

Development Permit & Development Variance Permit

DP25-0010 & DVP25-0011



This permit relates to land in the City of Kelowna municipally known as

647 Clement Avenue

and legally known as

Lot 1 District Lot 139 ODYD PLAN EPP121801

and permits the land to be used for the following development:

Apartment Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

ATTACHMENT A

This forms part of application
DP25-0010 & DVP25-0011

Planner Initials SS



City of Kelowna
COMMUNITY PLANNING

Date of Council Approval: **March 11, 2025**

Development Permit Area: Form & Character Development Permit

Existing Zone: UC1 – Downtown Urban Centre

Future Land Use Designation: UC – Urban Centre

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Madison Avenue Clement GP Inc. No. A0117433

Applicant: Madison Avenue Clement GP Inc.

Nola Kilmartin
Development Planning Department Manager
Planning & Development Services

Date of Issuance

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP25-0010 and Development Variance Permit No. DVP25-0011 for Lot 1 District Lot 139 ODYD PLAN EPP121801 located at 647 Clement Ave, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT variances to the following section[s] of Zoning Bylaw No. 12375 be granted:

Section 8.5.6(c).1 – Off-Street Bicycle Parking, Ground-Anchored Long-Term Bicycle Parking

To vary the minimum amount of ground-anchored long-term bicycle parking from permitted 50% to 38% proposed.

Table 8.5.1 – Minimum Dimensions for Bicycle Parking, Wall Mounted Rack

To vary the minimum distance between bicycle racks (for racks that accommodate two or more bicycles) from 0.9 m permitted to 0.8 m proposed.

Section 14.11: UC1 – Commercial and Urban Centre Zone Development Regulations

To vary the required minimum building setback from 3.0 m permitted to 0.0 m proposed.

Section 14.11 – Commercial and Urban Centre Zone Development Regulations

To vary the minimum common amenity space from 264 m² permitted to 217 m² proposed.

Section 14.11 Footnote.2: UC1 – Commercial and Urban Centre Zone Development Regulations

To vary the required minimum upper floor setback for a portion of the building above 16.0 m abutting the east property line from 4.0 m permitted to 0.0 m proposed.

Section 14.11 Footnote.2: UC1 – Commercial and Urban Centre Zone Development Regulations

To vary the required minimum upper floor setback for a portion of the building above 16.0 m abutting the west property line from 4.0 m permitted to 3.0 m proposed.

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as

per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$264,328.68**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

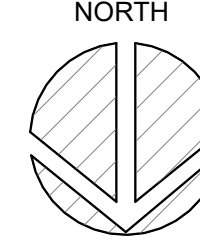
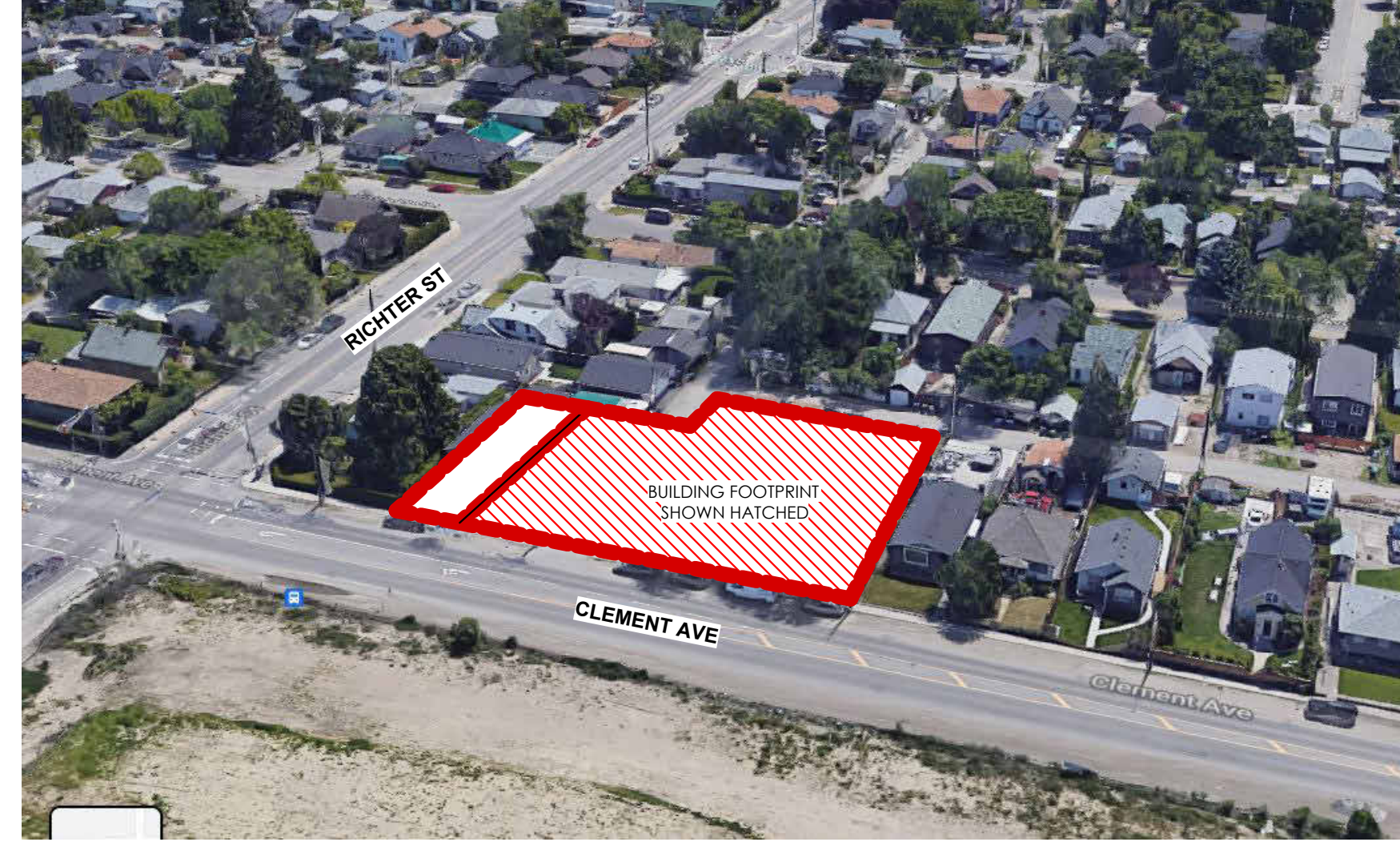
**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

| | |
|---|-----------|
| ATTACHMENT A | |
| This forms part of application # DP25-0010 & DVP25-0011 | |
| Planner Initials | SS |
|  City of Kelowna COMMUNITY PLANNING | |

SAVOY ON CLEMENT

RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

LOCATION MAP



PROJECT INFO:

CIVIL ADDRESS:
677, 657, 647 & 631 CLEMENT AVE, Kelowna, BC

LEGAL DESCRIPTION:
012-396-249

ZONING: UC1 - DOWNTOWN URBAN CENTRE

LOT AREA: 23,516m² OR 253,126 SQ. FT.

SCHEDULE A

This forms part of application
DP25-0010 & DVP25-0011

Planner Initials **SS**



ARCHITECTURAL DRAWING LIST

| SHEET NUMBER | COVER SHEET | SHEET NAME |
|--------------|--|------------|
| A0.0 | COVER SHEET | |
| A1.0 | SITE PLAN - LOBBY | |
| A2.0 | BASEMENT/LOWER PARKADE PLAN | |
| A2.0A | BASEMENT-LEVEL 0 - SLAB EDGE PLAN | |
| A2.1 | MAIN FL.-LEVEL 1 - UPPER PARKADE PLAN | |
| A2.1A | MAIN FL.-LEVEL 1 - SLAB EDGE PLAN | |
| A2.2 | 2ND FL-LEVEL 2 - FLOOR PLAN | |
| A2.2A | 2ND FL-LEVEL 2 - SLAB / SLOPED INSULATION PLAN | |
| A2.3 | 3RD FL-LEVEL 3 - FLOOR PLAN | |
| A2.4 | 4TH FL-LEVEL 4 - FLOOR PLAN | |
| A2.5 | 5TH FL-LEVEL 5 - FLOOR PLAN | |
| A2.6 | 6TH FL-LEVEL 6 - FLOOR PLAN | |
| A2.7 | ROOF PLAN | |
| A2.8 | ENLARGED PLANS, UNITS T1 & T2 | |
| A2.9 | ENLARGED PLANS, UNITS B1 TO B4 | |
| A2.10 | ENLARGED PLANS, UNITS C1, & D1 to D3 | |
| A2.11 | ENLARGED PLANS, UNITS A1,A2, E1,E2 & MAIN FL LOBBY | |
| A3.0 | BUILDING ELEVATIONS | |
| A3.1 | BUILDING ELEVATIONS | |
| A4.0 | BUILDING SECTIONS | |
| A4.1 | BUILDING SECTIONS | |
| A4.2 | BUILDING SECTIONS | |
| A4.3 | BUILDING SECTIONS | |
| A4.4 | BUILDING SECTIONS | |
| A4.5 | BUILDING SECTIONS | |



DISCLAIMER: SITE RENDERING IS AN ARTISTIC IMPRESSION ONLY FOR FORM AND CHARACTER AND NOT AN ACCURATE REPRESENTATION OF FINAL ARCHITECTURE, LANDSCAPE, OR CIVIL DESIGN; REFER TO DETAILED DESIGN DRAWINGS FOR APPLICABLE DISCIPLINE

CITY OF KELOWNA ZONING SUMMARY

| | | | |
|------------------------------------|---------------------------------------|-----------------------|------|
| ADDRESS | 631, 647, 657, 677 (1/2) CLEMENT AVE. | | |
| CURRENT ZONING | UC1 - DOWNTOWN URBAN CENTRE | | |
| GRADES | EXISTING AVERAGE - FLAT | FINISH AVERAGE - FLAT | |
| BUILDING HEIGHTS | 6 STOREYS | | |
| SITE AREA (sqm) | 17,955 SQ.FT. (1,668 m ²) | | |
| OFF-STREET PARKING | 59 (INCLUDING 2 CAR SHARE SPACES) | | |
| TOTAL GFA (RESIDENTIAL) | 53,491 SQ.FT. (4,969 m ²) | | |
| TOTAL NFA | 48,435 SQ.FT. (4,500 m ²) | | |
| EFFICIENCY | 91% | | |
| F.A.R. | 3.3 and 1.8 | PROPOSED | 2.70 |
| OCP 2040 FUTURE LAND USE | C-NHD (2040 CORE AREA + URBAN CENTRE) | | |
| SITE COVERAGE | 100% | 84% | |
| INCLUDING IMPERMEABLE SURFACES | 100% | 100% | |
| FRONT YARD/FLANKING / SIDE SETBACK | 0 M | 3.48 M | |
| MIN. BUILDING STEPBACK - VARIANCE | 3 M | 0 M | |
| MIN. REAR YARD | 0 M | VARIES | |
| UPPER FLOOR SETBACKS | 3 M ABOVE 4 STOREYS OR 16 M | | |
| MAX HEIGHT | 6 AND 12 STOREYS | PROPOSED | 6 |

BUILDING CODE REVIEW

| | | |
|--|---|-------------------|
| OCCUPANCY | RESIDENCES: GROUP C | PARKADE: GROUP F3 |
| ARTICLE | 3.2.2.50 | 3.2.2.82 |
| NO. OF STOREYS | 6 STOREYS | UNLIMITED |
| NO. OF STREETS FACING | 2 | 2 |
| MAX. BUILDING AREA | 1,800 sqm | UNLIMITED |
| NOTE: PARKADE TO BE CONSIDERED AS A SEPARATE BUILDING IN ACCORDANCE WITH 3.2.1.2 | | |
| CONSTRUCTION TYPE | COMBUSTIBLE | NON-COMBUST. |
| SPRINKLERED | YES | YES |
| ASSEMBLY RATINGS: | | |
| FLOOR | 1 HR. (2 HR. RATING ABOVE PARKADE, NO FT RATING REQUIRED) | |
| WALLS / BEARING STRUCTURE | 1 HR. (2 HR. RATING FOR PARKADE) | |
| ROOFS | 1 HR | |

PARKING CALCULATIONS

| STALL SIZE | WIDTH | LENGTH | HEIGHT |
|------------------------------|--------------------|--------------------|-------------------|
| FULL SIZE STALL | 8'-3" (2.5m) min. | 19'-8" (6.0m) min. | 6'-4" (2.0m) min. |
| SMALL SIZE STALL (50% max) | 7'-6" (2.3m) min. | 15'-9" (4.8m) min. | 6'-4" (2.0m) min. |
| ACCESSIBLE STALL | 12'-2" (3.7m) min. | 19'-8" (6.0m) min. | 6'-4" (2.0m) min. |
| DRIVE AISLES (2-way 90° pkg) | 23'-0" (7.0m) min. | | |

PARKING SUMMARY

| | | |
|--|---|--------------------------------|
| AT GRADE | 2 (1 CAR SHARE SPACE PROVIDED) | |
| PARKADE | 57 (1 ACCESSIBLE & 1 VAN-ACCESSIBLE SPACE PROVIDED) | |
| TOTAL: | 59 | |
| PARKING REQUIREMENTS: | | |
| RESIDENTIAL (URBAN CENTRE): | | |
| 0.8 stalls/ studio x 20 units | 16 stalls | |
| 0.9 stalls/ 1 bedroom units x 20 units | 26 stalls | |
| 1.0 stalls/ 2 bedroom units x 17 units | 17 stalls | |
| 0.14 stalls/ dwelling unit x 66 units | 10 visitor stalls | |
| | 69 stalls | |
| CAR SHARE INCENTIVE x 1 | 5 stall reduction (1 space provided at rear lane) | |
| BIKE STORAGE INCENTIVE x 1 | 5 stall reduction (see calculations below) | |
| TOTAL PARKING REQUIRED | 59 stalls | |
| TOTAL PARKING PROVIDED | 59 stalls | |
| TOTAL SMALL CARS W/1 COUNT | 27 stalls | |
| BIKE PARKING REQUIREMENTS: | | |
| RESIDENTIAL: | REQ'D | PROVIDED |
| Bonus Long Term - 1.25 stall/studio, 1 bed | 61 stalls | |
| Bonus Long Term - 1.5 stall/2 bed | 25.5 stalls | |
| TOTAL PARKING REQUIRED | 87 stalls | 89 stalls (34 Ground Oriented) |
| Cargo Bicycle Spaces (Ground Oriented) | 0 stalls | 6 stalls of 86 provided |
| Short Term - 6 / entrance | 6 stalls | 6 stalls |

UNIT FLOOR AREAS:

| UNIT TYPES | DESCRIPTION | UNIT NFA (sqft) | OUTDOOR SPACE (sqm) | UNIT COUNT | TOTAL UNIT NFA (sqft) | TOTAL OUTDOOR SPACE (sqm) |
|--|--|-----------------|---------------------|------------|--------------------------------|---------------------------|
| A1 | BACHELOR | 455 | 9.2 | 20 | 9,100 | 184 |
| B1 | 1 BED | 650 | 6.1 | 12 | 7,800 | 73.2 |
| B2 | 1 BED | 575 | 13.7 | 4 | 2,300 | 54.8 |
| B3 | 1 BED | 690 | 11.3 | 5 | 3,250 | 56.5 |
| B4 | 1 BED | 525 | 1.0 | 5 | 2,625 | 5.0 |
| B5 | 1 BED | 650 | 38.3 | 1 | 650 | 38.3 |
| B6 | 1 BED | 625 | 15.1 | 1 | 625 | 15.1 |
| C1 | 1 BED + DEN | 750 | 20.6 | 1 | 750 | 20.6 |
| D1 | 2 BED | 1,025 | 6.2 | 3 | 3,075 | 18.6 |
| D2 | 2 BED | 1,000 | 9.1 | 3 | 3,000 | 27.3 |
| D3 | 2 BED | 1,100 | 48.7 | 1 | 1,100 | 48.7 |
| E1 | 2 BED + DEN | 1,085 | 68.7 | 1 | 1,085 | 68.7 |
| E2 | 2 BED + DEN | 1,225 | 6.1 | 3 | 3,675 | 18.3 |
| T1 | 2 BED TOWNHOME | 1,180 | 35.0 | 5 | 5,900 | 175 |
| T2 | 2 BED TOWNHOME | 1,300 | 74.0 | 1 | 1,300 | 74.0 |
| TOTAL UNIT COUNT | | | | 66 | | |
| TOTAL NET AREA FOR F.A.R. | | | | | 48,435 (4,500 m ²) | 8780 m ² |
| PRIVATE AMENITY SPACE: | | | | | | |
| PERMITTED (sqm) | 6.0m/bachelor x 20 + 10m/1 bed x 29 units + 15 unit/2 bed x 17 units = | | | | 7158 m ² | |
| PROPOSED (sqm) | | | | | | |
| BALC / TERRACES: | | | | | | |
| COMMON AMENITY TERRACE: PERMITTED(sqm): 4 SM PER DWELLING = 264 SM | | | | | 6,503 m ² | |
| ENTRY PLAZA: | | | | | 40 m ² | |
| TOTAL: | | | | | 8,882 m ² | |
| GROSS FLOOR AREAS: | | | | | | |
| PARKADE LO | GFA sqft | GFA sqm | | | | |
| | 13,720 | 1,275 | | | | |
| PARKADE L1 | 10,680 | 992 | | | | |
| TOTAL PARKADE GFA | 24,400 | 2,267 | | | | |
| LEVEL 1 RESIDENTIAL | 3,696 | 342 | | | | |
| LEVEL 2 RESIDENTIAL | 10,336 | 960 | | | | |
| LEVEL 3 - 5 RESIDENTIAL | 10,165 (X3) | 944 (X3) | | | | |
| LEVEL 6 RESIDENTIAL | 8,975 | 834 | | | | |
| TOTAL RESIDENTIAL GFA | 53,491 | 4,969 | | | | |

CLIENT:

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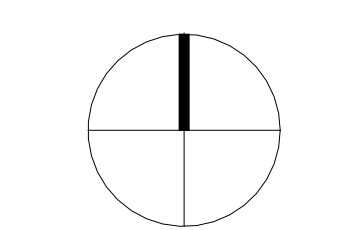


BUILDING ENVELOPE:
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CONTACT: LESLIE PEER
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Phone: (778) 738-1746
EMAIL: LPEER@RJC.CA



ISSUED FOR COORDINATION

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2025-02-13

RECORD OF ISSUES

| NO. | DATE | DESCRIPTION |
|-----|------------|---|
| 01 | 2021.05.27 | ISSUED FOR REJOINING & DEVELOPMENT PERMIT |
| 02 | 2021.11.08 | RE-ISSUED FOR REJOINING & DEVELOPMENT PERMIT |
| 03 | 2022.02.22 | RE-ISSUED FOR REJOINING & SP TO SUE CITY COMMENTS |
| 04 | 2022.06.09 | ISSUED FOR B/P |
| 05 | 2022.07.11 | ISSUED FOR PRICING |
| 06 | 2022.08.19 | ISSUED FOR POST TENDER ADDENDUM |
| 07 | 2023.08.02 | ISSUED FOR IFC COORDINATION |
| 08 | 2023.11.09 | RE-ISSUED FOR BUILDING PERMIT |
| 09 | 2024.01.16 | ISSUED FOR CONSTRUCTION |
| 10 | 2024.12.20 | RE-ISSUED FOR SP CURRENT ZONING |
| 11 | 2025.02.06 | UC1 UPDATES |

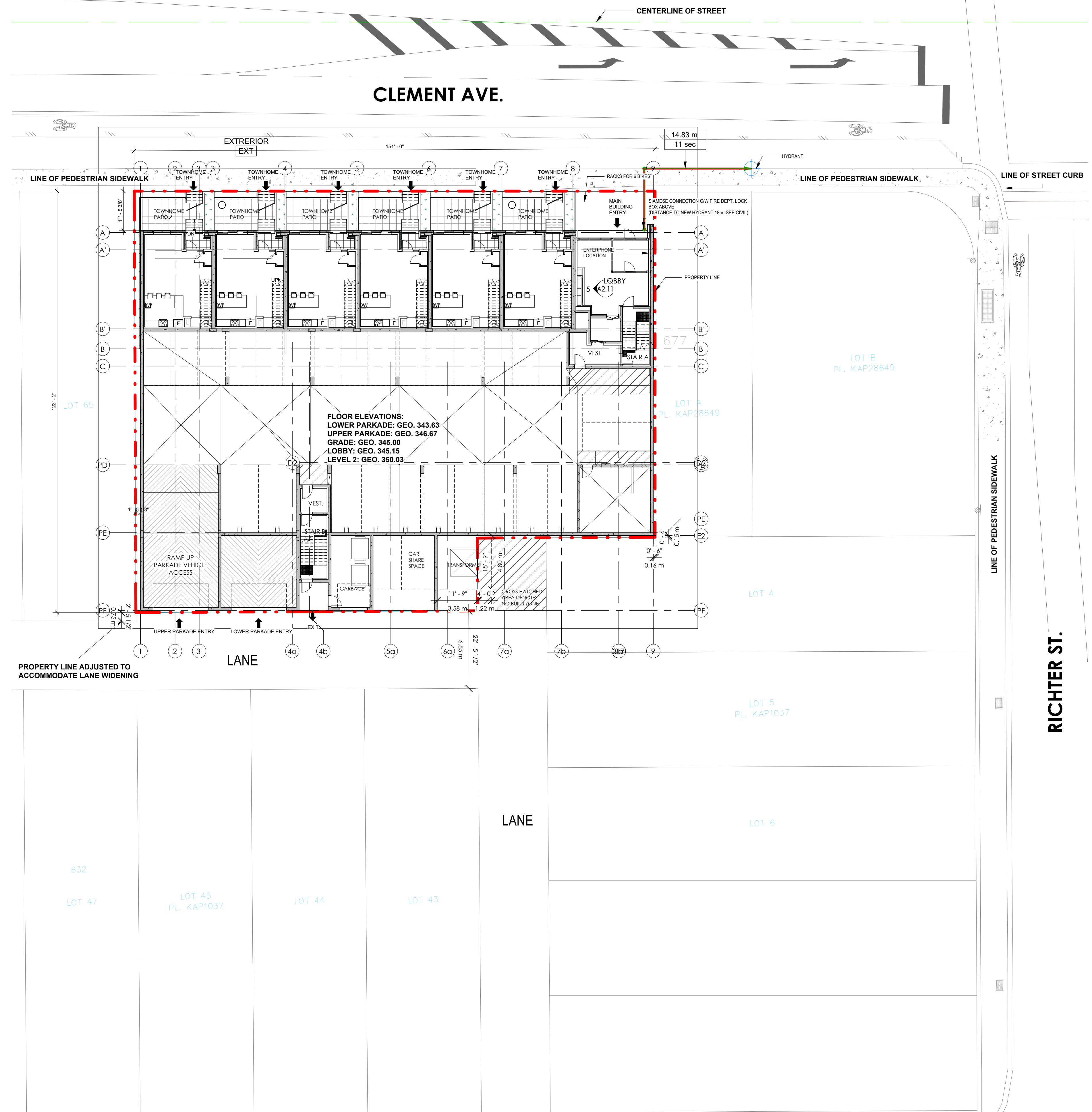
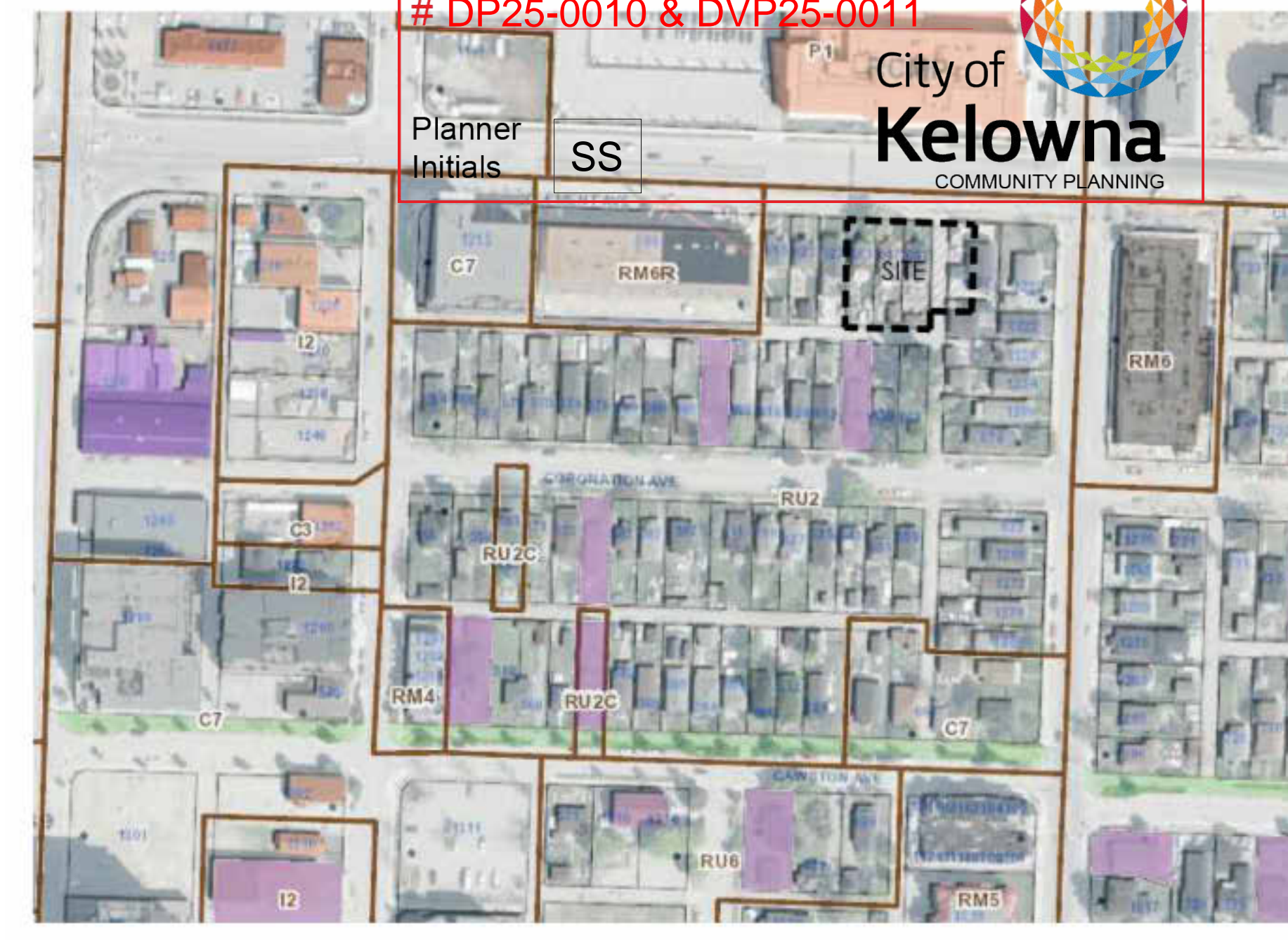
RECORD OF REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|------------------|
| 1 | 2024.01.08 | IFC COORDINATION |

