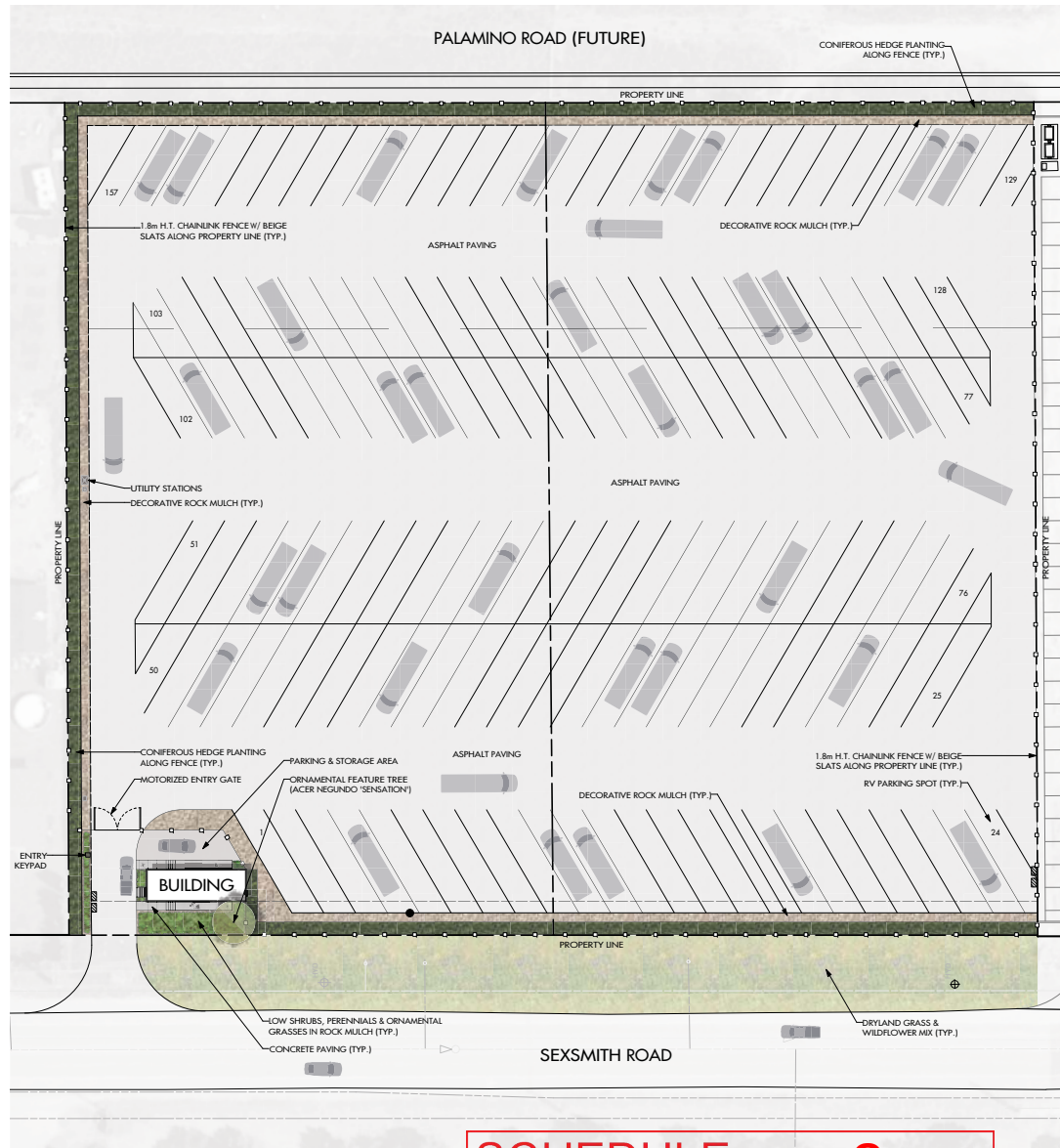
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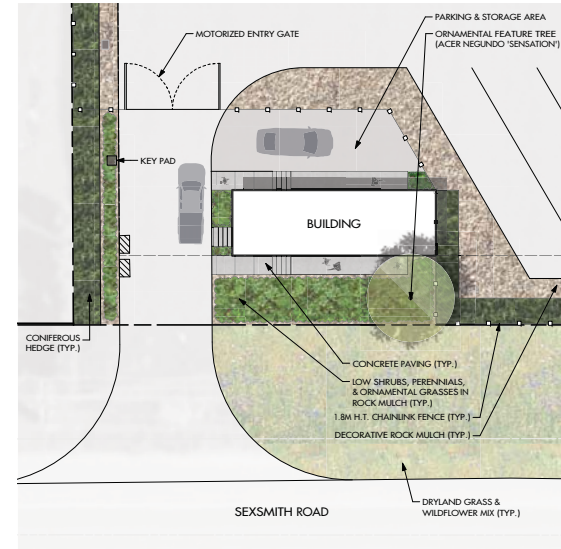