Project: SAVOY ON CLEMENT
RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

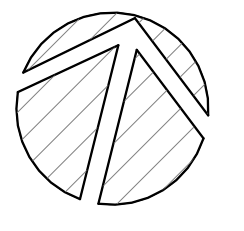
Sheet Title: COVER SHEET
Job Number: 21.888
Date: 07/11/22
Scale:
Revision Number: A
Drawing Number:

SCHEDULE A
 This forms part of application
 # DP25-0010 & DVP25-0011
 City of Kelowna
 COMMUNITY PLANNING
 Planner Initials **SS**



FLOOR ELEVATIONS:
 LOWER PARKADE: GEO. 343.63
 UPPER PARKADE: GEO. 346.67
 GRADE: GEO. 345.00
 LOBBY: GEO. 345.15
 LEVEL 2: GEO. 350.03

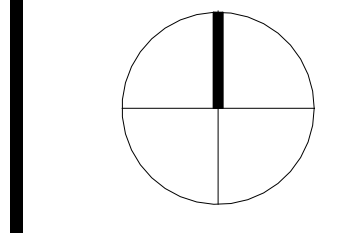
RICHTER ST.



BLUEGREEN
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 www.bluegreenarchitecture.com

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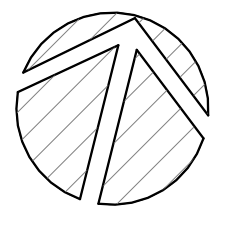


2025-02-13

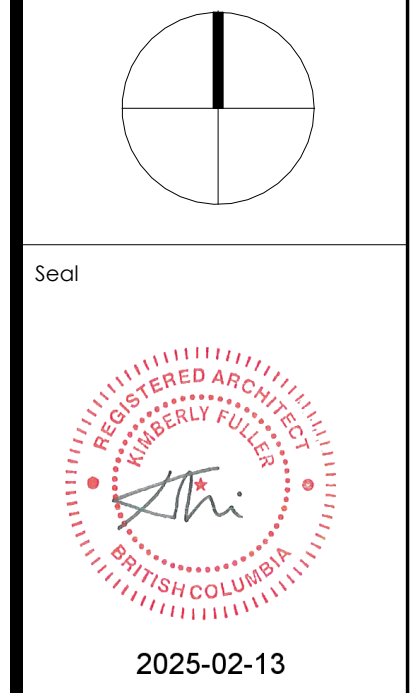
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| 09 | 2024.01.14 | ISSUED FOR CONSTRUCTION |
| 10 | 2024.12.20 | RE-ISSUED FOR DP CURRENT ZONING |
| 11 | 2025.02.04 | VCI UPDATES |

| RECORD OF REVISIONS | | |
|---------------------|------------|------------------|
| NO. | DATE | DESCRIPTION |
| 5 | 2024.01.08 | IFC COORDINATION |

Project
SAVOY
 ON CLEMET
 RESIDENTIAL DEVELOPMENT
 647 CLEMET AVE
 Sheet Title
 SITE PLAN - LOBBY
 Job Number 21.888
 Date 07/11/22
 Scale 1/16" = 1'-0"
 Revision Number A
 Drawing Number



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2025-02-13

| NO. | DATE | DESCRIPTION |
|-----|------------|--|
| 01 | 2021.05.27 | ISSUED FOR REZONING & DEVELOPMENT PERMIT |
| 02 | 2021.11.08 | RE-ISSUED FOR REZONING & DEVELOPMENT PERMIT |
| 03 | 2022.02.22 | RE-ISSUED FOR REZONING & DP TO SUE CITY COMMENTS |
| 04 | 2022.04.09 | ISSUED FOR B.P. |
| 05 | 2022.07.11 | ISSUED FOR PRICING |
| 06 | 2022.08.19 | ISSUED FOR POST TENDER ADDENDUM |
| 07 | 2023.08.02 | ISSUED FOR IFC COORDINATION |
| 08 | 2023.11.09 | RE-ISSUED FOR BUILDING PERMIT |
| 09 | 2024.01.14 | ISSUED FOR CONSTRUCTION |
| 10 | 2024.12.20 | RE-ISSUED FOR DP CURRENT ZONING |
| 11 | 2025.02.04 | VCI UPDATES |

| NO. | DATE | DESCRIPTION |
|-----|------------|-------------------|
| 3 | 2024.01.08 | IFC COORDINATION |
| 4 | 2023.11.13 | IFC COORDINATION |
| 1 | 01.25.2022 | 1625 COORDINATION |

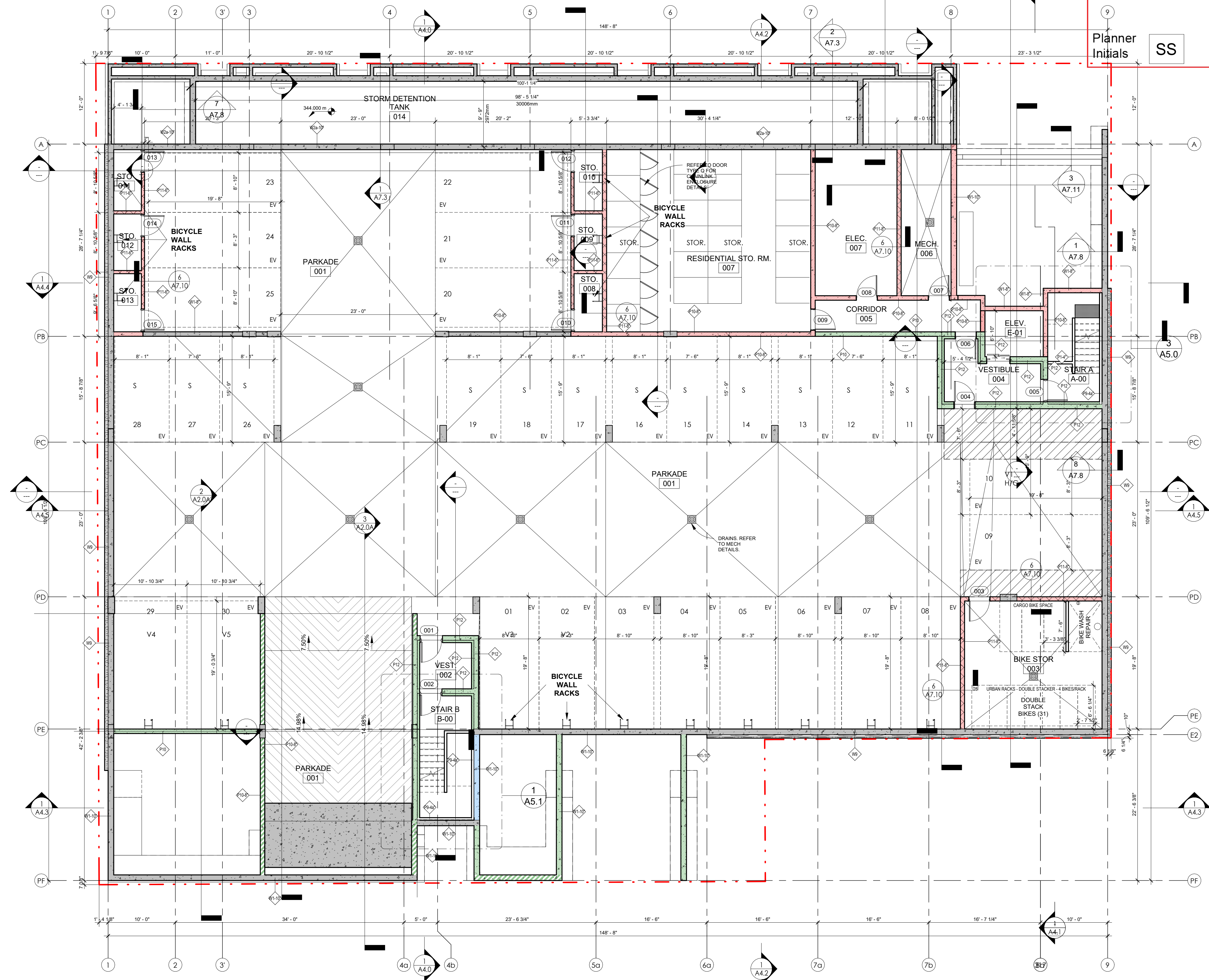
Project
SAVOY
 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 647 CLEMENT AVE

Sheet Title
BASEMENT-LOWER PARKADE PLAN

Job Number 21.888
 Date 07/11/22
 Scale 1/8" = 1'-0"
 Revision Number A
 Drawing Number

SCHEDULE A
 This forms part of application
 # DP25-0010 & DVP25-0011
 Planner Initials **SS**



1 LEVEL 0- LOWER PARKADE
A2.0 1/8" = 1'-0"

LEGEND:
 (MAIN RATINGS REQUIRED @ WALLS)

| | |
|---------------------------------|---------------------|
| 1 HOUR FIRE SEPARATION | [Red solid box] |
| 1 HOUR FIRE RESISTANCE RATING | [Red hatched box] |
| 1.5 HOUR FIRE SEPARATION | [Green solid box] |
| 1.5 HOUR FIRE RESISTANCE RATING | [Green hatched box] |
| 2 HOUR FIRE SEPARATION | [Blue solid box] |
| 2 HOUR FIRE RESISTANCE RATING | [Blue hatched box] |

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2025-02-13

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| 07 | 2023.08.02 | ISSUED FOR IFC COORDINATION |
| 08 | 2023.11.09 | RE-ISSUED FOR BUILDING PERMIT |
| 09 | 2024.01.16 | ISSUED FOR CONSTRUCTION |
| 10 | 2024.12.20 | RE-ISSUED FOR SP CURRENT ZONING |
| 11 | 2025.02.06 | VCI UPDATES |

| RECORD OF REVISIONS | | |
|---------------------|------------|------------------|
| NO. | DATE | DESCRIPTION |
| 3 | 2024.01.08 | IFC COORDINATION |
| 4 | 2023.11.13 | IFC COORDINATION |
| 1 | 01.25.2022 | 60% COORDINATION |

| RECORD OF REVISIONS | | |
|---------------------|------|-------------|
| NO. | DATE | DESCRIPTION |

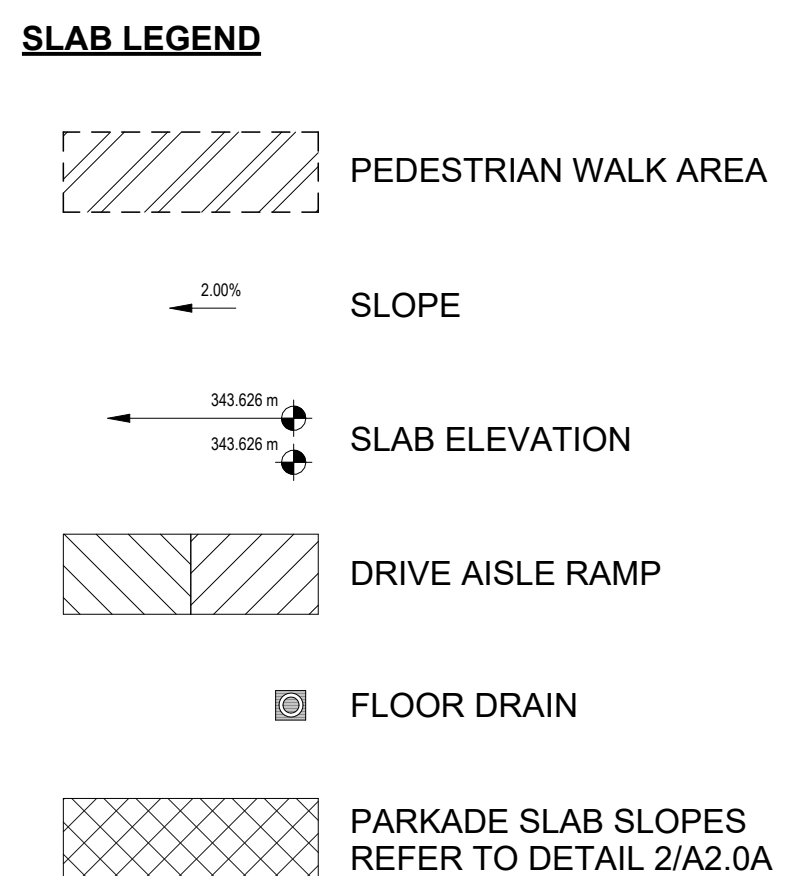
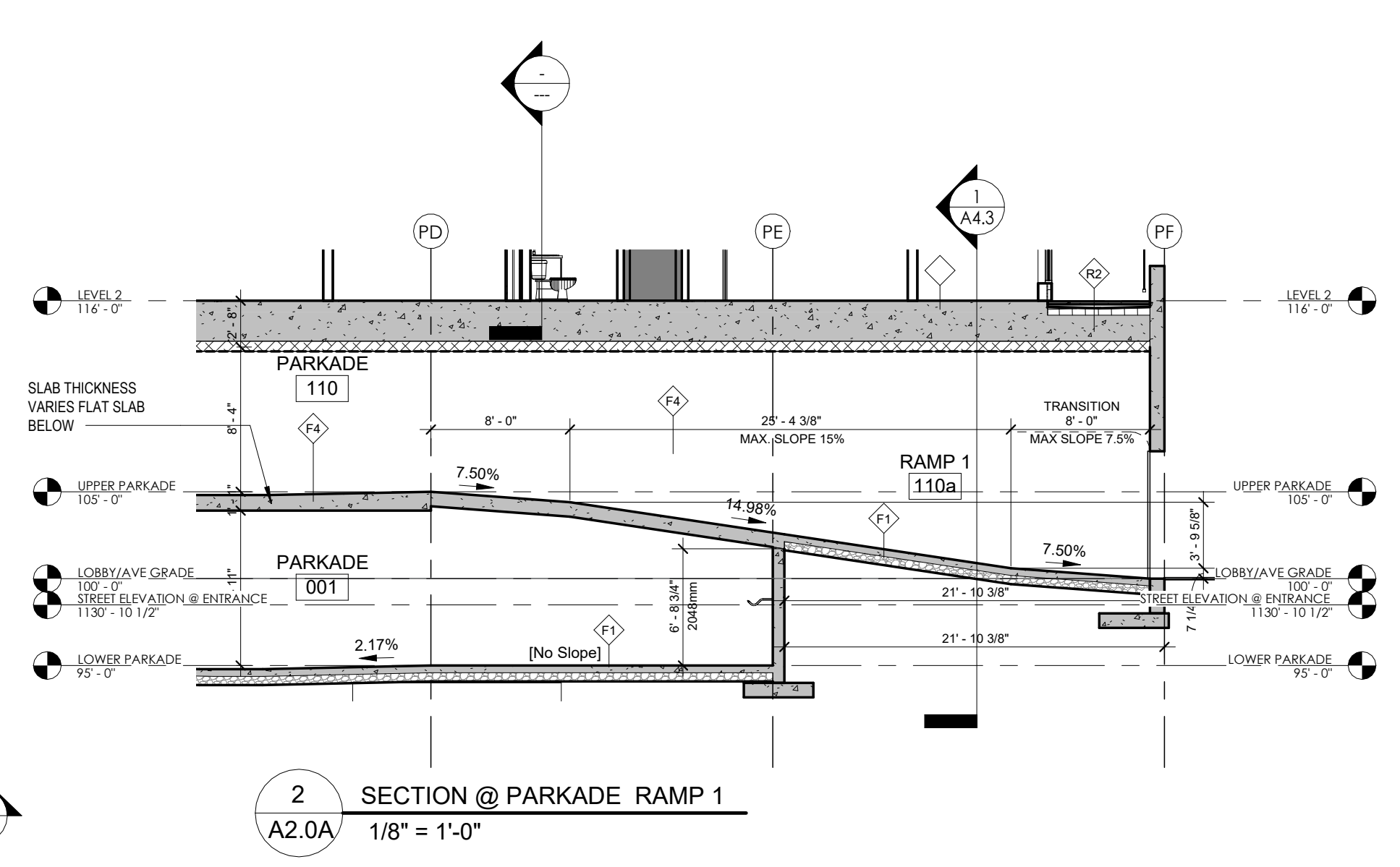
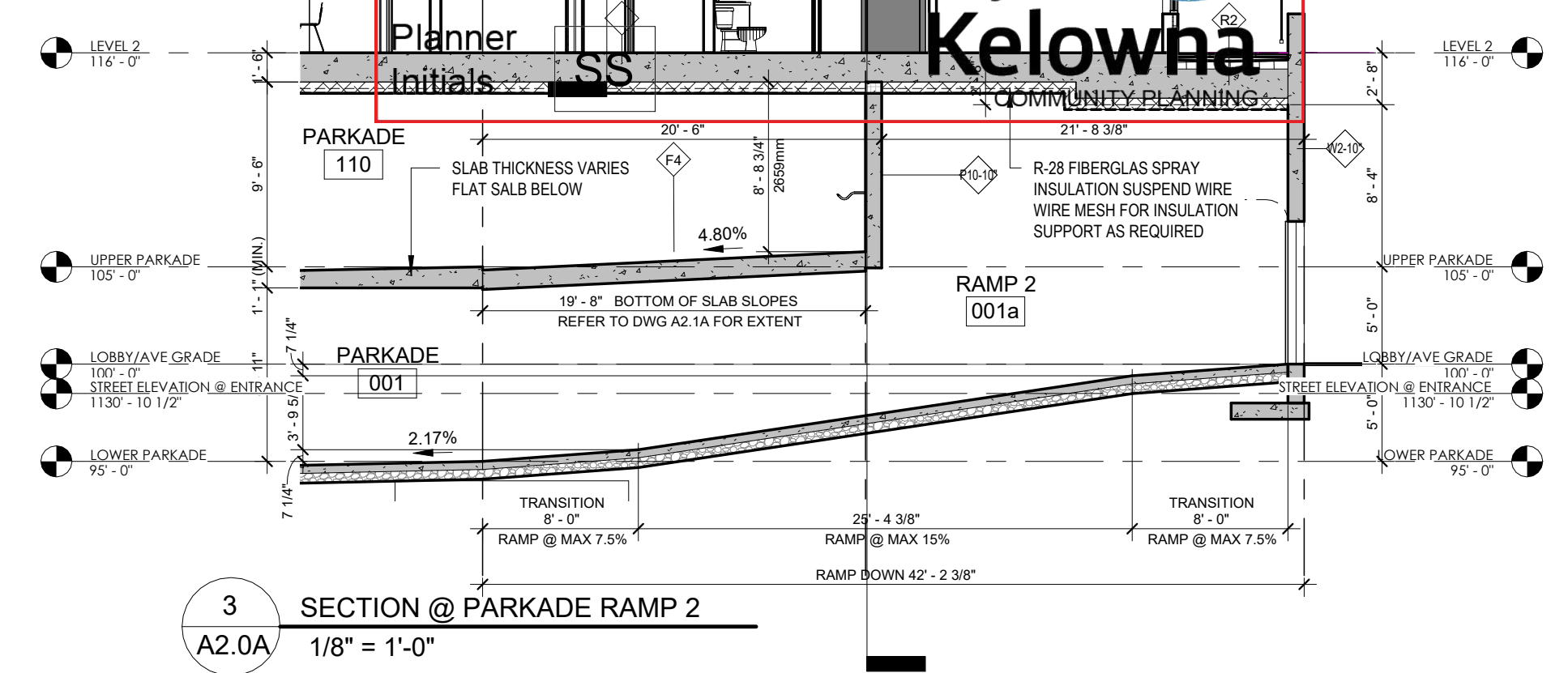
Project
SAVOY
 ON CLEMENT
 RESIDENTIAL DEVELOPMENT
 647 CLEMENT AVE

Sheet Title
BASEMENT- LEVEL 0 - SLAB EDGE PLAN

Job Number 21.888
 Date 06/21/23
 Scale 1/8" = 1'-0"
 Revision Number A
 Drawing Number

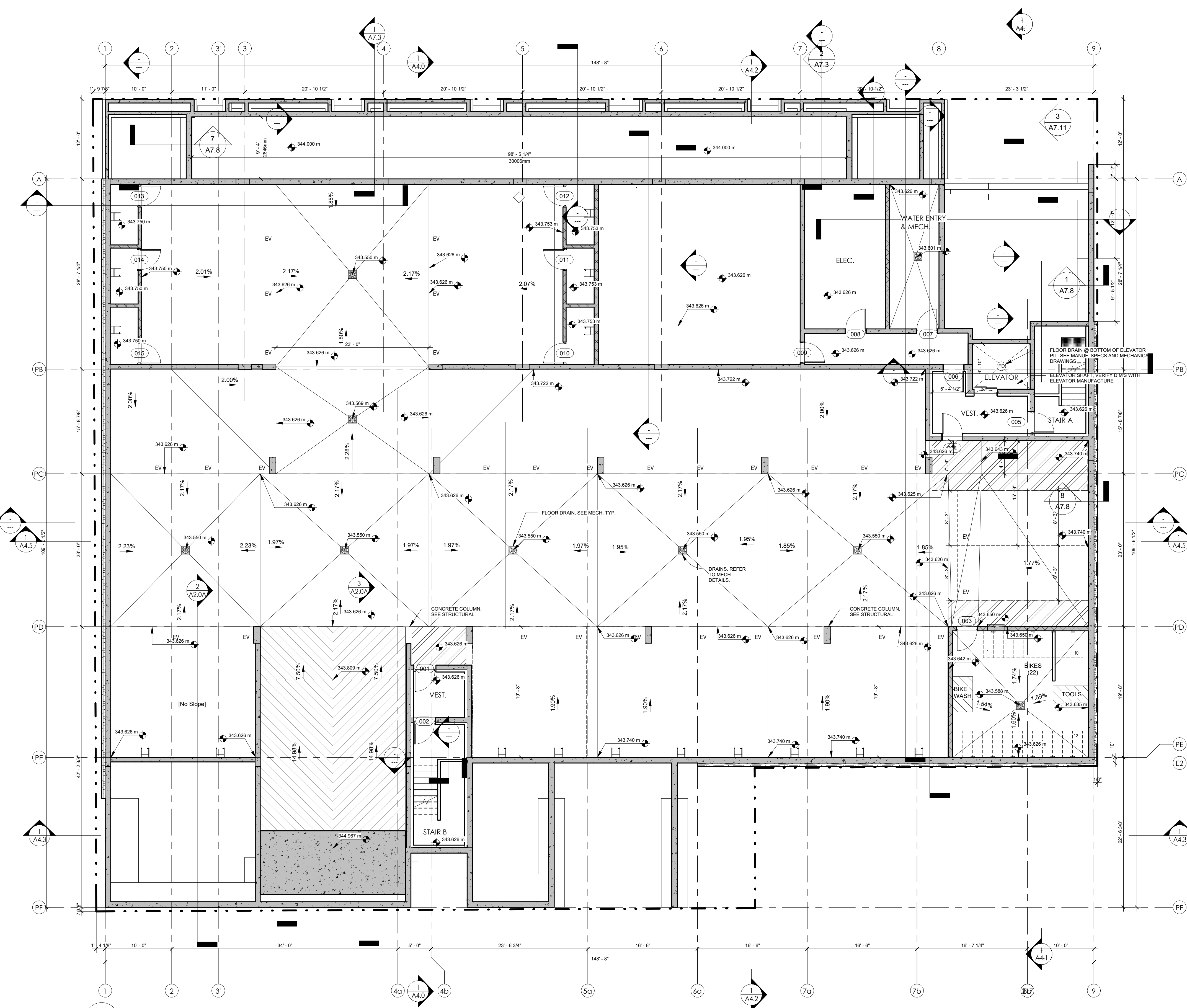
A2.0A

SCHEDULE A
 This forms part of application
 # DP25-0010 & DVP25-0011



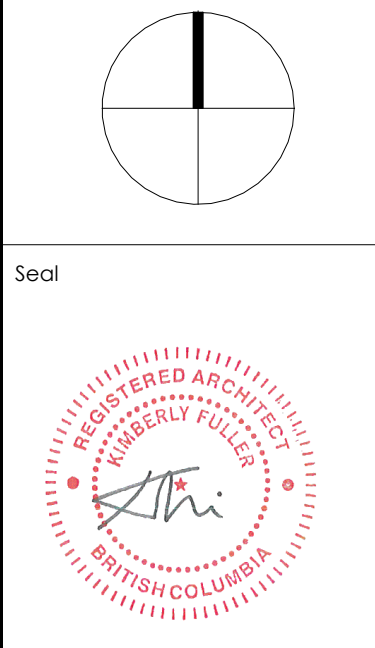
GENERAL NOTE: PARKADE SLAB VARIES IN THICKNESS U/S OF SLAB IS FLAT UNLESS NOTED OTHERWISE. (MIN. SLAB THICKNESS AS NOTED ON STRUCTURAL DRAWINGS)

NOTES: - SEE A0.9 - RADON VENTED CONCRETE SLAB FOR RADON ZONES AND INFORMATION
 - MECH CONSULTANTS TO ENSURE THAT THE PARKADE VENTILATION IN THE PARKING AREA IS DESIGNED FOR RADON PREVENTION AS PER BCBC 2018 ARTICLE 6.2.1. (i)
 - EXPOSED PARKADE FLOOR SLAB SURFACES TO RECEIVE TRAFFIC COATING
 - EXPOSED CONCRETE STAIR, VESTIBULE SLAB, MECHANICAL, ELECTRICAL ROOM FLOORS TO BE SEALED



1 LEVEL 0 LOWER PARKADE SLAB PLAN
 A2.0A 1/8" = 1'-0"

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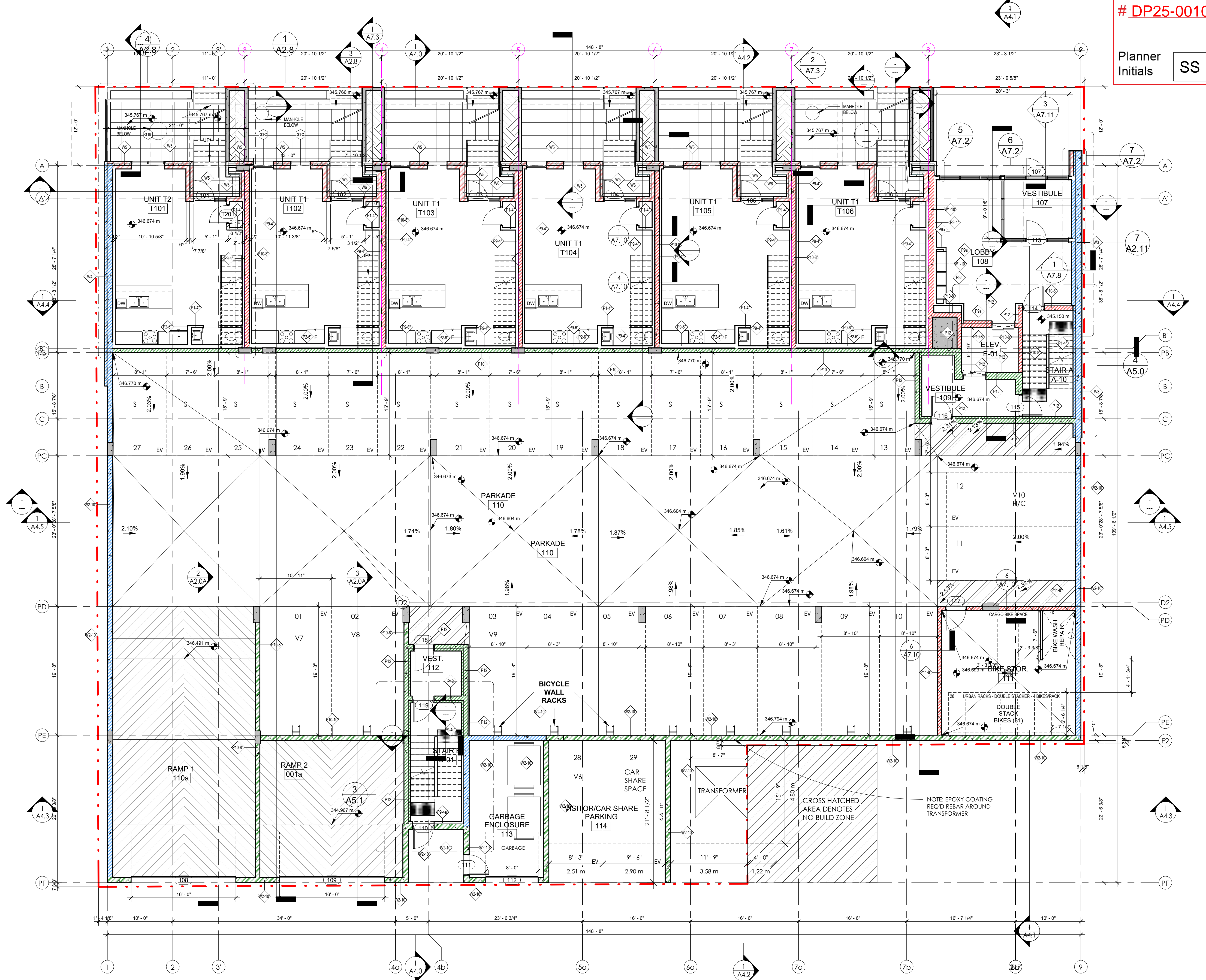


SCHEDULE A

This forms part of application
 # DP25-0010 & DVP25-0011

Planner Initials **SS**

City of Kelowna
 COMMUNITY PLANNING



1 LEVEL 1-UPPER PARKADE
 A2.1 1/8" = 1'-0"

AMENITY SPACE 2ND LEVEL

| | |
|--|---------------|
| INDOOR COMMON | 840 SF |
| OUTDOOR COMMON | |
| PRIVATE AMENITY | |
| TOTAL COMMON + PRIVATE AMENITY SPACE: | 840 SF |

LEGEND
 (MAIN RATINGS REQUIRED @ WALLS)

| | |
|---------------------------------|---------------------|
| 1 HOUR FIRE SEPARATION | [Red solid box] |
| 1 HOUR FIRE RESISTANCE RATING | [Red hatched box] |
| 1.5 HOUR FIRE SEPARATION | [Green solid box] |
| 1.5 HOUR FIRE RESISTANCE RATING | [Green hatched box] |
| 2 HOUR FIRE SEPARATION | [Blue solid box] |
| 2 HOUR FIRE RESISTANCE RATING | [Blue hatched box] |

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| 09 | 2024.01.14 | ISSUED FOR CONSTRUCTION |
| 10 | 2024.12.20 | RE-ISSUED FOR DP CURRENT ZONING |
| 11 | 2025.02.06 | VCI UPDATES |

RECORD OF REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|--------------------|
| 3 | 2024.01.08 | IPC COORDINATION |
| 4 | 2023.11.13 | IPC COORDINATION |
| 2 | 25.05.2022 | DP Review Comments |

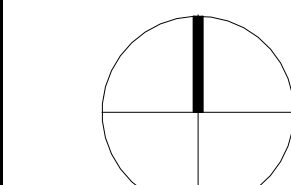
Project
SAVOY
 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 647 CLEMENT AVE

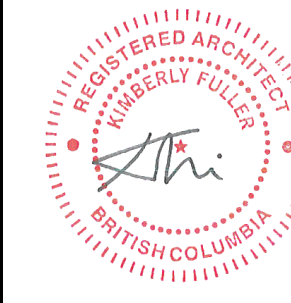
Sheet Title
MAIN FL.-LEVEL 1 - UPPER PARKADE PLAN

Job Number 21.888
 Date 07/11/22
 Scale 1/8" = 1'-0"
 Revision Number A
 Drawing Number

- THIS DRAWING MUST NOT BE SCALED.
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Seal



2025-02-13

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| 08 | 2023.11.09 | RE-ISSUED FOR BUILDING PERMIT |
| 09 | 2024.01.14 | ISSUED FOR CONSTRUCTION |
| 10 | 2024.12.20 | RE-ISSUED FOR SP CURRENT ZONING |
| 11 | 2025.02.04 | VCI UPDATES |

| RECORD OF REVISIONS | | |
|---------------------|------------|---------------------|
| NO. | DATE | DESCRIPTION |
| 1 | 2024.01.08 | IPC COORDINATION |
| 2 | 25.05.2022 | DFP Review Comments |

Project
SAVOY
 ON CLEMENT
 RESIDENTIAL DEVELOPMENT
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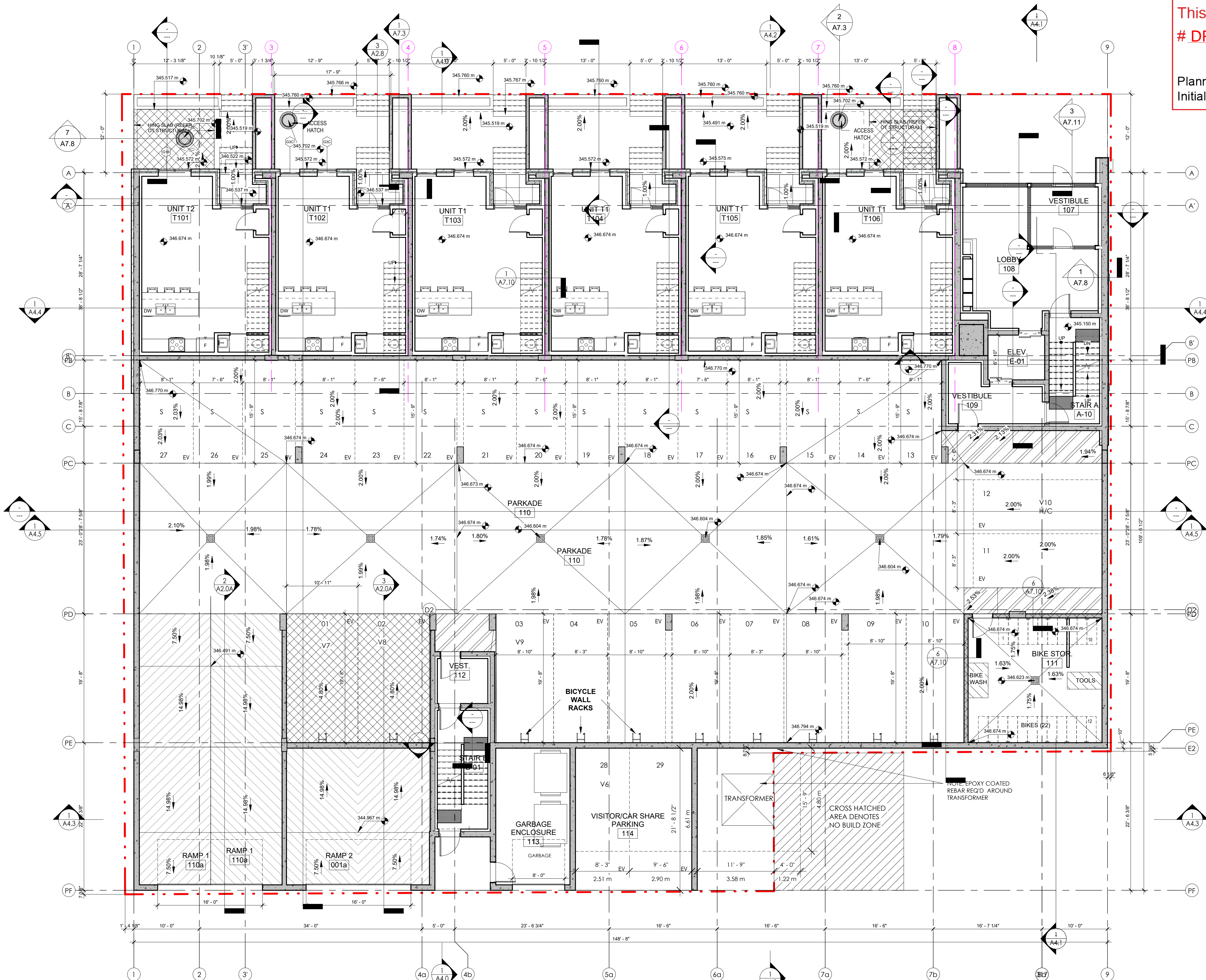
Sheet Title
**MAIN FL. - LEVEL 1 -
 SLAB EDGE PLAN**

Job Number 21.888
 Date 09/25/23
 Scale 1/8" = 1'-0"

Revision Number A
 Drawing Number

A2.1A

SCHEDULE A
 This forms part of application
 # DP25-0010 & DVP25-0011
 Planner Initials **SS**
City of Kelowna
 COMMUNITY PLANNING



SLAB LEGEND

- PEDESTRIAN WALK AREA
- SLOPE
- SLAB ELEVATION
- DRIVE AISLE RAMP
- FLOOR DRAIN
- PARKADE SLAB SLOPES REFER TO DETAIL 2/A2.0A

GENERAL NOTE: PARKADE SLAB VARIES IN THICKNESS U/S OF SLAB IS FLAT UNLESS NOTED OTHERWISE (MIN. SLAB THICKNESS AS NOTED ON STRUCTURAL DRAWINGS)

NOTES: - SEE A03 - RADON VENTED CONCRETE SLAB FOR RADON ZONES AND INFORMATION.
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AMENITY SPACE 1ST LEVEL
 INDOOR COMMON 660 SF
 OUTDOOR COMMON
 PRIVATE AMENITY
 TOTAL COMMON + PRIVATE AMENITY SPACE: 660 SF

1 LEVEL 1 UPPER PARKADE SLAB EDGE PLAN
A2.1A 1/8" = 1'-0"

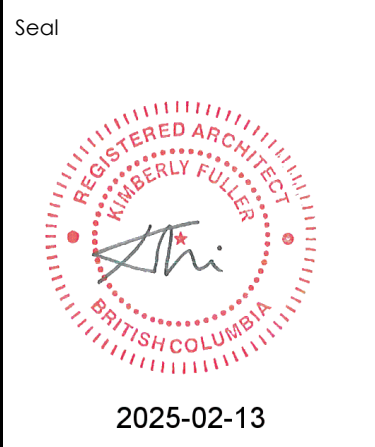
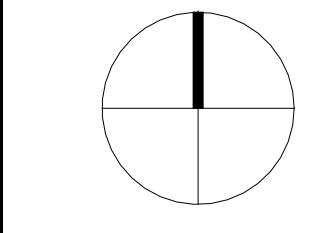
SCHEDULE A

This forms part of application
 # DP25-0010 & DVP25-0011

Planner Initials **SS**



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| 09 | 2024.01.16 | ISSUED FOR CONSTRUCTION |
| 10 | 2024.12.20 | RE-ISSUED FOR DP CURRENT ZONING |
| 11 | 2025.02.06 | VCI UPDATES |

| NO. | DATE | DESCRIPTION |
|-----|------------|--------------------|
| 1 | 2024.01.08 | IPC COORDINATION |
| 2 | 25.05.2022 | DP Review Comments |
| 1 | 01.25.2022 | 1625 COORDINATION |

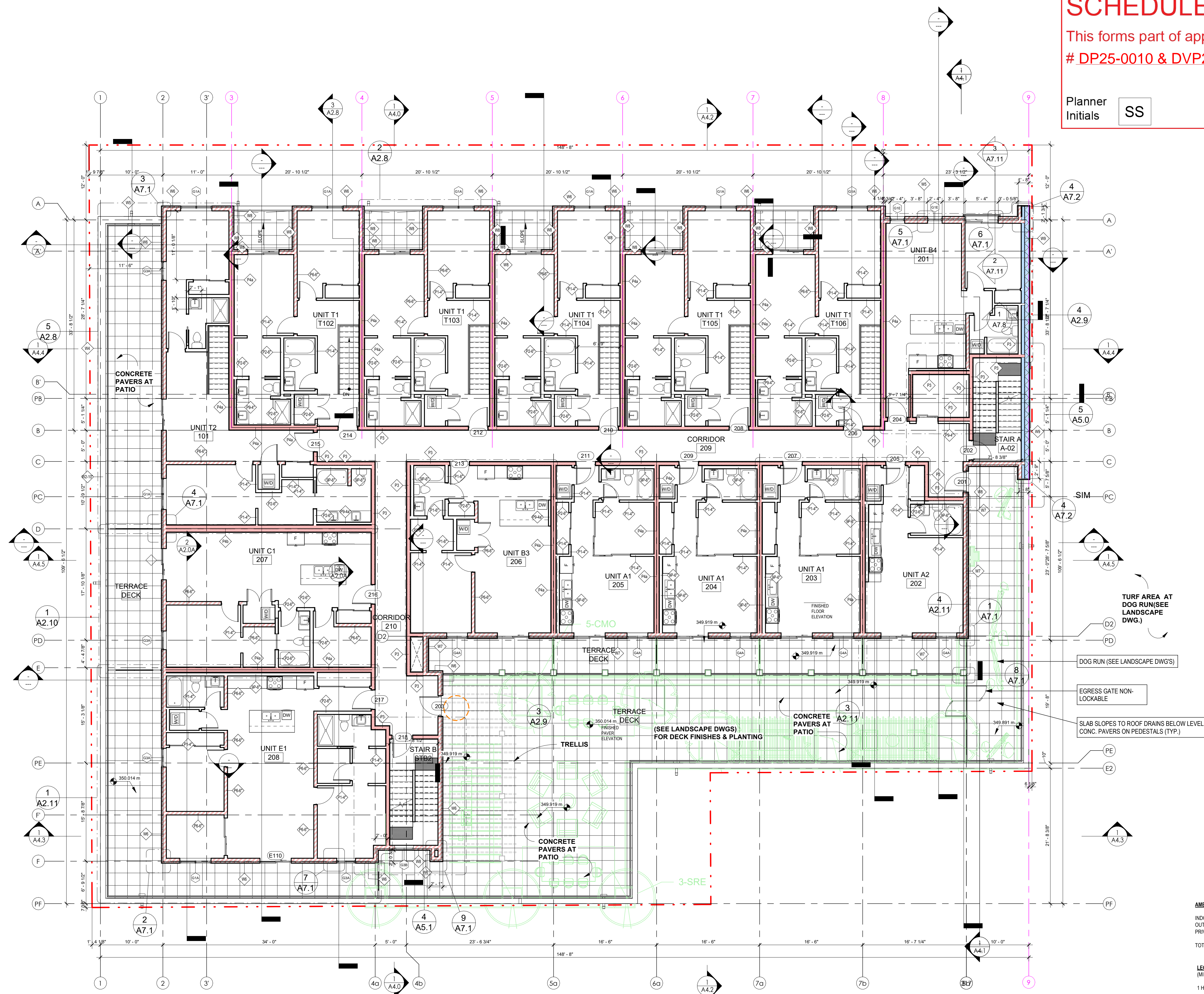
| NO. | DATE | DESCRIPTION |
|-----|------------|-------------------|
| 1 | 01.25.2022 | 1625 COORDINATION |

Project
SAVOY
 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE

Sheet Title
2ND FL-LEVEL 2 - FLOOR PLAN

Job Number 21.888
 Date 07/11/22
 Scale 1/8" = 1'-0"
 Revision Number A
 Drawing Number



1 LEVEL 2
 A2.2 1/8" = 1'-0"

AMENITY SPACE 2ND LEVEL

| | |
|--|-----------------|
| INDOOR COMMON | 2,340 SF |
| OUTDOOR COMMON | 1,831 SF |
| PRIVATE AMENITY | |
| TOTAL COMMON + PRIVATE AMENITY SPACE: | 4,271 SF |

LEGEND
 (MIN. RATINGS REQUIRED @ WALLS)

| | |
|---------------------------------|---------------------|
| 1 HOUR FIRE SEPARATION | [Red solid box] |
| 1 HOUR FIRE RESISTANCE RATING | [Red hatched box] |
| 1.5 HOUR FIRE SEPARATION | [Green solid box] |
| 1.5 HOUR FIRE RESISTANCE RATING | [Green hatched box] |
| 2 HOUR FIRE SEPARATION | [Blue solid box] |
| 2 HOUR FIRE RESISTANCE RATING | [Blue hatched box] |

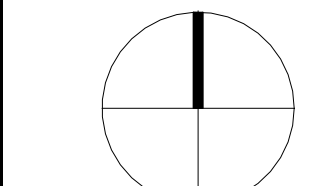
SCHEDULE A

This forms part of application
 # DP25-0010 & DVP25-0011



Planner Initials **SS**

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| 11 | 2025.02.04 | VCI UPDATES |

| | | |
|---|------------|------------------|
| 3 | 2024.01.08 | IFC COORDINATION |
| 4 | 2023.11.13 | IFC COORDINATION |