SCHEDULE C

This forms part of application
DP16-0232 & DVP16-0233

Planner
Initials AC

City of
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COMMUNITY PLANNING



CLOSE-UP OF ENTRY AREA

SCALE: 1:150

NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED B.C.L.N.A. STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 50mm ROCK MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.

5. HYDROSEEDING DRYLAND SEED AREAS	BY WEIGHT	BY SPECIES	WILDFLOWER SEED MIXTURE	BY WEIGHT
DRYLAND SEED MIXTURE	41%	23%	SILKY LUPINE	30%
BLUE BUNCH WHEAT GRASS	23%	20%	BALSAM ROOT	30%
ROUGH FESCUE	15%	19%	BROWN EYED SUSAN	35%
IDaho FESCUE	10%	7%	COMMON YARROW	5%
PERENNIAL RYEGRASS	5%	13%		
SANDBERG BLUEGRASS	4%	18%		
JUNE GRASS				

HYDROSEEDING APPLICATION RATE (DRYLAND SEED AREA)

NATIVE SEED	DRYLAND SEED MIXTURE	12KG/HECTARE
	WILDFLOWER SEED MIXTURE	1KG/HECTARE
FERTILIZER	18-18-18 2, 50% SULPHUR COATED UREA	300KG/HECTARE
MULCH	CANFOR ECOFIBRE PLUS TAC	2,800KG/HECTARE
TACKLER	GLUE	3% OF MIX

THE PRECEDING HYDROSEEDING MIXTURE IS TO BE APPLIED TO THE DRYLAND SEED AREA AS SHOWN ON THE DRAWING. SEED MIX TO BE CERTIFIED #1 GRADE BY AGRICULTURE CANADA. REFER MANUFACTURER'S SPECIFICATIONS FOR PRODUCT DELIVERY, STORAGE & PROTECTION.

PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
TREES			
ACER NEGUNDO 'SENSATION'	SENSATION BOX ELDER	1	6cm CAL.
HEDGE			
JUNIPERUS SCOPULORUM 'MOONGLOW'	MOONGLOW JUNIPER	233	#05 CONT. /1.5M O.C. SPACING
SHRUBS			
BERBERIS THUNBERGII 'MONOM'	CHERRY BOMB BARBERRY	8	#01 CONT. /1.0M O.C. SPACING
ROSA 'NORDEN SUNRISE'	NORDEN SUNRISE ROSE	6	#01 CONT. /1.2M O.C. SPACING
PERENNIALS & GRASSES			
PANICUM VIRGATUM 'ROSTRAALBUSCH'	RED SWITCH GRASS	6	#01 CONT. /1.2M O.C. SPACING
PEROVSKIA ATRIPUICIFOLIA 'LONGIN'	LONGIN RUSSIAN SAGE	8	#01 CONT. /0.9M O.C. SPACING
RUDBECKIA FLUIDA 'GOLDSTURM'	GOLDSTURM CONEFLOWER	12	#01 CONT. /0.75M O.C. SPACING