RECORD OF REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| 1 | | |

Project

SAVOY
 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 647 CLEMENT AVE

Sheet Title
 2ND FL.-LEVEL 2
 SLAB / SLOPED
 INSULATION PLAN

Job Number 21.888

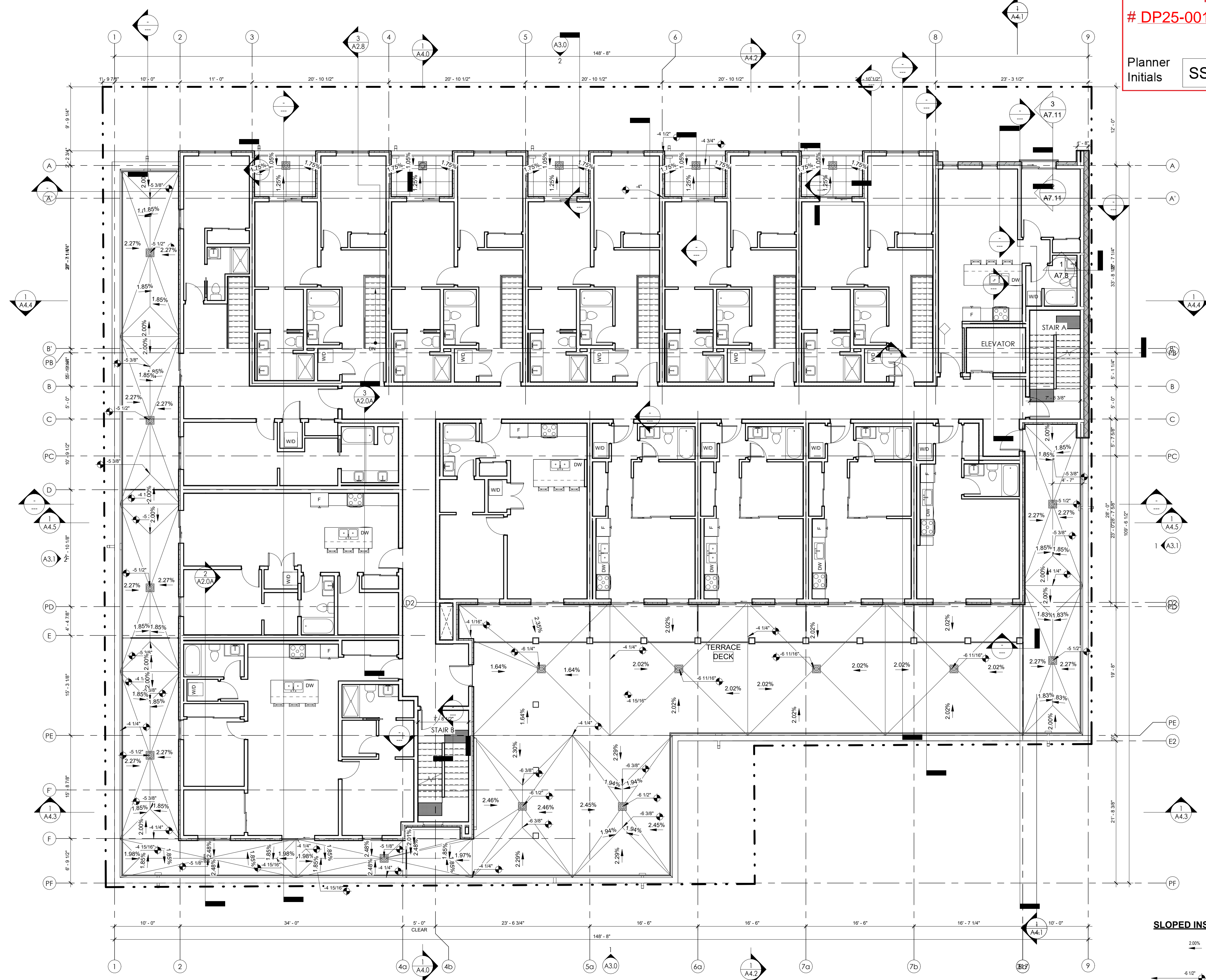
Date 07/11/22

Scale 1/8" = 1'-0"

Revision Number A

Drawing Number

2025-02-13 4:46:08 PM



1 LEVEL 2 SLAB PLAN
A2.2A 1/8" = 1'-0"

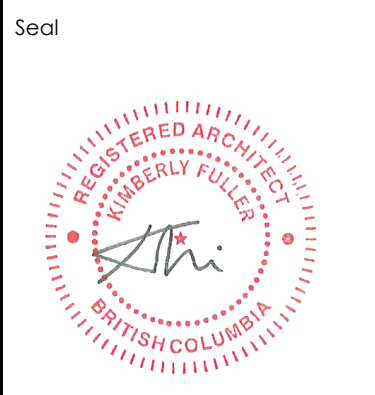
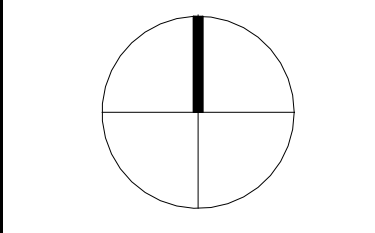
SLOPED INSULATION LEGEND

- 2.00% SLOPE
- 4.12" T/O MEMBRANE OVER SLOPED INSULATION (DIM A.F.F. @ ASSOCIATED LEVEL.)
- FLOOR DRAIN

GENERAL NOTE:

1. SECOND FLOOR SLAB ELEVATION SET @ 350.027
2. 2ND FLOOR CONCRETE TERRACE ELEVATION SET @ 349.773 (10" BELOW FINISHED SECOND FLOOR ELEVATION)
3. SLOPES NOTE ON DRAWING ARE LOCATED @ TOP OF DECK MEMBRANE

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| 06 | 2022.08.19 | ISSUED FOR POST TENDER ADDENDUM |
| 07 | 2023.08.02 | ISSUED FOR IFC COORDINATION |
| 08 | 2023.11.09 | RE-ISSUED FOR BUILDING PERMIT |
| 09 | 2024.01.14 | ISSUED FOR CONSTRUCTION |
| 10 | 2024.12.20 | RE-ISSUED FOR DP CURRENT ZONING |
| 11 | 2025.02.04 | VCI UPDATES |

| RECORD OF REVISIONS | | |
|---------------------|------------|--------------------|
| NO. | DATE | DESCRIPTION |
| 3 | 2024.01.08 | IFC COORDINATION |
| 4 | 2023.11.13 | IFC COORDINATION |
| 2 | 25.05.2022 | DP Review Comments |

Project

SAVOY
 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE

Sheet Title
 3RD FL.-LEVEL 3 -
 FLOOR PLAN

Job Number 21.888
 Date 07/11/22

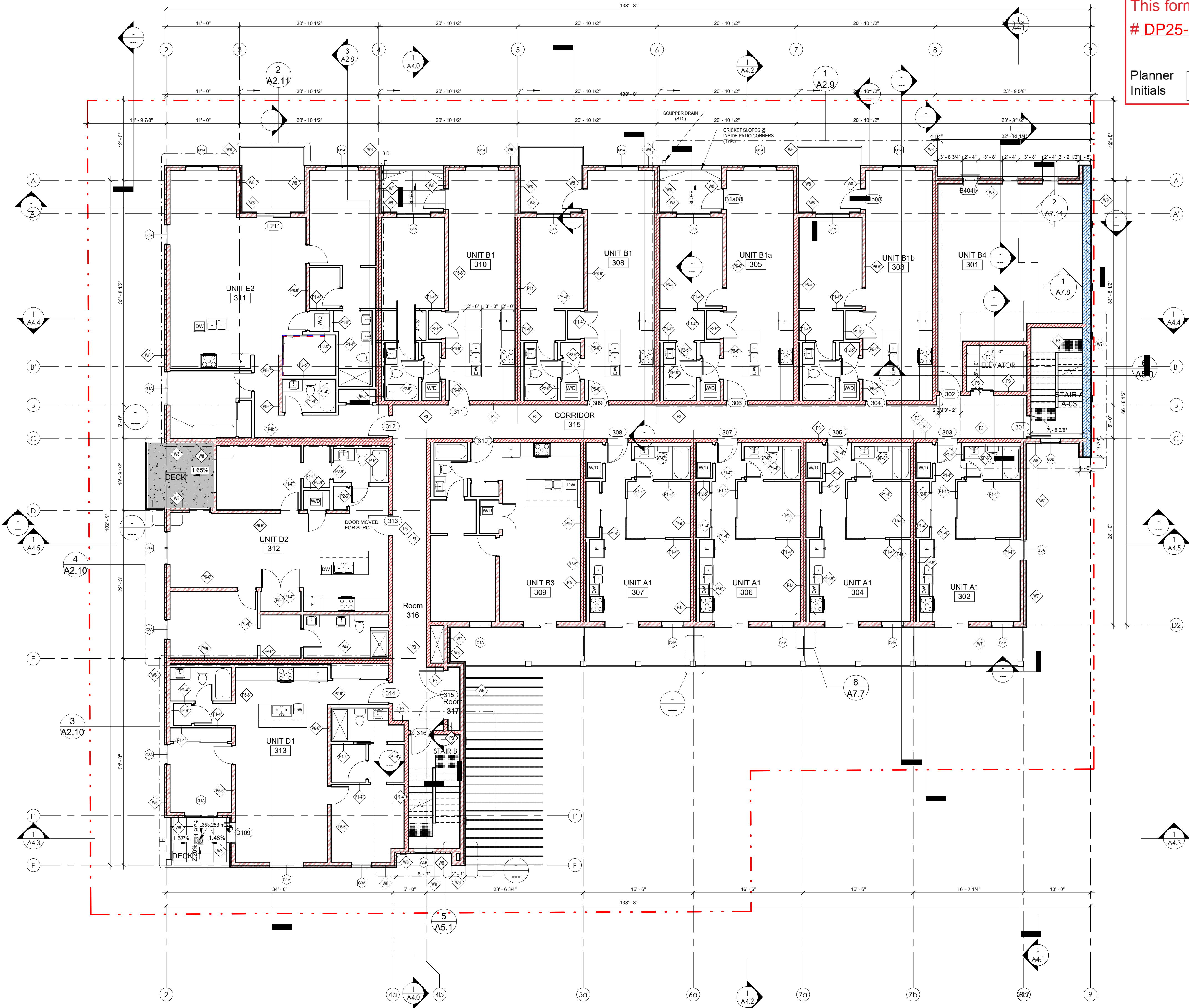
Scale 1/8" = 1'-0"

Revision Number A
 Drawing Number

SCHEDULE A

This forms part of application
 # DP25-0010 & DVP25-0011

Planner Initials **SS**



1 LEVEL 3
A2.3 1/8" = 1'-0"

AMENITY SPACE 3RD LEVEL

| | |
|--|-----------------|
| INDOOR COMMON | |
| OUTDOOR COMMON | 1,089 SF |
| PRIVATE AMENITY | |
| TOTAL COMMON + PRIVATE AMENITY SPACE: | 1,089 SF |

LEGEND
 (MAIN RATINGS REQUIRED @ WALLS)

| | |
|---------------------------------|---------------------|
| 1 HOUR FIRE SEPARATION | [Red solid box] |
| 1 HOUR FIRE RESISTANCE RATING | [Red hatched box] |
| 1.5 HOUR FIRE SEPARATION | [Green solid box] |
| 1.5 HOUR FIRE RESISTANCE RATING | [Green hatched box] |
| 2 HOUR FIRE SEPARATION | [Blue solid box] |
| 2 HOUR FIRE RESISTANCE RATING | [Blue hatched box] |

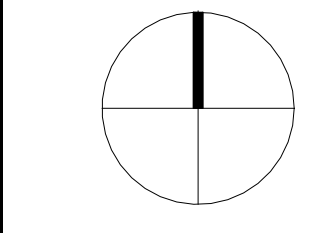
SCHEDULE A

This forms part of application
 # DP25-0010 & DVP25-0011



Planner Initials **SS**

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Seal
 REGISTERED ARCHITECT
 BRITISH COLUMBIA
 2025-02-13

| RECORD OF ISSUES | | |
|------------------|------------|--|
| NO. | DATE | DESCRIPTION |
| 01 | 2021.05.27 | ISSUED FOR REZONING & DEVELOPMENT PERMIT |
| 02 | 2021.11.08 | RE-ISSUED FOR REZONING & DEVELOPMENT PERMIT |
| 03 | 2022.02.22 | RE-ISSUED FOR REZONING & DP TO SUE CITY COMMENTS |
| 04 | 2022.04.09 | ISSUED FOR B.P. |
| 05 | 2022.07.11 | ISSUED FOR PRICING |
| 06 | 2022.08.19 | ISSUED FOR POST TENDER ADDENDUM |
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| 10 | 2024.12.20 | RE-ISSUED FOR DP CURRENT ZONING |
| 11 | 2025.02.04 | VCI UPDATES |

| RECORD OF REVISIONS | | |
|---------------------|------------|--------------------|
| NO. | DATE | DESCRIPTION |
| 3 | 2024.01.08 | IFC COORDINATION |
| 4 | 2023.11.13 | IFC COORDINATION |
| 2 | 25.05.2022 | DP Review Comments |

Project

SAVOY
 ON CLEMENT

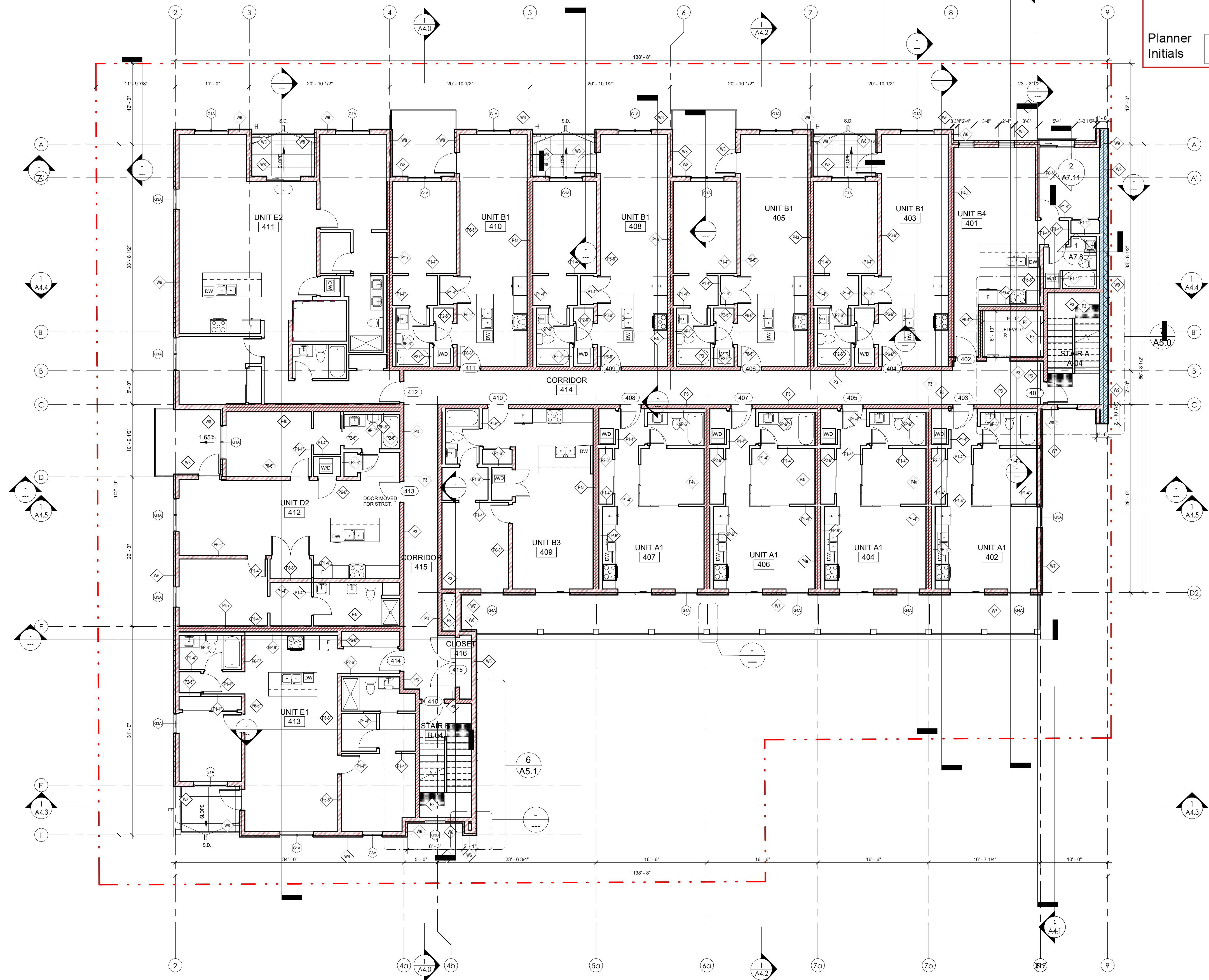
RESIDENTIAL DEVELOPMENT
 647 CLEMENT AVE

Sheet Title
 4TH FL.-LEVEL 4 - FLOOR PLAN

Job Number 21.888
 Date 07/11/22

Scale 1/8" = 1'-0"

Revision Number A
 Drawing Number



1 LEVEL 4
 A2.4 1/8" = 1'-0"

AMENITY SPACE 4TH LEVEL
 INDOOR COMMON
 OUTDOOR COMMON
 PRIVATE AMENITY
 TOTAL COMMON + PRIVATE AMENITY SPACE: 1,089 SF

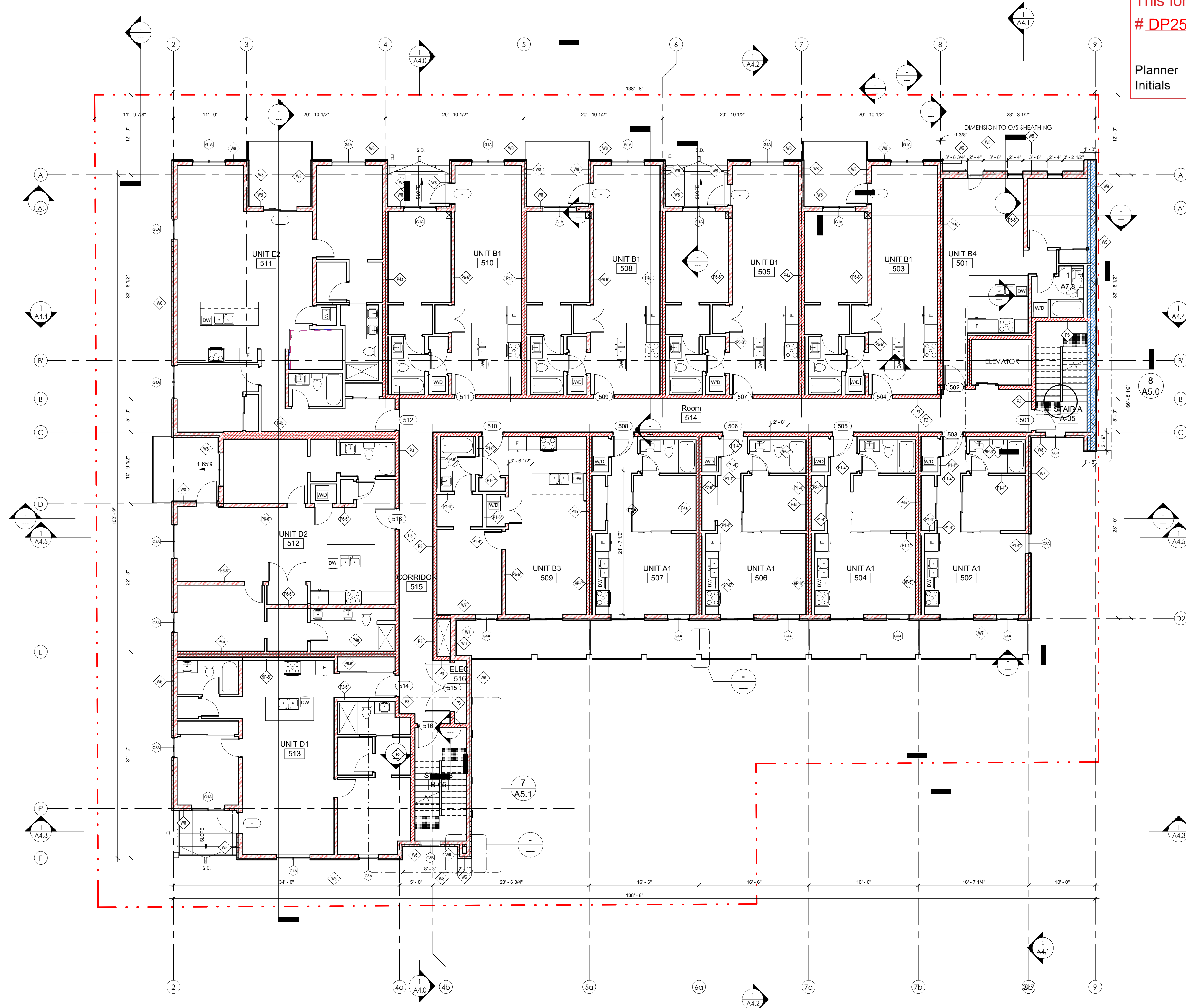
LEGEND:
 (MAIN RATINGS REQUIRED @ WALLS)

| | |
|---------------------------------|---------------------|
| 1 HOUR FIRE SEPARATION | [Red solid box] |
| 1 HOUR FIRE RESISTANCE RATING | [Red hatched box] |
| 1.5 HOUR FIRE SEPARATION | [Green solid box] |
| 1.5 HOUR FIRE RESISTANCE RATING | [Green hatched box] |
| 2 HOUR FIRE SEPARATION | [Blue solid box] |
| 2 HOUR FIRE RESISTANCE RATING | [Blue hatched box] |

SCHEDULE A

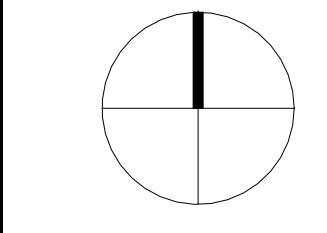
This forms part of application
 # DP25-0010 & DVP25-0011

Planner
 Initials **SS**



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Seal

 2025-02-13

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| 09 | 2024.01.14 | ISSUED FOR CONSTRUCTION |
| 10 | 2024.12.20 | RE-ISSUED FOR DP CURRENT ZONING |
| 11 | 2025.02.04 | VCI UPDATES |

| NO. | DATE | DESCRIPTION |
|-----|------------|--------------------|
| 3 | 2024.01.08 | IFC COORDINATION |
| 4 | 2023.11.13 | IFC COORDINATION |
| 2 | 25.05.2022 | DP Review Comments |

RECORD OF REVISIONS

Project
SAVOY
 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE

Sheet Title
5TH FL.-LEVEL 5 - FLOOR PLAN

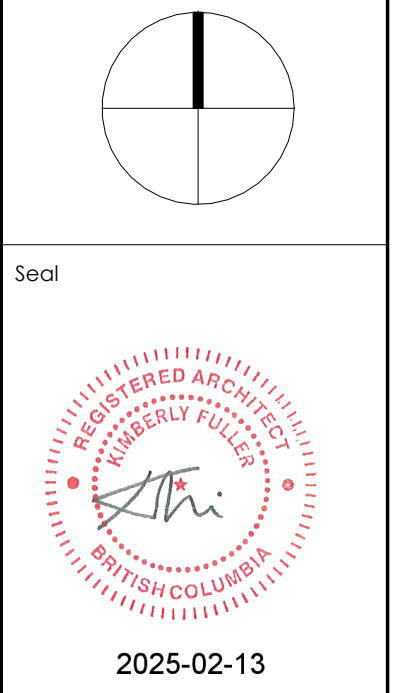
Job Number 21.888
 Date 07/11/22
 Scale 1/8" = 1'-0"
 Revision Number A
 Drawing Number

AMENITY SPACE 5TH LEVEL
 INDOOR COMMON 1,089 SF
 OUTDOOR COMMON
 PRIVATE AMENITY
 TOTAL COMMON + PRIVATE AMENITY SPACE: 1,089 SF

- LEGEND:**
 (MAIN RATINGS REQUIRED @ WALLS)
- 1 HOUR FIRE SEPARATION [Red solid box]
 - 1 HOUR FIRE RESISTANCE RATING [Red hatched box]
 - 1.5 HOUR FIRE SEPARATION [Green solid box]
 - 1.5 HOUR FIRE RESISTANCE RATING [Green hatched box]
 - 2 HOUR FIRE SEPARATION [Blue solid box]
 - 2 HOUR FIRE RESISTANCE RATING [Blue hatched box]