SCHEDULE

C

This forms part of application
DP16-0232 & DVP16-0233

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Initials

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City of
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COMMUNITY PLANNING



WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 1,152 cu.m. / year
ESTIMATED LANDSCAPE WATER USE (WU) = 381 cu.m. / year
WATER BALANCE = 771 cu.m. / year
*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

IRRIGATION LEGEND

- ZONE #1: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 225 sq.m.
MICROCLIMATE: NORTH EXPOSURE, FULL SUN
ESTIMATED ANNUAL WATER USE: 125 cu.m.
- ZONE #2: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 190 sq.m.
MICROCLIMATE: WEST EXPOSURE, FULL SUN
ESTIMATED ANNUAL WATER USE: 108 cu.m.
- ZONE #3: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 75 sq.m.
MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES
ESTIMATED ANNUAL WATER USE: 42 cu.m.
- ZONE #4: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 195 sq.m.
MICROCLIMATE: SOUTH EXPOSURE, FULL SUN
ESTIMATED ANNUAL WATER USE: 107 cu.m.

IRRIGATION NOTES

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA, JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m / SEC.
8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.



OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

206 - 1889 Spall Road
Kelowna, BC V1Y 4R2
T (250) 868-9270
www.outlanddesign.ca



PROJECT TITLE

3150-3170 SEXSMITH RD

Kelowna, BC

DRAWING TITLE

**WATER CONSERVATION
& IRRIGATION PLAN**

ISSUED FOR: REVISION

NO.	DATE	REVISION
1	16.09.20	Review
2		
3		
4		
5		

PROJECT NO.

DESIGN BY

DRAWN BY

CHECKED BY

DATE

SCALE

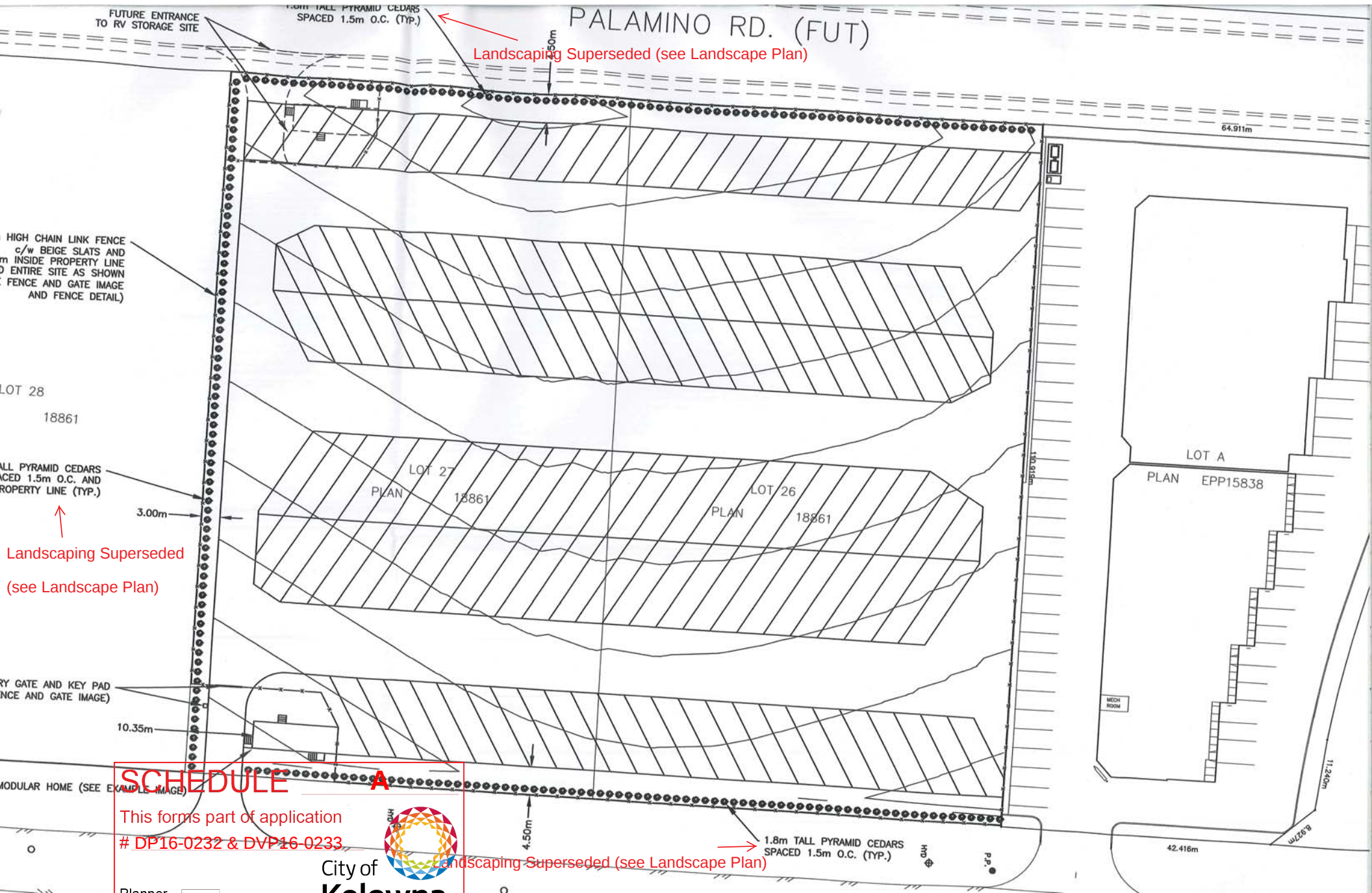
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Landscaping Superseded (see Landscape Plan)

HIGH CHAIN LINK FENCE
c/w BEIGE SLATS AND
1.5m O.C. AND PROPERTY LINE (TYP.)
AND GATE IMAGE
AND FENCE DETAIL)

LOT 28
18861

ALL PYRAMID CEDARS
SPACED 1.5m O.C. AND
PROPERTY LINE (TYP.)

Landscaping Superseded
(see Landscape Plan)

RY GATE AND KEY PAD
ANCE AND GATE IMAGE)

MODULAR HOME (SEE EXAMPLE IMAGE)

SCHEDULE A

This forms part of application
DP16-0232 & DVP16-0233

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Initials AC

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Landscaping Superseded (see Landscape Plan)

1.8m TALL PYRAMID CEDARS
SPACED 1.5m O.C. (TYP.)

SCHEDULE

A

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DP16-0232 & DVP16-0233

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LEGEND

WATER	MANHOLE	OWN
SAN. SEWER	UTILITY POLE	●/A
STORM SEWER	POWER POLE	●/A
GAS	LAMP STANDARD	○/A
U/G TELEPHONE	CATCH BASIN	□/A
U/G ELECTRICAL	HYDRANT	□/HP
	TREES	○/T
	SURVEY MONUMENT	○

PROTECH
CONSULTING 2012

200 - 1461 St. Paul Street Kelowna B.C.

Phone 860-1771

FAX 860-1394

NO. DATE BY

1777-MK-00

REVISION

CHKD

BASE	DESIGN	KCL
APPROVED	DRP	
DATE	AUGUST 2018	
SCALE	HORIZ. 1:500	
	VERT. N/A	
SCALE NOT ACCURATE OVER LONG DISTANCES		

THE CITY OF KELOWNA
ENGINEERING DEPARTMENT

SPACE CENTER RV STORAGE
LOT 26 AND 27 PLAN 18861
DEVELOPMENT VARIANCE PLAN

DIVISION	DRWING NO.	REV NO.
	16039-DVP	0



OUTLAND DESIGN
LANDSCAPE ARCHITECTURE

September 20, 2016

3150-3170 Sexsmith Road
C/o Protech Consulting
Suite 200, 1461 St. Paul Street
Kelowna, BC V1Y 2E4
Attn: Grant Maddock