1 LEVEL 5
 A2.5 1/8" = 1'-0"

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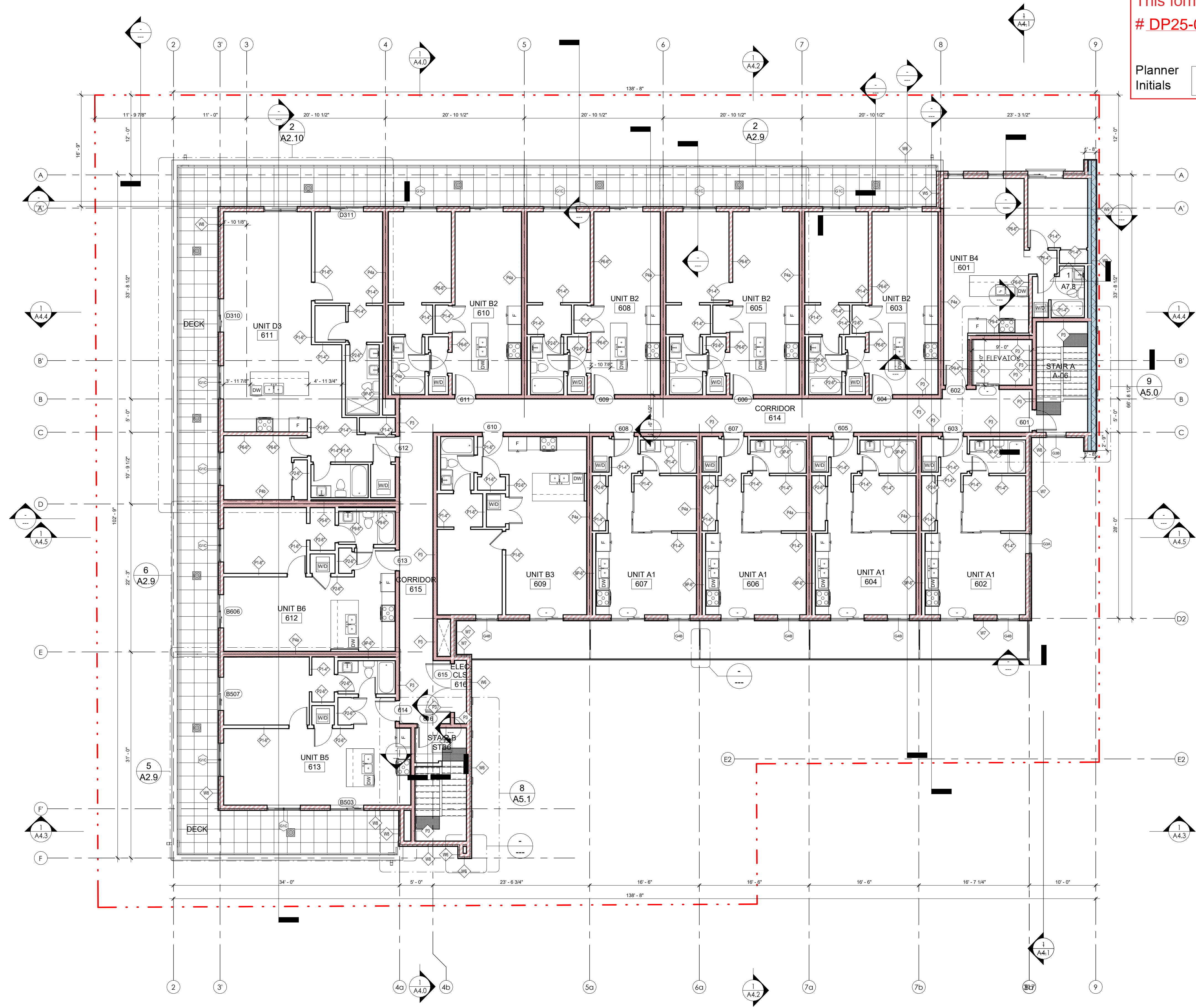


SCHEDULE A

This forms part of application
 # DP25-0010 & DVP25-0011

Planner Initials **SS**

City of Kelowna
 COMMUNITY PLANNING



1 LEVEL 6
A2.6 1/8" = 1'-0"

AMENITY SPACE 6TH LEVEL

| | |
|--|-----------------|
| INDOOR COMMON | |
| OUTDOOR COMMON | |
| PRIVATE AMENITY | 1,960 SF |
| TOTAL COMMON + PRIVATE AMENITY SPACE: | 1,960 SF |

LEGEND:
 (MAIN RATINGS REQUIRED @ WALLS)

| | |
|---------------------------------|---------------------|
| 1 HOUR FIRE SEPARATION | [Red solid box] |
| 1 HOUR FIRE RESISTANCE RATING | [Red hatched box] |
| 1.5 HOUR FIRE SEPARATION | [Green solid box] |
| 1.5 HOUR FIRE RESISTANCE RATING | [Green hatched box] |
| 2 HOUR FIRE SEPARATION | [Blue solid box] |
| 2 HOUR FIRE RESISTANCE RATING | [Blue hatched box] |

RECORD OF ISSUES

| NO. | DATE | DESCRIPTION |
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| 01 | 2021.05.27 | ISSUED FOR REZONING & DEVELOPMENT PERMIT |
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| 09 | 2024.01.14 | ISSUED FOR CONSTRUCTION |
| 10 | 2024.12.20 | RE-ISSUED FOR DP CURRENT ZONING |
| 11 | 2025.02.04 | VCI UPDATES |

RECORD OF REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|--------------------|
| 3 | 2024.01.08 | IFC COORDINATION |
| 4 | 2023.11.13 | IFC COORDINATION |
| 2 | 25.05.2022 | DP Review Comments |
| 1 | 01.25.2022 | 60% COORDINATION |

Project
SAVOY
 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE

Sheet Title
6TH FL.-LEVEL 6 - FLOOR PLAN

Job Number 21.888
 Date 07/11/22
 Scale 1/8" = 1'-0"
 Revision Number A
 Drawing Number

SCHEDULE A

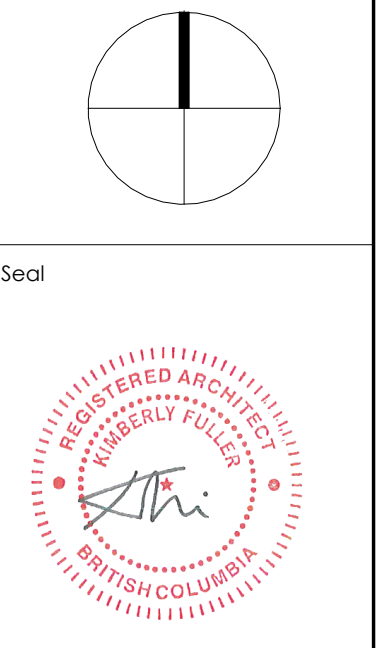
This forms part of application
 # DP25-0010 & DVP25-0011

Planner Initials **SS**



ISSUED FOR COORDINATION

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2025-02-13

| RECORD OF ISSUES | | |
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| 06 | 2022.08.19 | ISSUED FOR POST TENDER ADDENDUM |
| 07 | 2023.08.02 | ISSUED FOR IFC COORDINATION |
| 08 | 2023.11.09 | RE-ISSUED FOR BUILDING PERMIT |
| 09 | 2024.01.14 | ISSUED FOR CONSTRUCTION |
| 10 | 2024.12.20 | RE-ISSUED FOR DP CURRENT ZONING |
| 11 | 2025.02.04 | VCI UPDATES |

| RECORD OF REVISIONS | | |
|---------------------|------------|------------------|
| NO. | DATE | DESCRIPTION |
| 5 | 2024.01.08 | IFC COORDINATION |

Project
SAVOY
 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE

Sheet Title
LEVEL 6 - DECK SLOPE PLAN

Job Number 21.888

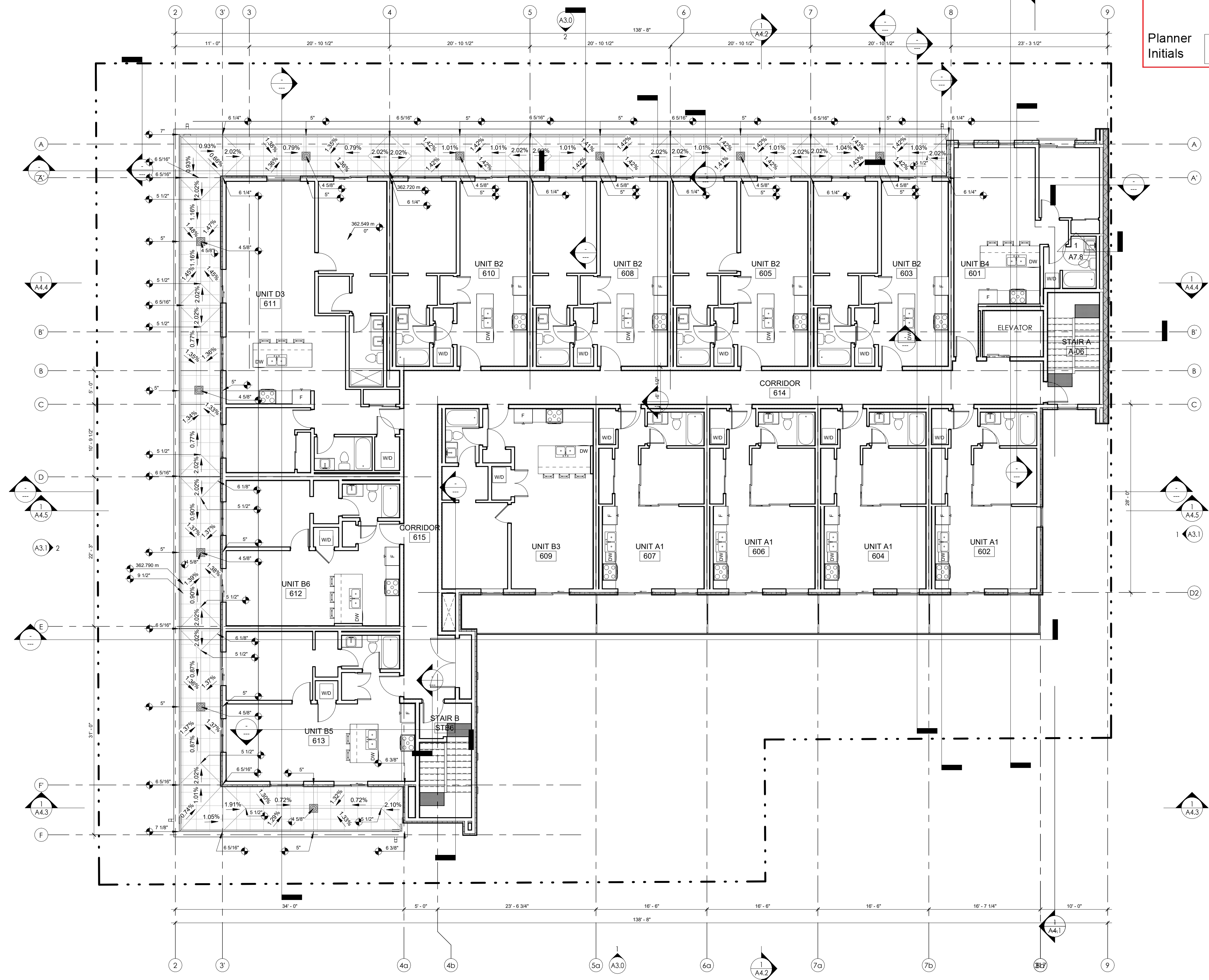
Date 07/11/22

Scale 1/8" = 1'-0"

Revision Number A

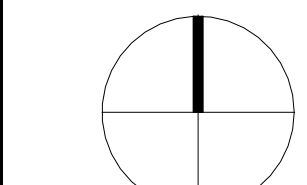
Drawing Number

2025-02-13 4:46:25 PM



1 LEVEL 6 SLAB PLAN
A2.6A 1/8" = 1'-0"

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Seal



2025-02-13

RECORD OF ISSUES

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| 03 | 2022.02.22 | RE-ISSUED FOR REZONING & DP TO SUE CITY COMMENTS |
| 04 | 2022.04.09 | ISSUED FOR B.P. |
| 05 | 2022.07.11 | ISSUED FOR PRICING |
| 06 | 2022.08.19 | ISSUED FOR POST TENDER ADDENDUM |
| 07 | 2023.08.02 | ISSUED FOR IFC COORDINATION |
| 08 | 2023.11.09 | RE-ISSUED FOR BUILDING PERMIT |
| 09 | 2024.01.14 | ISSUED FOR CONSTRUCTION |
| 10 | 2024.12.20 | RE-ISSUED FOR DP CURRENT ZONING |
| 11 | 2025.02.06 | VCI UPDATES |

RECORD OF REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|------------------|
| 5 | 2024.01.08 | IFC COORDINATION |

Project

SAVOY
 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE

Sheet Title
ROOF PLAN

Job Number 21.888

Date 07/11/22

Scale 1/8" = 1'-0"

Revision Number A

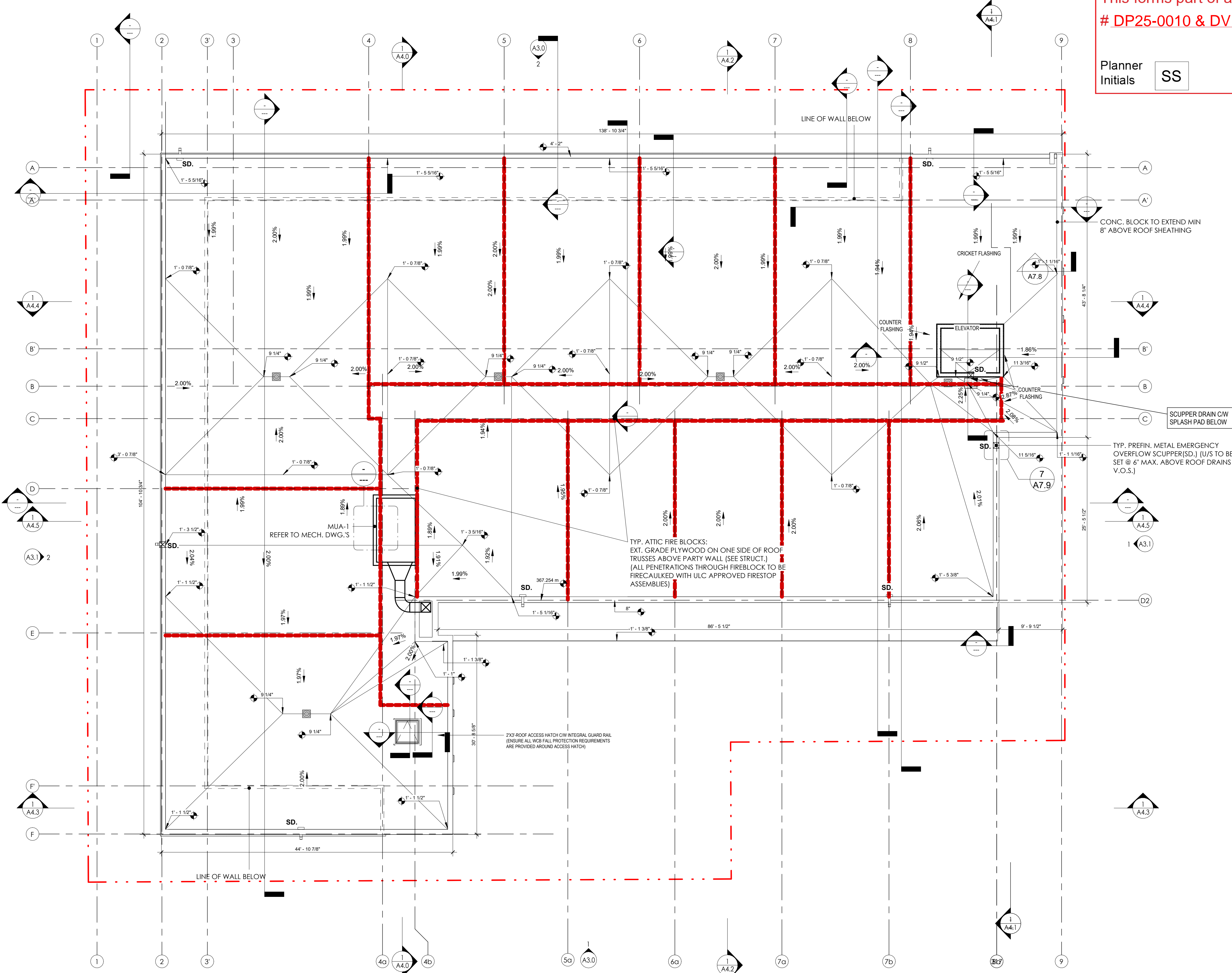
Drawing Number

2025-02-13 4:46:27 PM

SCHEDULE A

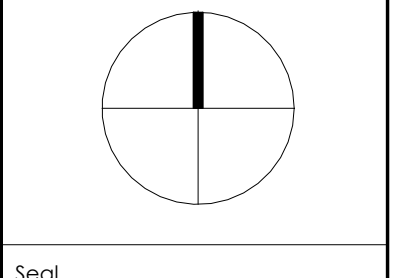
This forms part of application
 # DP25-0010 & DVP25-0011

Planner Initials **SS**



1 Building Permit - U/S TRUSSES
 A2.7 1/8" = 1'-0"

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2025-02-13

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| 04 | 2022.04.09 | ISSUED FOR BIP |
| 05 | 2022.07.11 | ISSUED FOR PRICING |
| 06 | 2022.08.19 | ISSUED FOR POST TENDER ADDENDUM |
| 07 | 2023.08.02 | ISSUED FOR IFC COORDINATION |
| 08 | 2023.11.09 | RE-ISSUED FOR BUILDING PERMIT |
| 09 | 2024.01.16 | ISSUED FOR CONSTRUCTION |
| 10 | 2024.12.20 | RE-ISSUED FOR DP CURRENT JONING |
| 11 | 2025.02.06 | VCI UPDATES |

| RECORD OF REVISIONS | | |
|---------------------|------------|-------------------------------------|
| NO. | DATE | DESCRIPTION |
| 7 | 2024.10.17 | Door Schedules & LHM Plan Revisions |
| 4 | 2024.01.09 | IFC COORDINATION |
| 4 | 2023.11.13 | IFC COORDINATION |
| 3 | 2023.11.09 | REISSUED FOR BUILDING PERMIT |
| 2 | 25.05.2022 | DP Review Comments |
| 1 | 01.25.2022 | 1625 COORDINATION |

Project

SAVOY
 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 647 CLEMENT AVE

Sheet Title
 ENLARGED PLANS,
 UNITS T1 & T2

Job Number 21.888
 Date 07/11/22

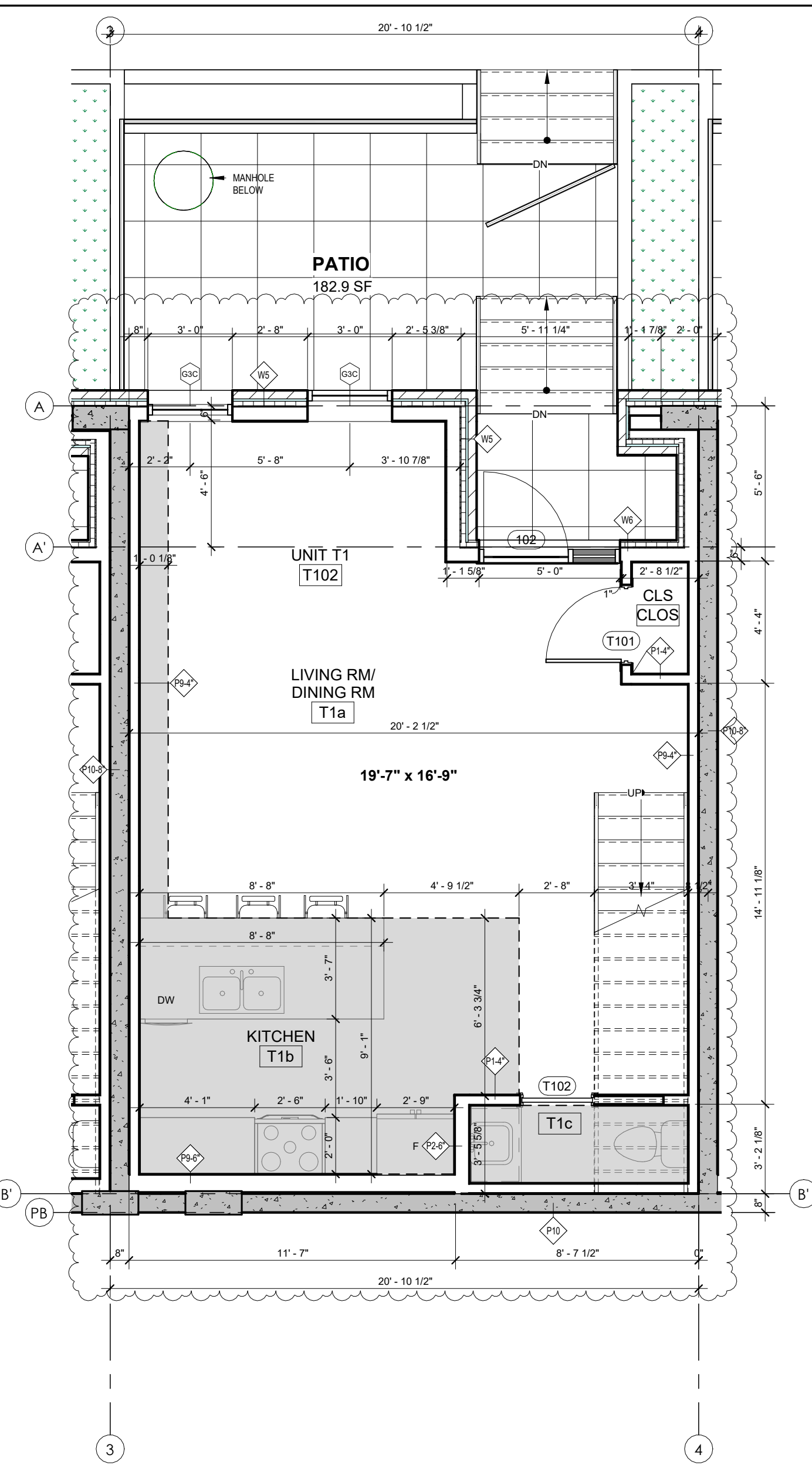
Scale 1/4" = 1'-0"
 Revision Number A
 Drawing Number

SCHEDULE A

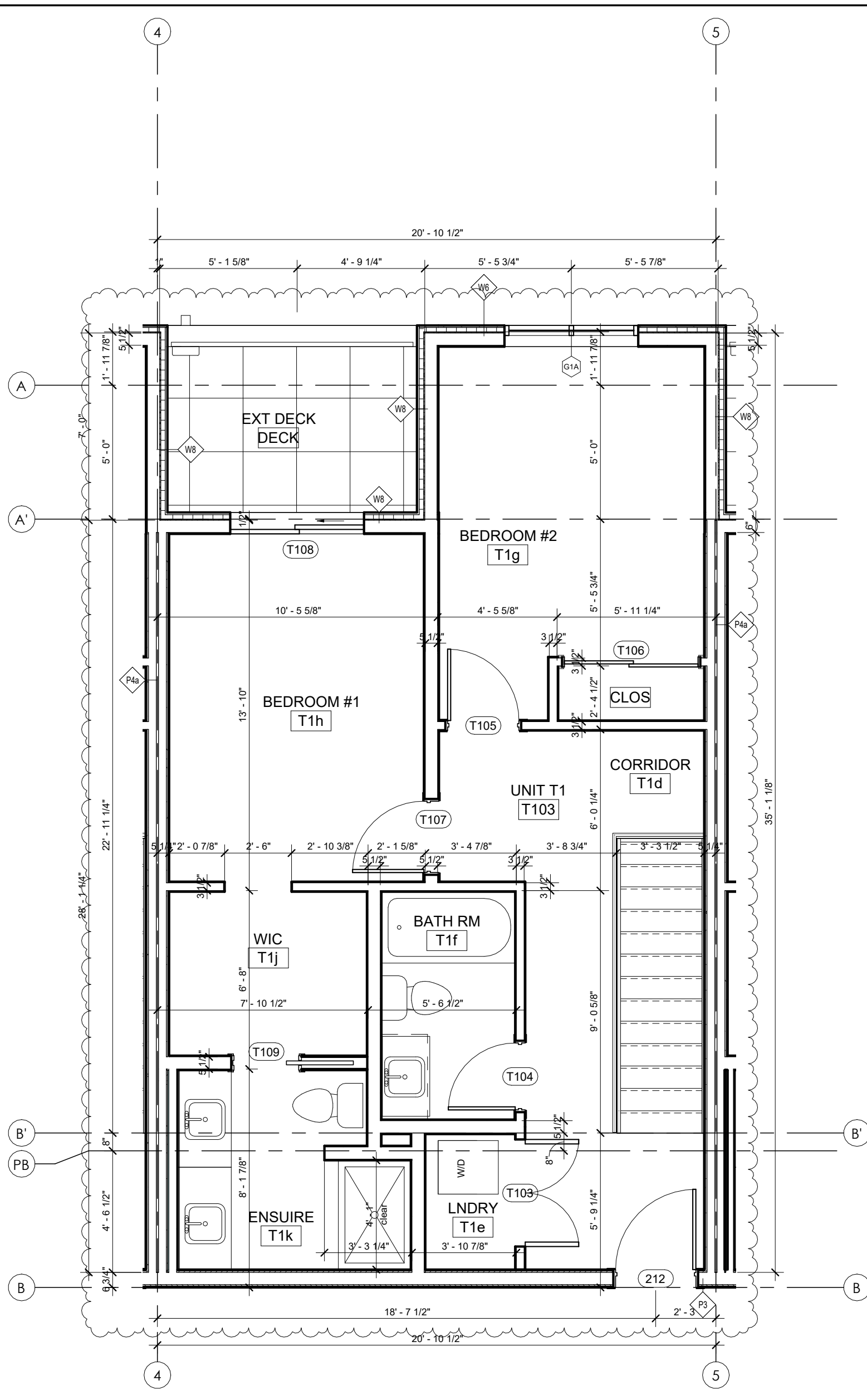
This forms part of application
 # DP25-0010 & DVP25-0011