Re: Proposed 3150-3170 Sexsmith Road Development – Preliminary Cost Estimate for Bonding

Dear Grant:

Please be advised of the following preliminary cost estimate for bonding of the proposed landscape works shown in the 3150-3170 Sexsmith Road conceptual landscape plan dated 16.09.20;

- 2,355 square metres (25,349 square feet) of improvements = \$37,556.00

This preliminary cost estimate is inclusive of trees, shrubs, dryland seed, mulch, topsoil & irrigation.

You will be required to submit a performance bond to the City of Kelowna in the amount of 125% of the preliminary cost estimate. Please do not hesitate to contact me with any questions about the landscape plan.

Best regards,

Fiona Barton, MBCSLA, CSLA
as per
Outland Design Landscape Architecture

SCHEDULE

C

This forms part of application

DP16-0232 & DVP16-0233

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City of
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APPLICATION IDENTIFICATION

Owner:	Protech Consulting	Subject Address:	3150-3170 Sexsmith Road	
Agent if applicable:	Steve Petryshyn	Telephone:	250-868-9270	
Title:	Certified Irrigation Designer	Fax No:		
Company:	Outland Design Landscape Architecture	Email:	steve@outlanddesign.ca	
City:	Kelowna, BC	Mailing Address:	206-1889 Spall Road, Kelowna	
		Province:	BC	Postal Code: V1Y 4R2

LANDSCAPE WATER CONSERVATION CHECKLIST

Note: all boxes are to be checked - see instruction page

- ☒ Install Backflow prevention devices to meet City of Kelowna standards to isolate the outdoor irrigation system from the potable water system.
- ☒ Group planting into 'hydrozones' of high, medium and low water-use plants or unirrigated/unwatered areas.
- ☒ Minimize mown turf areas that are high water use areas – ideally to 50% of the landscape area or less – substitute with areas of lower water use treatments like unwatered native woods or meadow, mulch, spaced wood deck, pervious paving.
- ☒ Provide adequate topsoil or growing medium of depth and quality to meet the BC Landscape Standard, published by the BC Society of Landscape Architects and the BC Landscape and Nursery Association. General minimum depths over poor subsoils are 150mm for lawn and 300mm for shrubs groundcover.
- ☒ Group irrigation circuits/zones into 'hydrozones' of high, medium, and low or unirrigated areas consistent with the landscape planting plan. Provide a separate irrigation valve for each irrigated hydrozone.
- ☒ Minimize use of high-volume spray heads, and employ drip or low volume irrigation where practical.
- ☒ When spray or rotor irrigation is used, design and install head to head coverage in accordance with manufacturer's specifications, and avoid overspray outside landscape areas.
- ☒ Ensure matched precipitation rates within all irrigation circuits.
- ☒ Design and install pipe and head layout so flow velocity does not exceed 1.5 m/s, and to minimize elevation change or pressure variation in circuits. Provide check valves to stop low head drainage.
- ☒ Ensure irrigation mainlines are proved leak-free with hydrostatic tests.
- ☒ Provide pressure regulating devices to ensure irrigation outlets are operating at the manufacturer's optimum pressure range.
- ☒ Install – and program to minimize water use – 'Smart Controllers' to meet standards of the City of Kelowna Water Regulation Bylaw.
- ☒ Install an irrigation master shut-off valve (isolation valve) located outside the building in a location accessible to the City that when closed shall stop the supply of water from the potable water supply to the outdoor irrigation system and shall be capable of being closed and locked off by the City.

Applicant Notes on the Landscape Water Conservation Checklist:

SCHEDULE C

This forms part of application

DP16-0232 & DVP16-0233

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IRRIGATION APPLICATION

CALCULATE & COMPARE WATER BUDGET TO ESTIMATED WATER USE

Note: For Evapotranspiration (ETo) in Kelowna use 1000m	Amount	Units
Total Landscape Area	1152	sq.m.
Landscape Maximum Water Budget (WB)	1152	cu.m. /yr.
Estimated Landscape Water Use (WU)	381	cu.m. /yr.
Under (-OVER) Budget (Must be under Water Budget WB)	771 OK	cu.m. /yr.

I have identified and confirmed, by completing the attached 'Landscape Water Conservation Checklist' above, that the project will conform to current landscape and irrigation water conservation practices listed in the checklist. I also acknowledge that the landscape treatments of the project will conform to the Hydrozone areas identified by me in the 'Landscape Water Conservation Calculation Table' above.

Signature of Applicant _____ Date: _____

FOR CITY OF KELOWNA OFFICE USE ONLY

The Irrigation Application and calculations above satisfy the requirements of the Water Regulation Bylaw 10480 Section 4.4.2 and 4.4.3. and is hereby APPROVED with the signature of the Water Manager or designate.

Signature of Kelowna Water Smart designate _____ Date: _____
For Water Manager

Print Name _____

NOTE: Post Signed and approved application at Smart Controller for future reference

SCHEDULE C

This forms part of application
DP16-0232 & DVP16-0233

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AC



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COMMUNITY PLANNING

LANDSCAPE WATER CONSERVATION TABLE

Applicant: **Protech Consulting** Address: **3150-3170 Sexsmith Road**

Step 1: Measure Total Landscape Area (LA)

Area of site that will absorb water:

1152 sq.m.

Note: INCLUDE BOULEVARD, and proposed lawn, plants, mulch, PERVIOUS decks or paving. Do not include building areas, driveways, patios, decks or walks unless pervious.

Step 2: Divide Into Landscape Treatments*		Plant Factor	Irrig Efficiency	Hydrozone Area	% of Total LA	Estimated Water
Note: each of the areas below are a 'HYDROZONE'		(PF)	(IE)	(HA)		(WU)
Unwatered Pervious Areas (not impervious paving)						
Mulch (Stone, bark or sand)		N/A	N/A	467	41%	N/A
Pervious deck (Spaced wood deck)		N/A	N/A		0%	N/A
Pervious paving (AquaPave, Rima Pave)		N/A	N/A		0%	N/A
Naturalized meadow (wildflowers)		N/A	N/A		0%	N/A
Naturalized area (Existing natural area)		N/A	N/A		0%	N/A
Other:		N/A	N/A		0%	N/A
Swimming or ornamental pool		1	1		0%	0
Watered Planting Beds (shrubs or groundcover)						
<i>Planting Type</i>	<i>Irrig Efficiency</i>					
Low water use plants	High (Drip or Bubbler)	0.3	0.9		0%	0
Low water use plants	Low (Spray or Rotor)	0.3	0.7		0%	0
Moderate water use plants	High (Drip or Bubbler)	0.5	0.9	685	59%	381
Moderate water use plants	Low (Spray or Rotor)	0.5	0.7		0%	0
High water use plants	High (Drip or Bubbler)	0.7	0.9		0%	0
High water use plants	Low (Spray or Rotor)	0.7	0.7		0%	0
Watered Mown Lawn Areas						
Low		1	0.7		0%	0
Special Landscape Areas (SLA)						
Vegetable Garden	High (Drip or Bubbler)	1	0.9		0%	0
Vegetable Garden	Low (Spray or Rotor)	1	0.7		0%	0
Sports Lawn	Low (Spray or Rotor)	1	0.7		0%	0
Rainwater or Recycled Water Use		0.3	1		0%	0
Totals				1152	100%	381
Special Landscape Area (SLA) Sub total						

*If proposed design is for a new application, please contact the City at 250 469-8502

SCHEDULE C

This form is part of application # **DP16-0232 & DVP16-0233**

Planner Initials **AC**

City of **Kelowna**
COMMUNITY PLANNING