Planner Initials **SS**

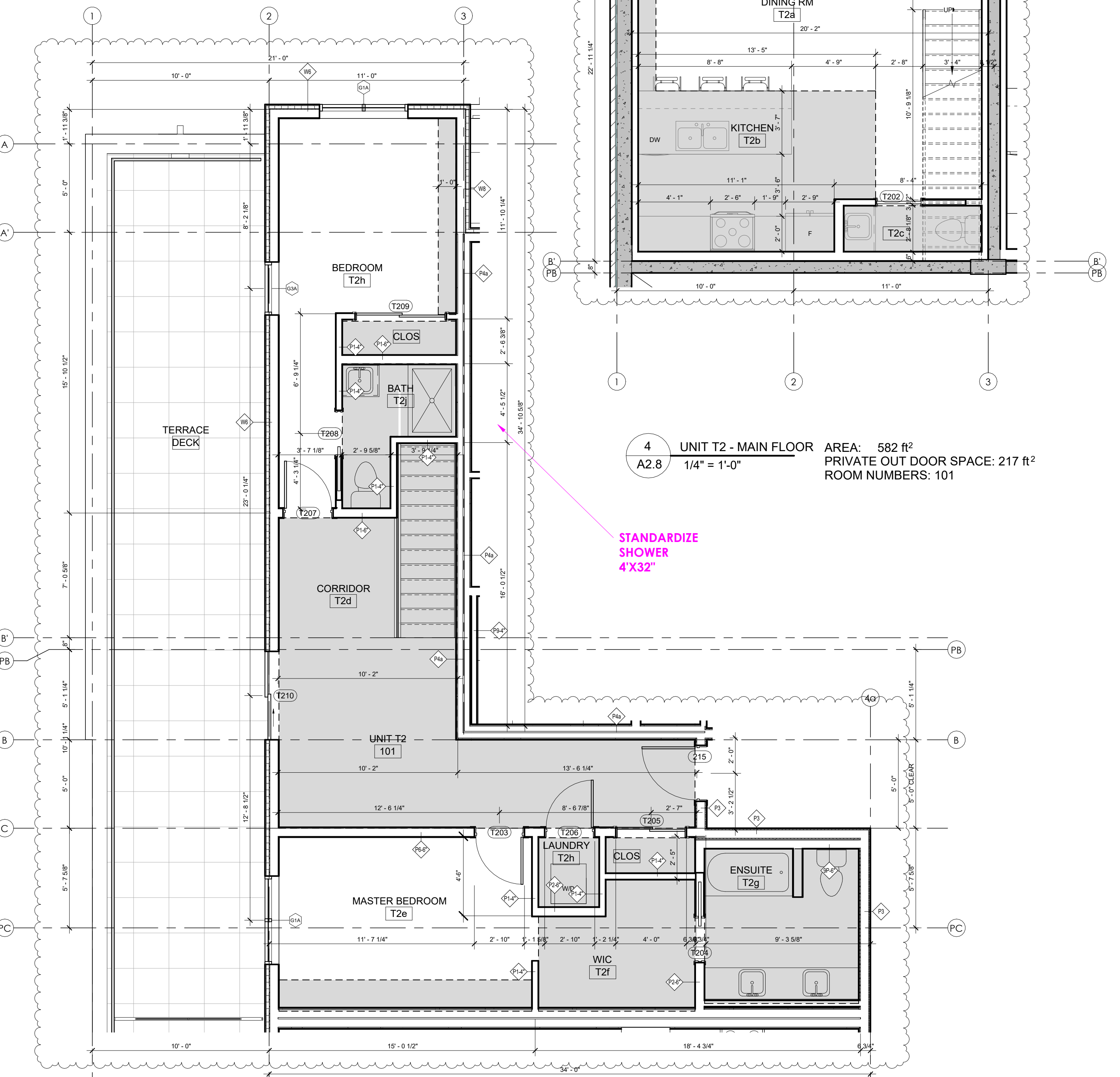
City of Kelowna
 COMMUNITY PLANNING



1 UNIT T1 - MAIN FLOOR AREA: 558 ft²
 PRIVATE OUT DOOR SPACE: 209 ft²
 ROOM NUMBERS: 102, 103, 104, 105, 106
 A2.8 1/4" = 1'-0"

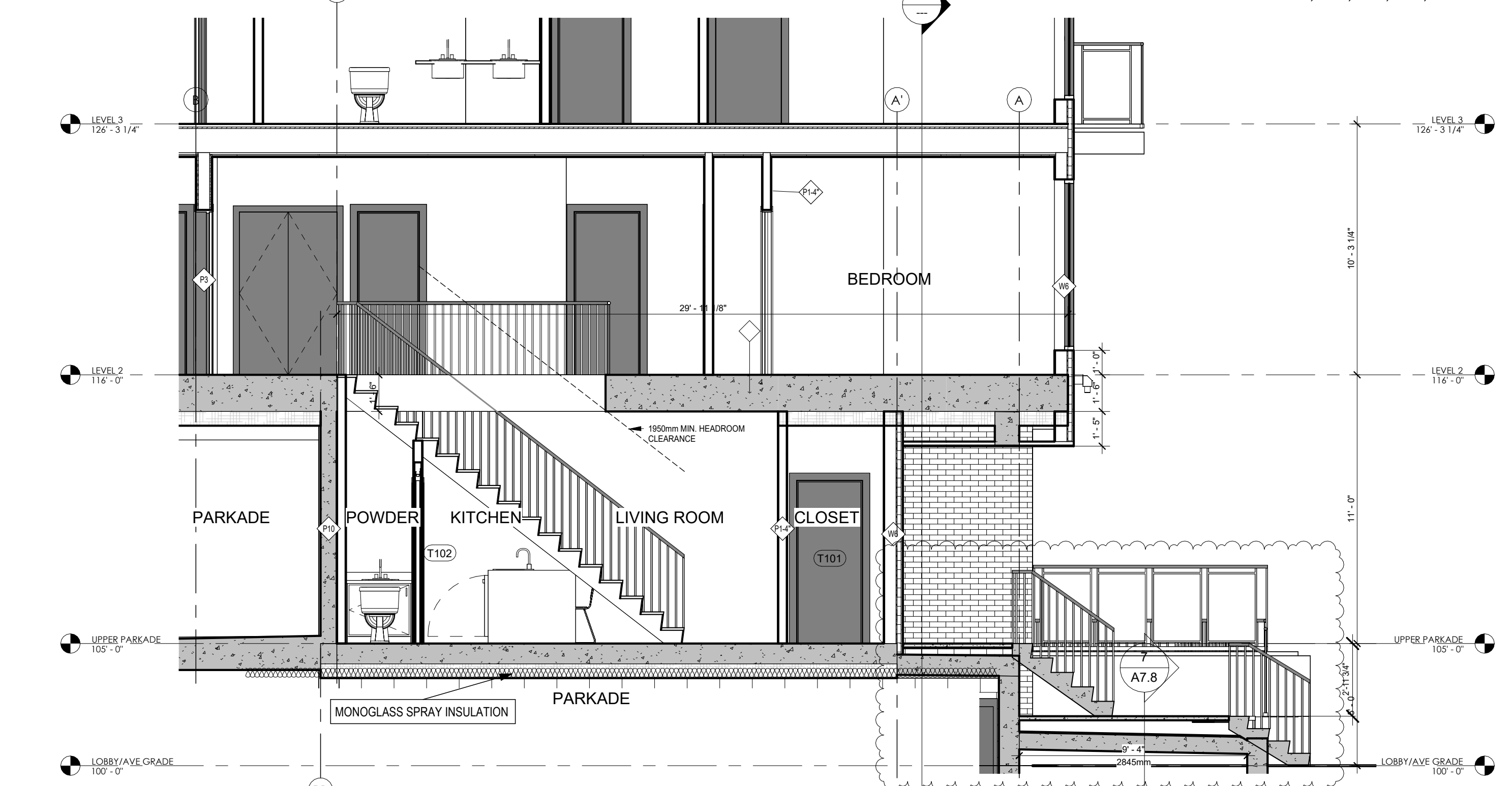


2 UNIT T1 - SECOND FLOOR AREA: 682 ft²
 DECK AREA: 62 ft²
 TOTAL UNIT AREA: 1240 ft²
 TOTAL OUT DOOR SPACE: 271 ft²
 ROOM NUMBERS: 102, 103, 104, 105, 106
 A2.8 1/4" = 1'-0"



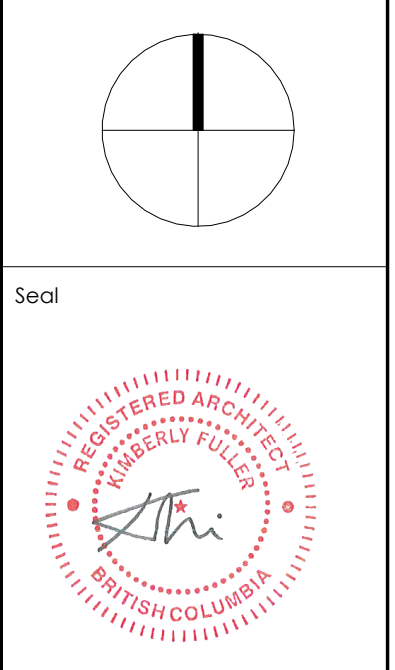
4 UNIT T2 - MAIN FLOOR AREA: 582 ft²
 PRIVATE OUT DOOR SPACE: 217 ft²
 ROOM NUMBERS: 101
 A2.8 1/4" = 1'-0"

5 UNIT T2 - SECOND FLOOR AREA: 903 ft²
 DECK AREA: 433 ft²
 TOTAL UNIT AREA: 1485 ft²
 TOTAL OUT DOOR SPACE: 650 ft²
 ROOM NUMBERS: 101
 A2.8 1/4" = 1'-0"



3 TOWNHOUSE SECTION
 A2.8 1/4" = 1'-0"

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2025-02-13

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| 09 | 2024.01.16 | ISSUED FOR CONSTRUCTION |
| 10 | 2024.12.20 | RE-ISSUED FOR DP CURRENT ZONING |
| 11 | 2025.02.06 | VCI UPDATES |

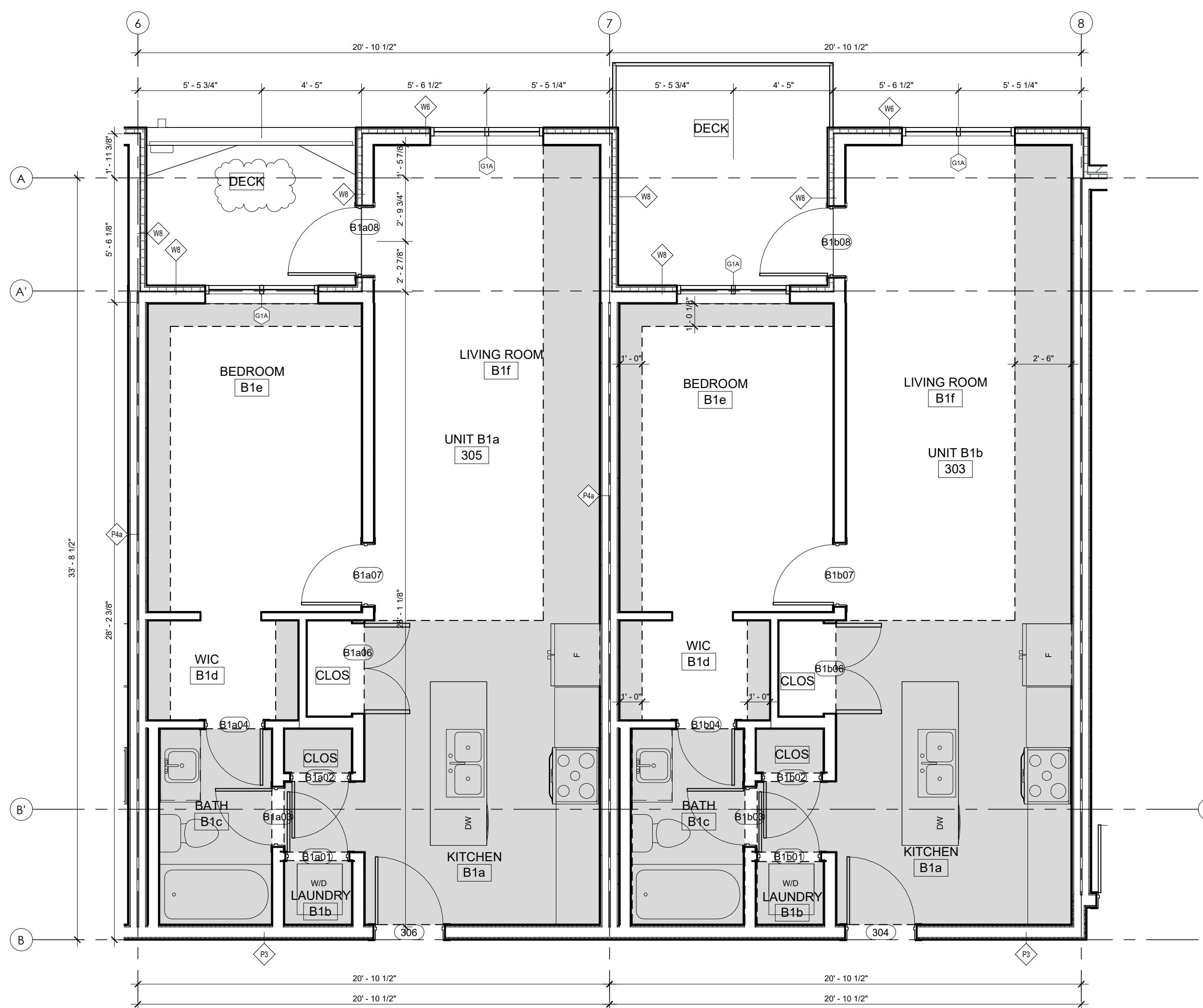
| NO. | DATE | DESCRIPTION |
|-----|------------|--------------------|
| 3 | 2024.01.08 | IFC COORDINATION |
| 4 | 2023.11.13 | IFC COORDINATION |
| 2 | 25.05.2022 | DP Review Comments |

RECORD OF REVISIONS

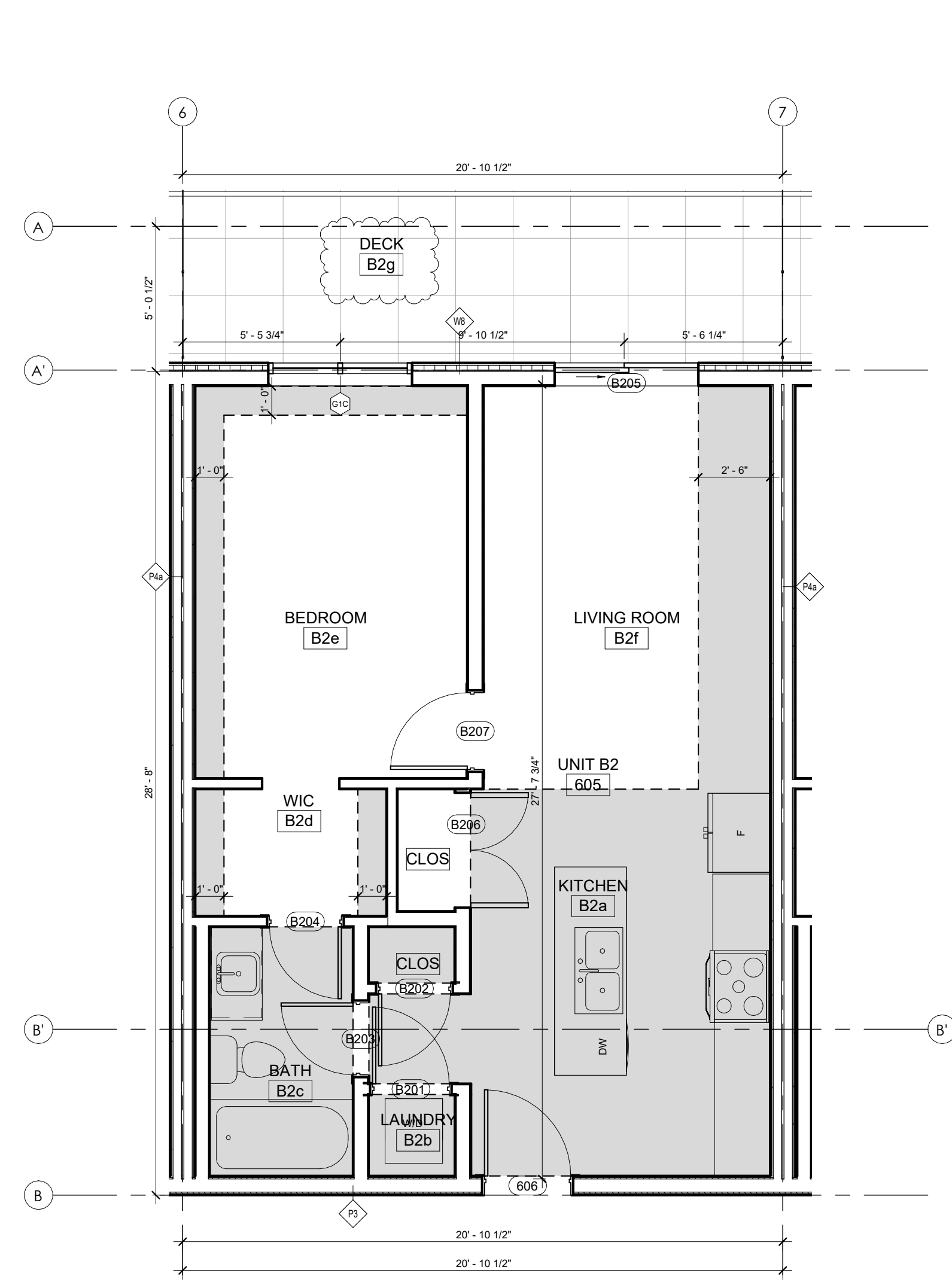
Project: **SAVOY**
 ON CLEMENT
 RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE

Sheet Title: **ENLARGED PLANS, UNITS B1 TO B6**

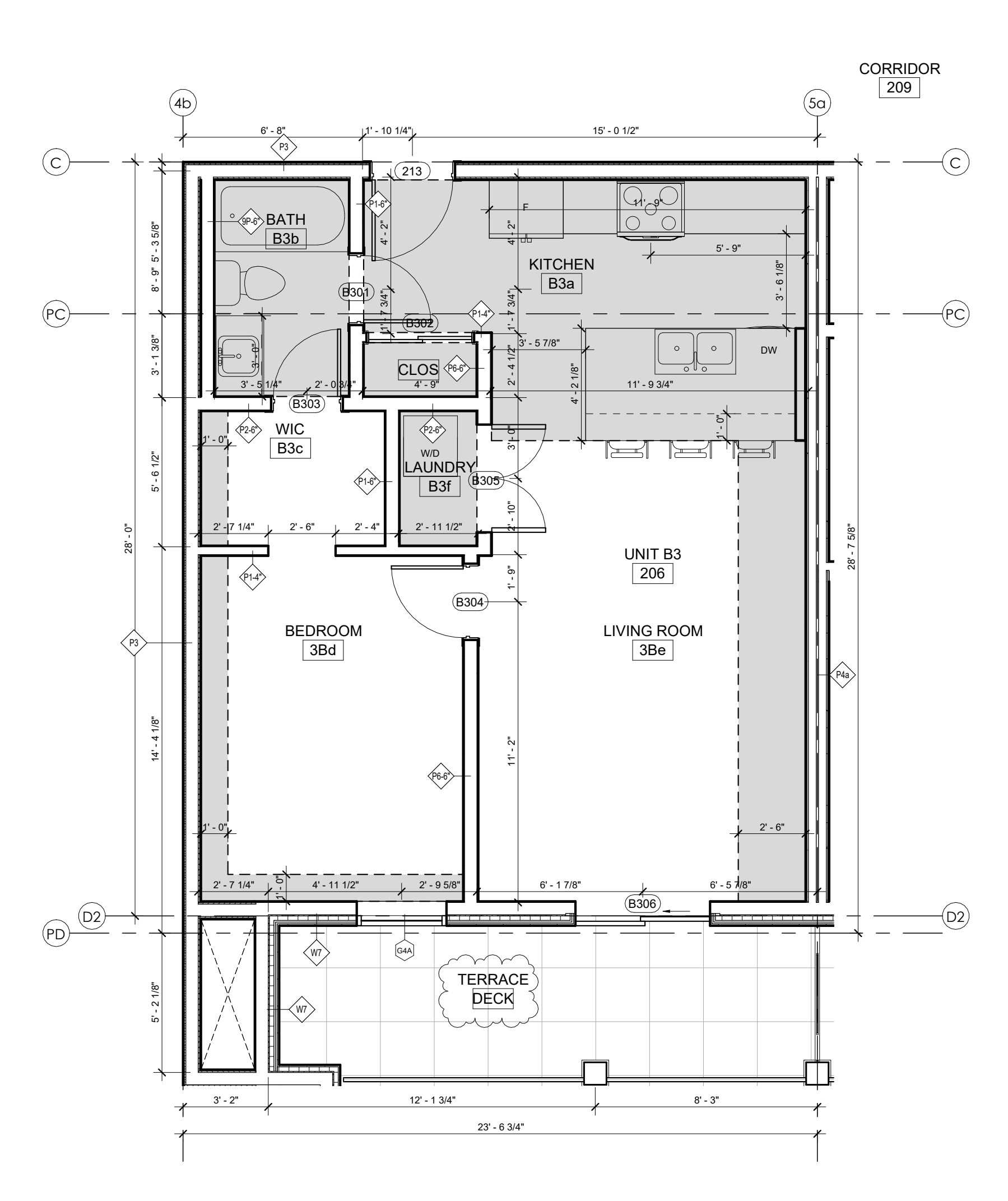
Job Number: 21.888
 Date: 07/11/22
 Scale: 1/4" = 1'-0"
 Revision Number: A
 Drawing Number: A2.9



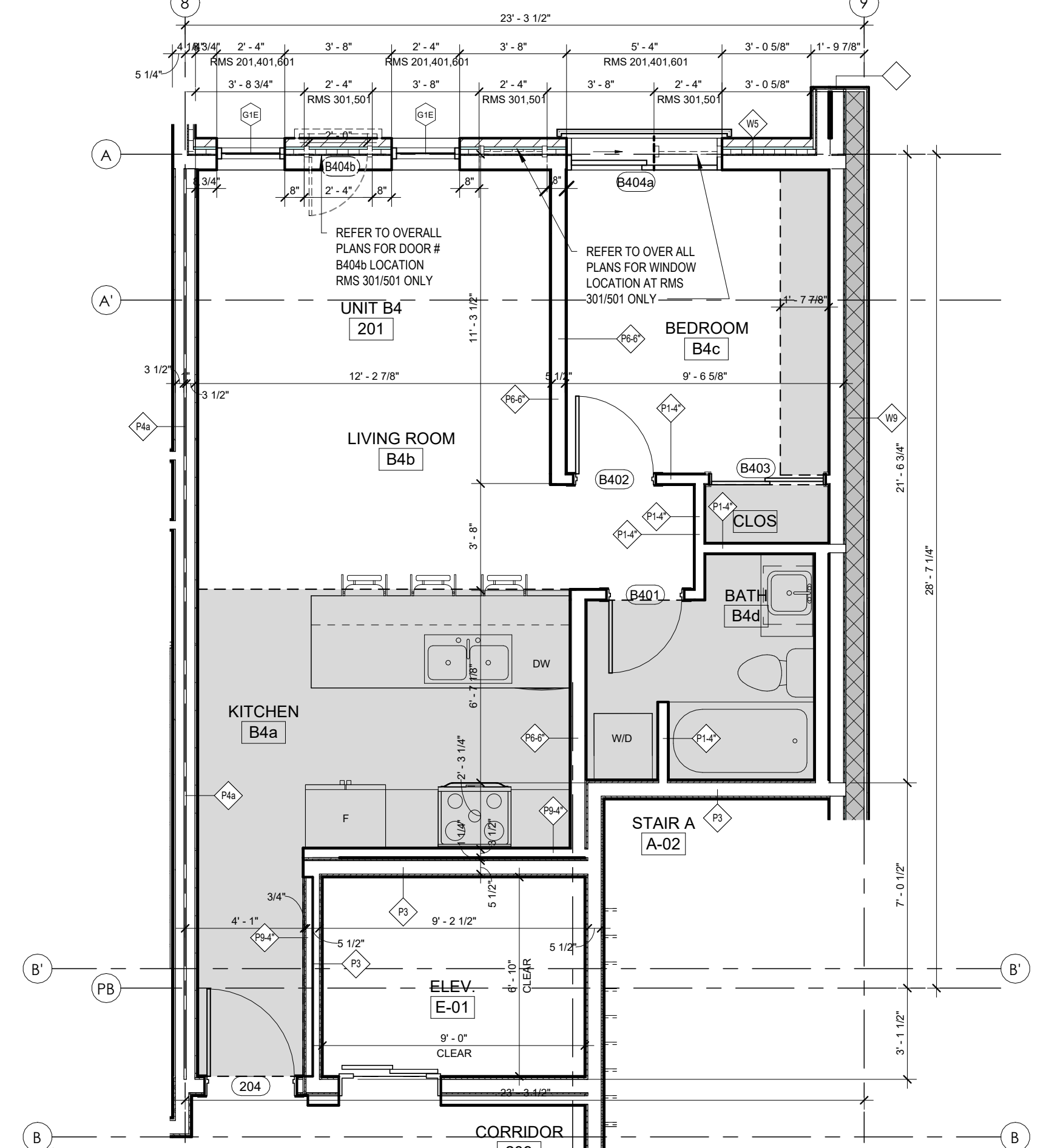
1 UNIT B1 - 1 BED AREA: 689 ft², DECK: TYPE a AREA 62ft², TYPE b AREA 90ft²
 ROOM NUMBERS: 303, 305, 308, 310, 403, 405, 408, 410, 503, 505, 505, 510
 GENERAL NOTE: UNIT B1 DECKS VAVARY REFER TO OVER ALL PLANS FOR DECK SIZES
 A2.9 1/4" = 1'-0"



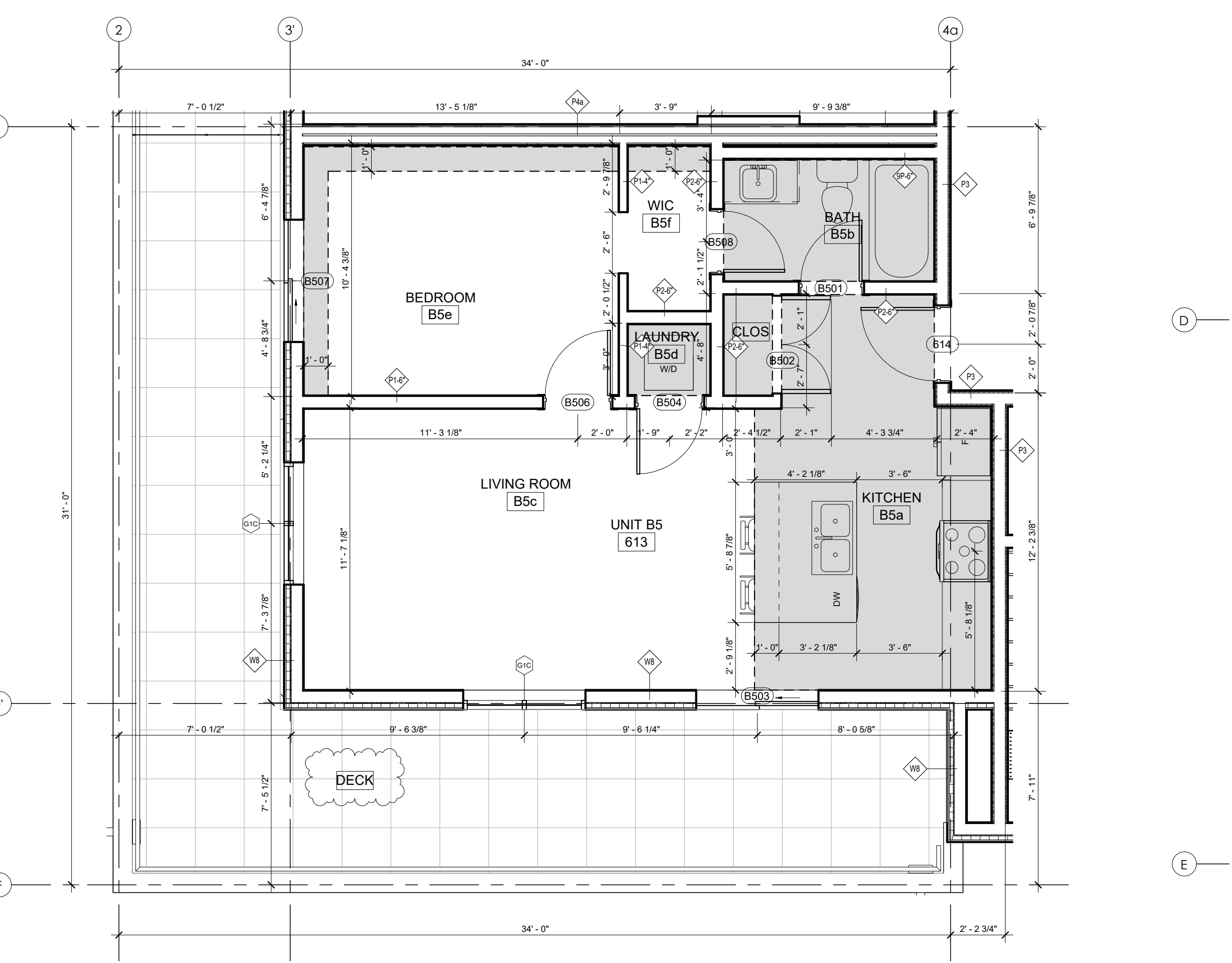
2 UNIT B2 - 1 BED AREA: 601 ft², DECK: AREA 123ft²
 ROOM NUMBERS: 603, 605, 608, 610
 A2.9 1/4" = 1'-0"



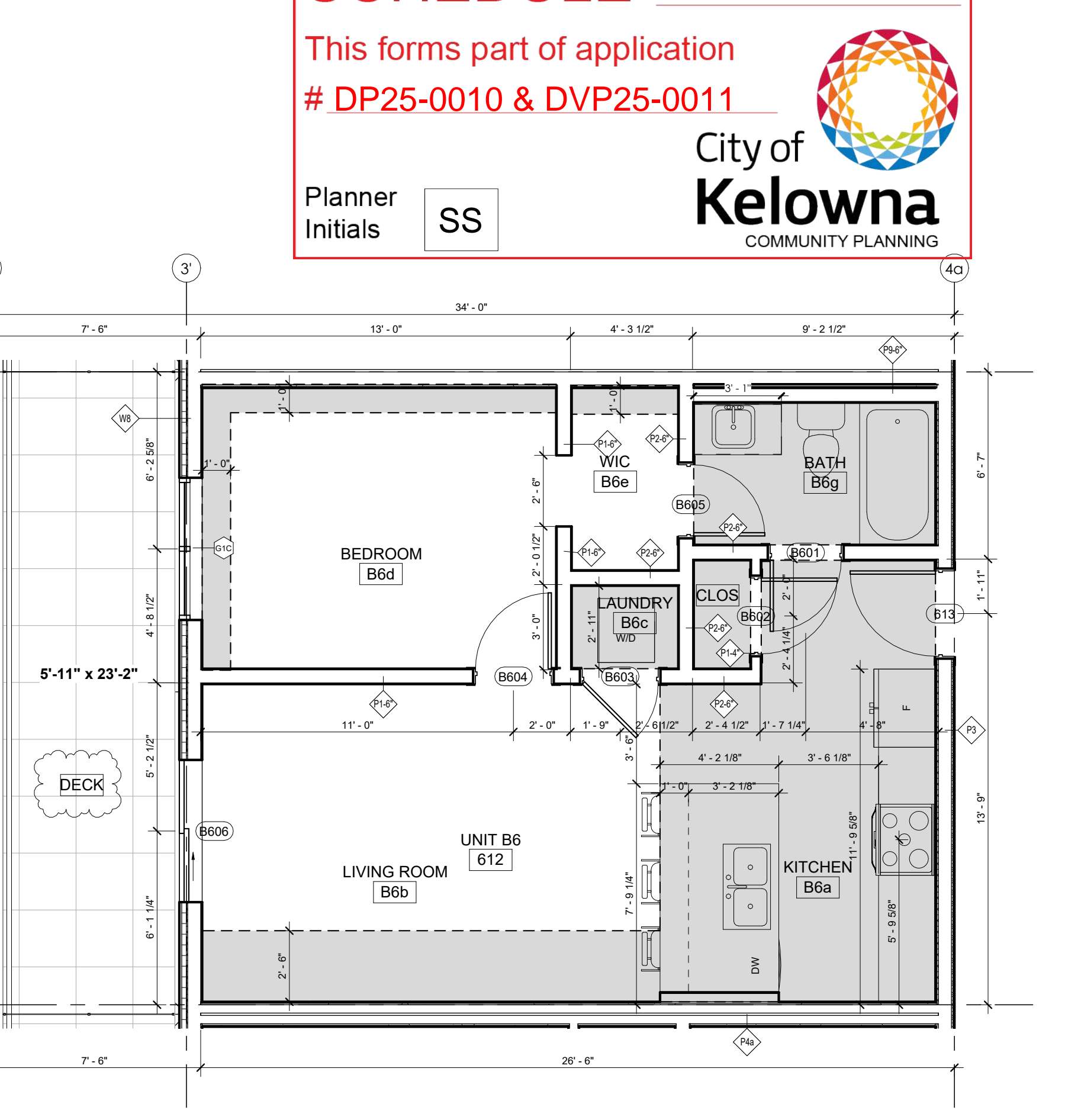
3 UNIT B3 - 1 BED AREA: 650 ft², DECK: AREA 111ft²
 ROOM NUMBERS: 206, 309, 409, 509, 609
 A2.9 1/4" = 1'-0"



4 UNIT B4 - 1 BED AREA: 598 ft², DECK: AREA: N/A
 ROOM NUMBERS: 201, 301, 401, 501, 601,
 A2.9 1/4" = 1'-0"



5 UNIT B5 - 1 BED AREA: 669 ft², DECK: AREA: 361
 ROOM NUMBERS: 613
 A2.9 1/4" = 1'-0"



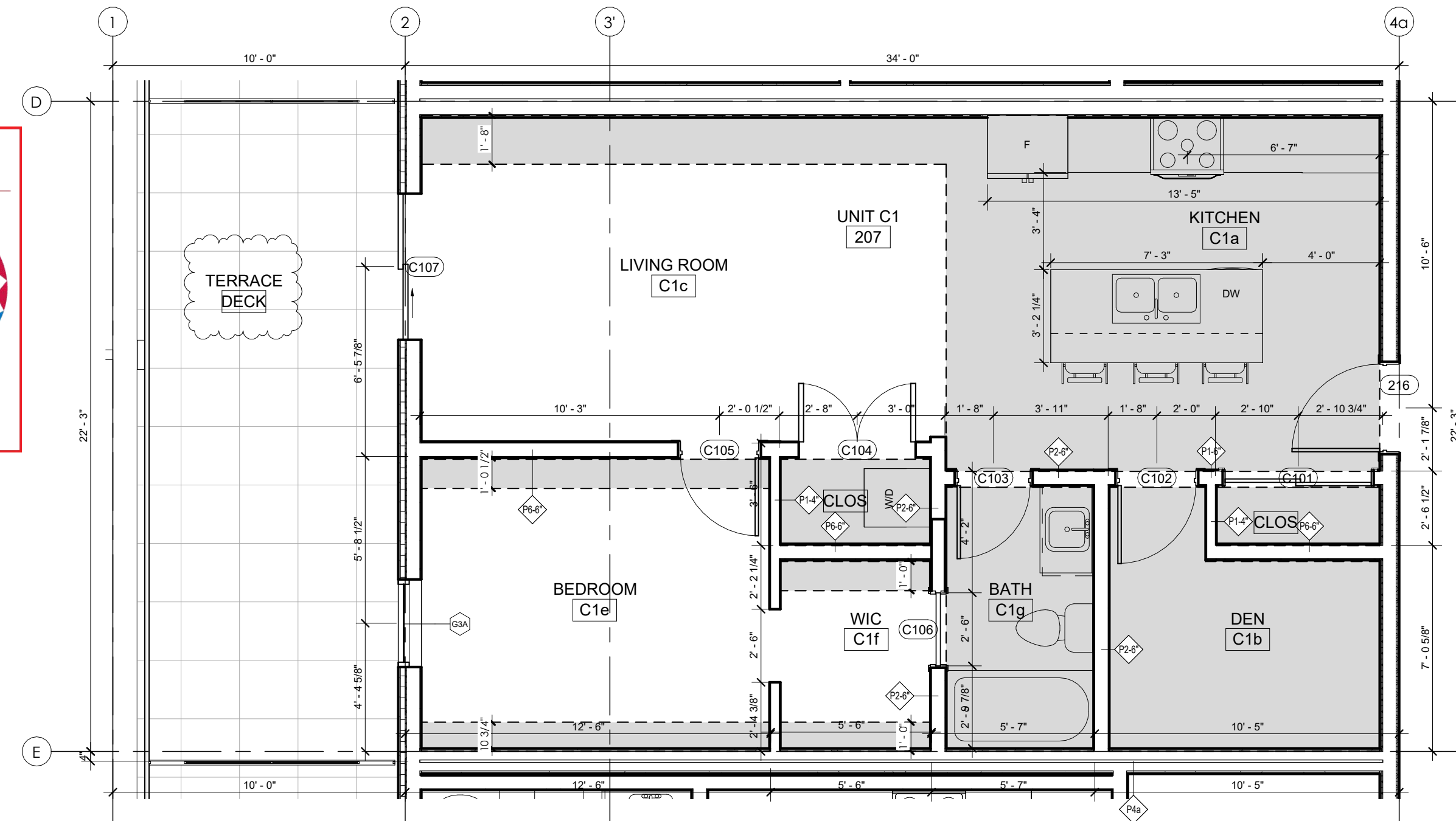
6 UNIT B6 - 1 BED AREA: 611 ft², DECK: AREA: 136
 ROOM NUMBERS: 612
 A2.9 1/4" = 1'-0"

SCHEDULE A
 This forms part of application # DP25-0010 & DVP25-0011
 Planner Initials: SS
 City of Kelowna COMMUNITY PLANNING

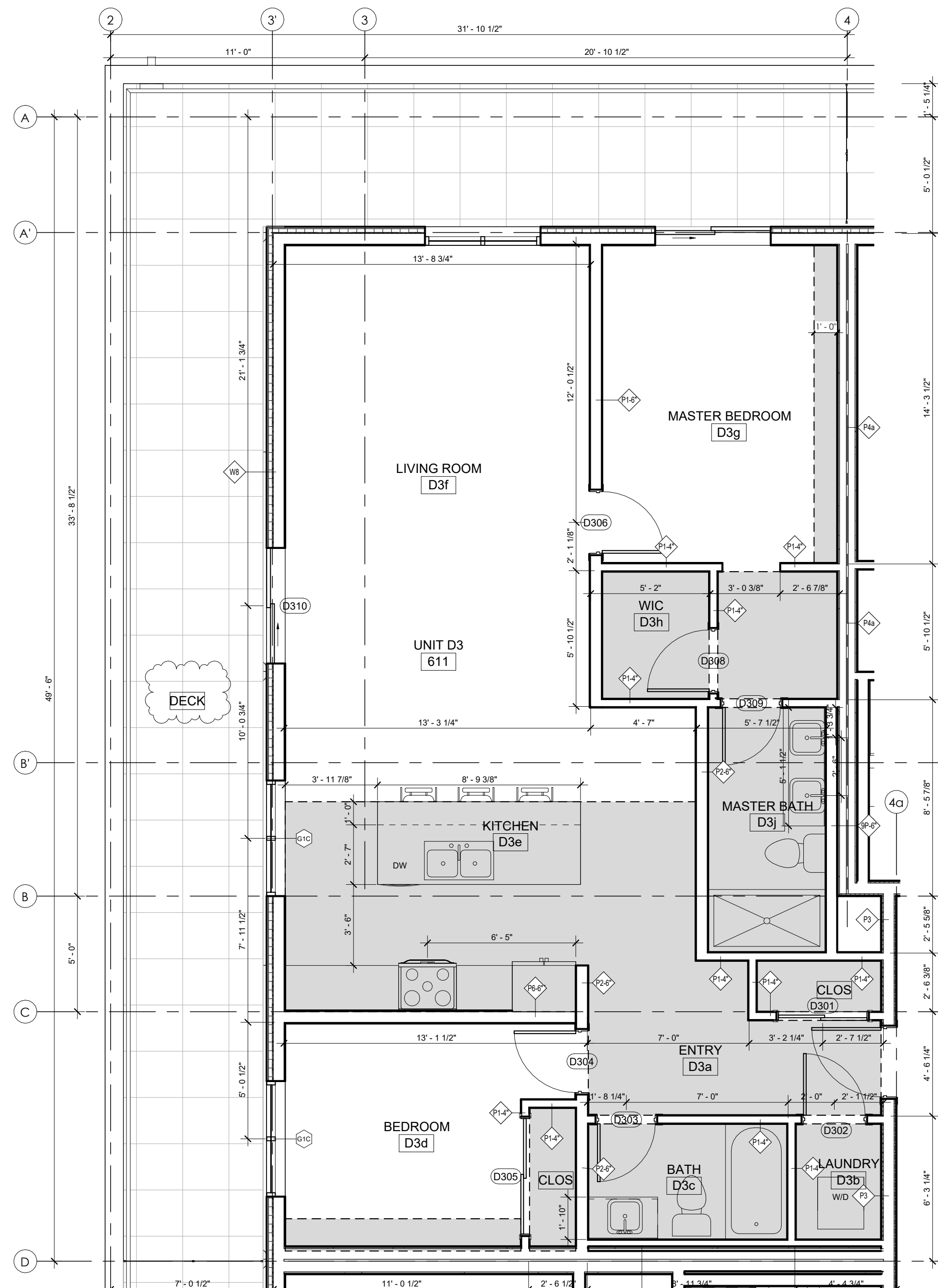
SCHEDULE A

This forms part of application
DP25-0010 & DVP25-0011

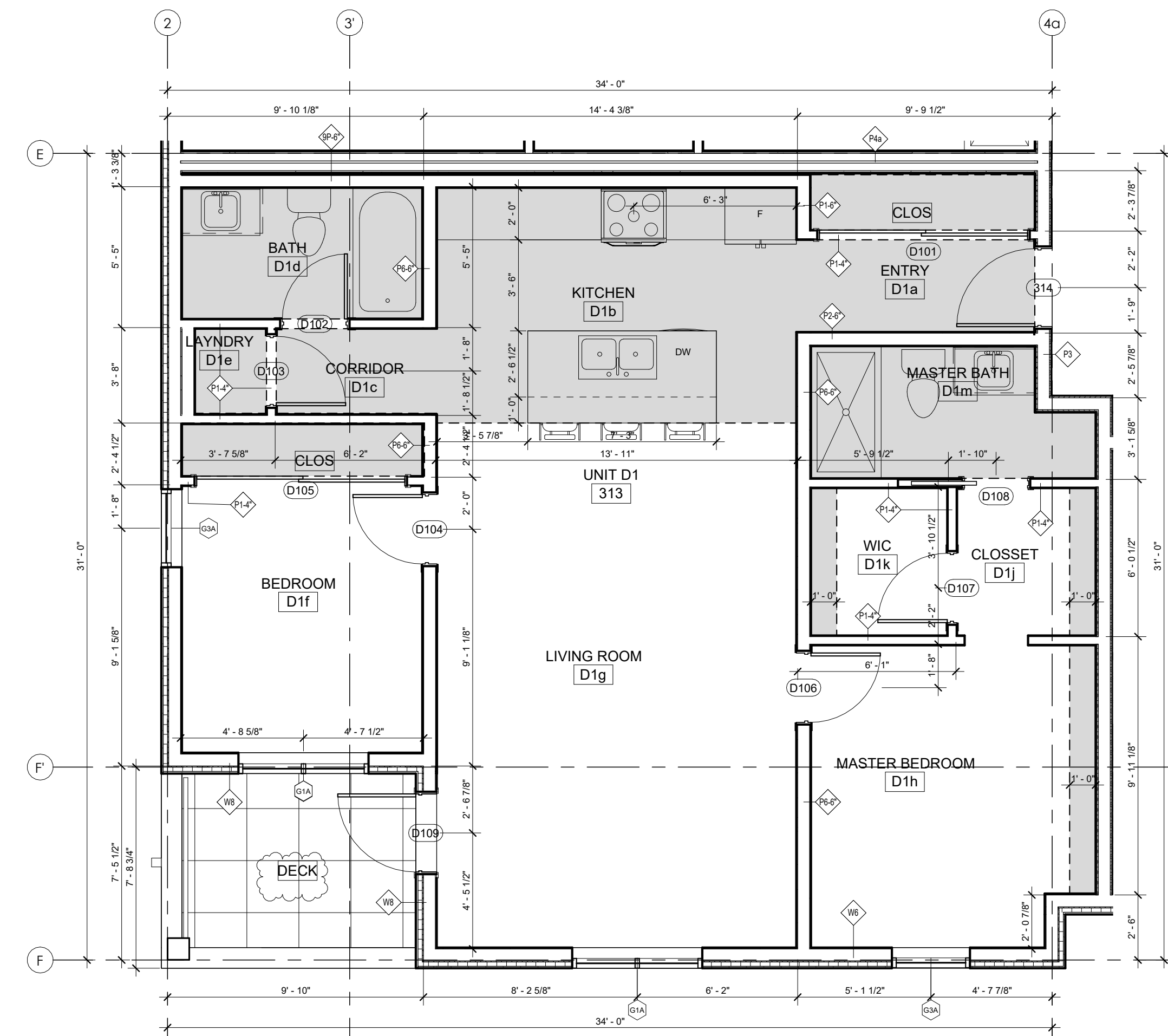
Planner Initials **SS**



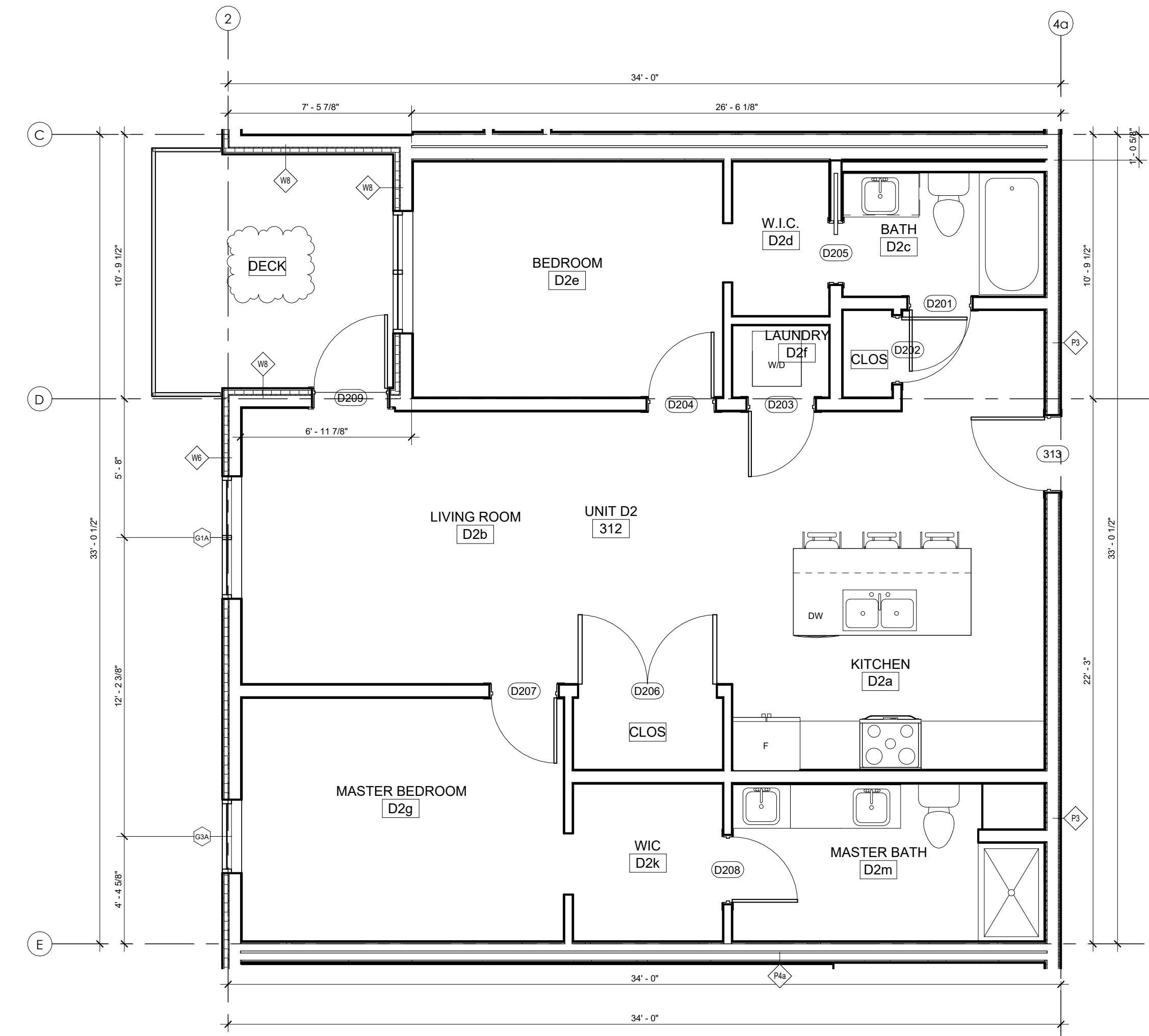
1 UNIT C1 - 1 BED + DEN
A2.10 1/4" = 1'-0" AREA: 768 ft²
DECK: AREA 200 ft²
ROOM NUMBERS: 207



2 UNIT D3 - 2 BED
A2.10 1/4" = 1'-0" AREA: 1163 ft²
DECK: AREA 461 ft²
ROOM NUMBERS: 611



3 UNIT D1 - 2 BED
A2.10 1/4" = 1'-0" AREA: 1028 ft²
DECK: AREA 60 ft²
ROOM NUMBERS: 312, 412, 512



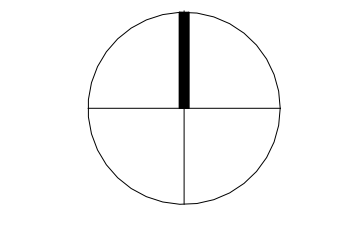
4 UNIT D2 - 2 BED
A2.10 1/4" = 1'-0" AREA: 1048 ft²
DECK: AREA 92 ft²
ROOM NUMBERS: 312, 412, 512



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Kelowna, BC V1Y 1Z9
p:250.420.3550
www.bluegreenarchitecture.com

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2025-02-13

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| 11 | 2025.02.06 | VC1 UPDATES |

| RECORD OF REVISIONS | | |
|---------------------|------------|------------------|
| NO. | DATE | DESCRIPTION |
| 3 | 2024.01.08 | IFC COORDINATION |
| 4 | 2023.11.13 | IFC COORDINATION |

Project
SAVOY
ON CLEMENT

RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

ENLARGED PLANS,
UNITS C1, & D1 TO D3

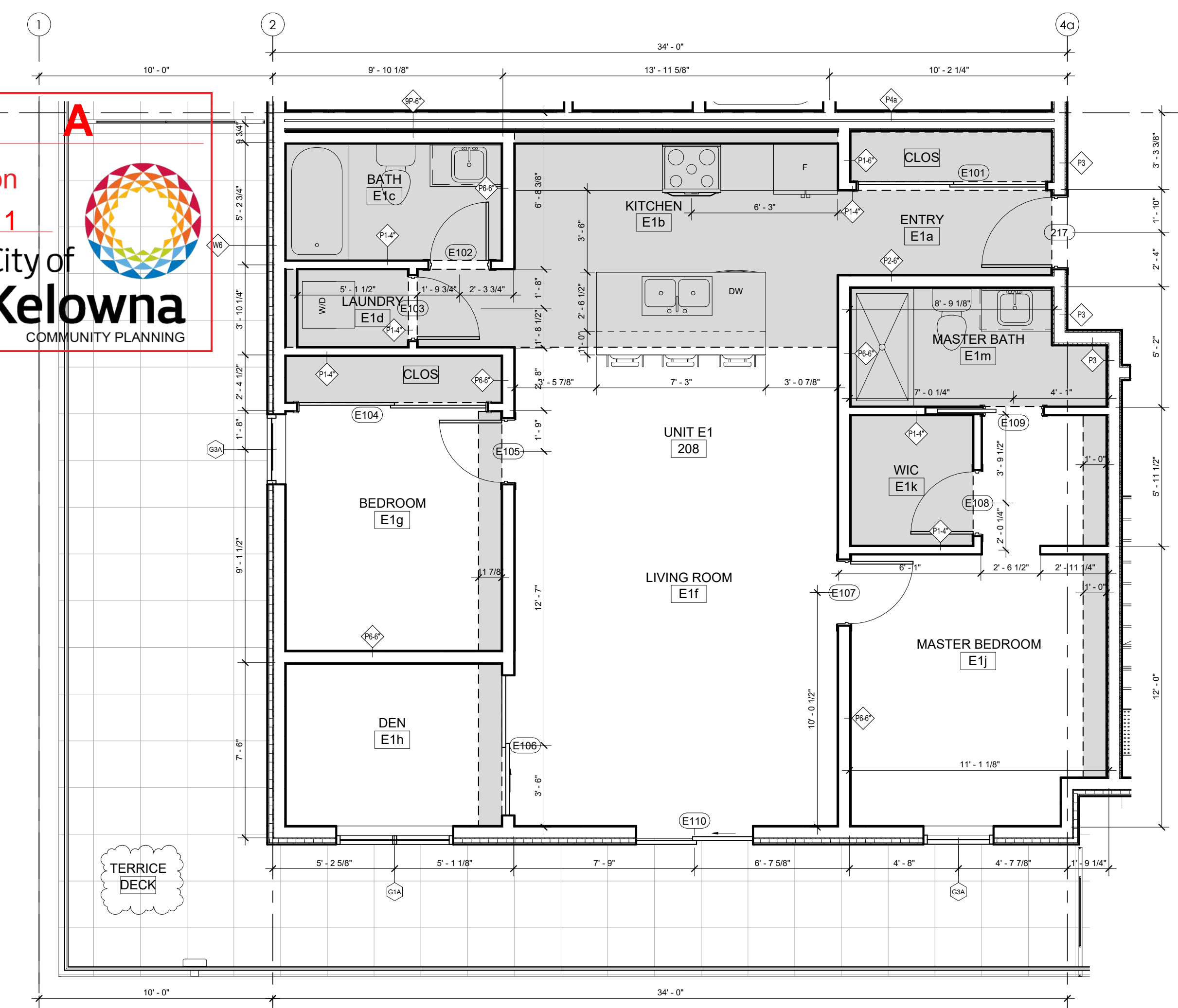
Job Number 21.888
Date 07/11/22
Scale 1/4" = 1'-0"
Revision Number A
Drawing Number

A2.10

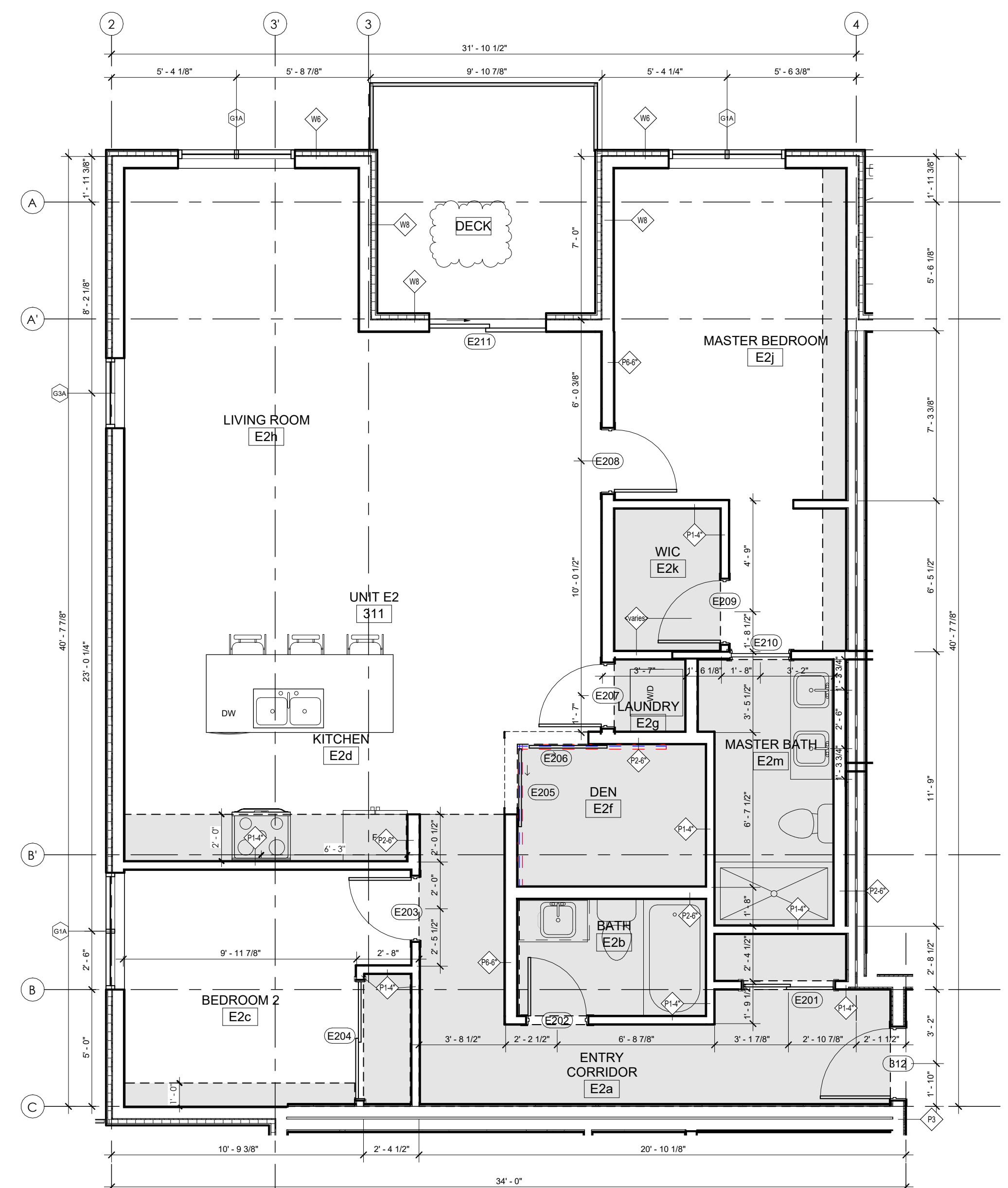
SCHEDULE

This forms part of application
DP25-0010 & DVP25-0011

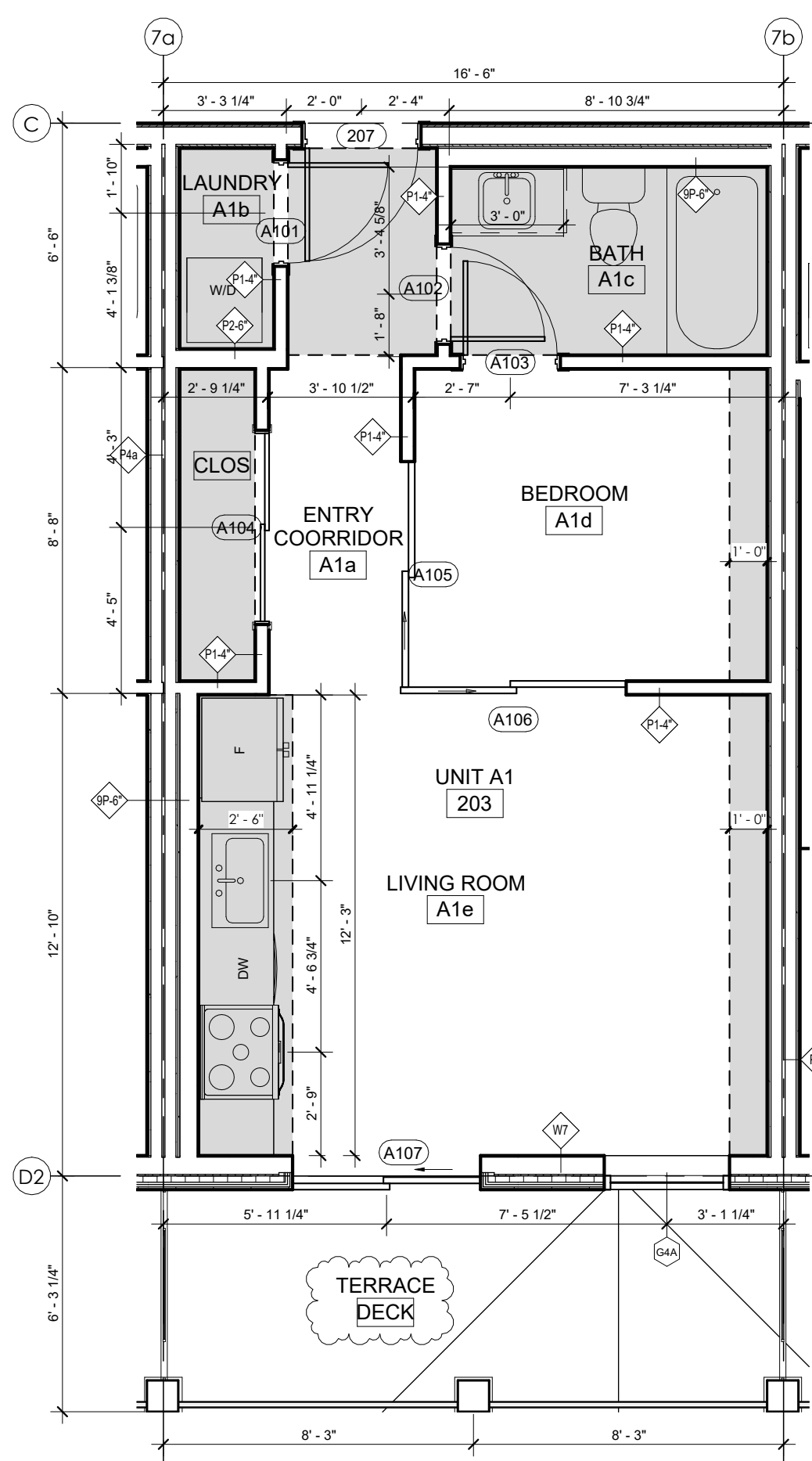
Planner Initials **SS**



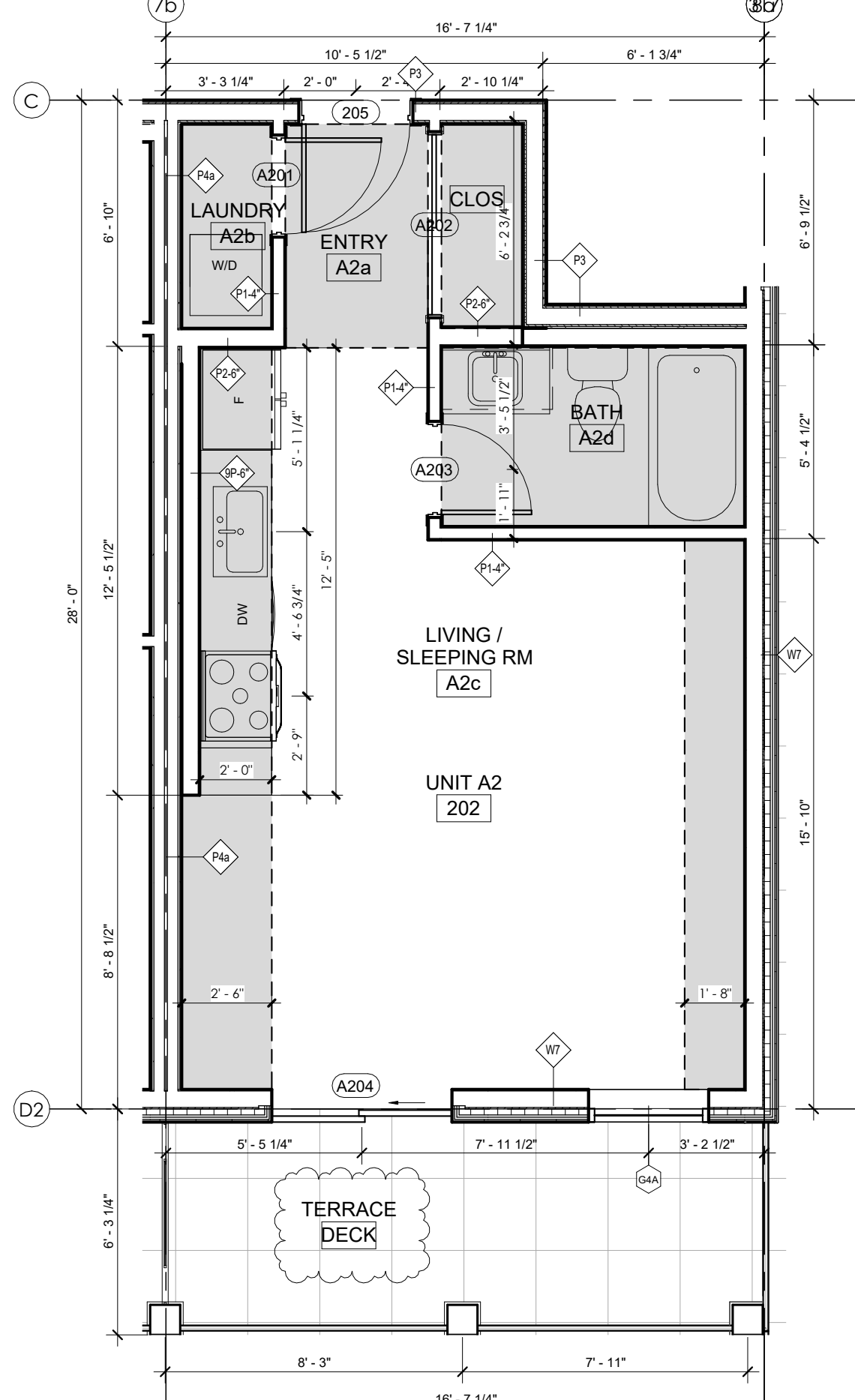
1 UNIT E1 - 2 BED + DEN
AREA: 1101 ft²
DECK: AREA 519 ft²
ROOM NUMBERS: 208
1/4" = 1'-0"



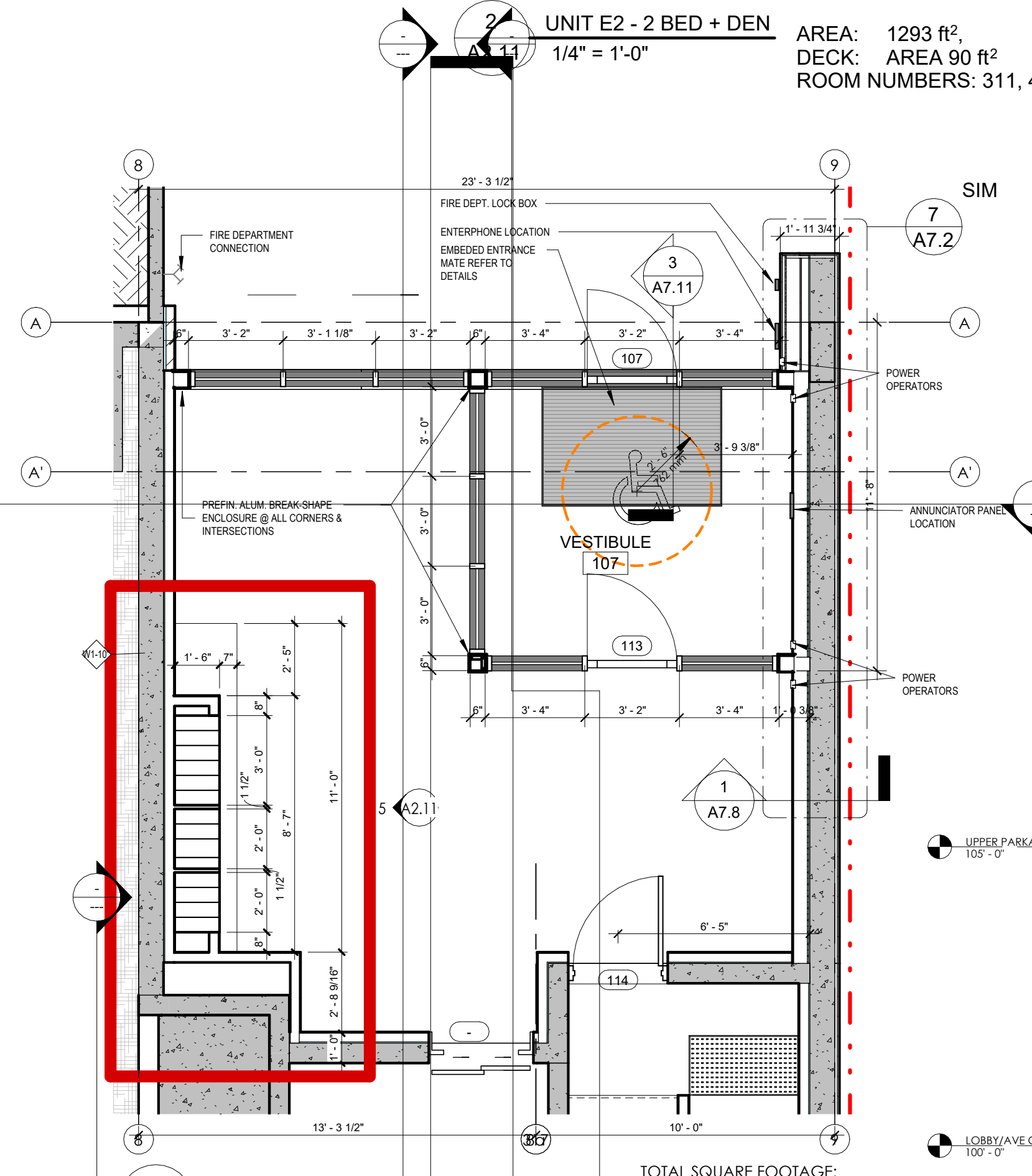
2 UNIT E2 - 2 BED + DEN
AREA: 1293 ft²
DECK: AREA 90 ft²
ROOM NUMBERS: 311, 411, 511
1/4" = 1'-0"



3 UNIT A1 - STUDIO
AREA: 463 ft²
DECK: AREA 93 ft²
ROOM NUMBERS: 203, 204, 205, 302, 304, 306, 307, 402, 404, 406, 407, 502, 504, 506, 507, 602, 604, 605, 607
1/4" = 1'-0"



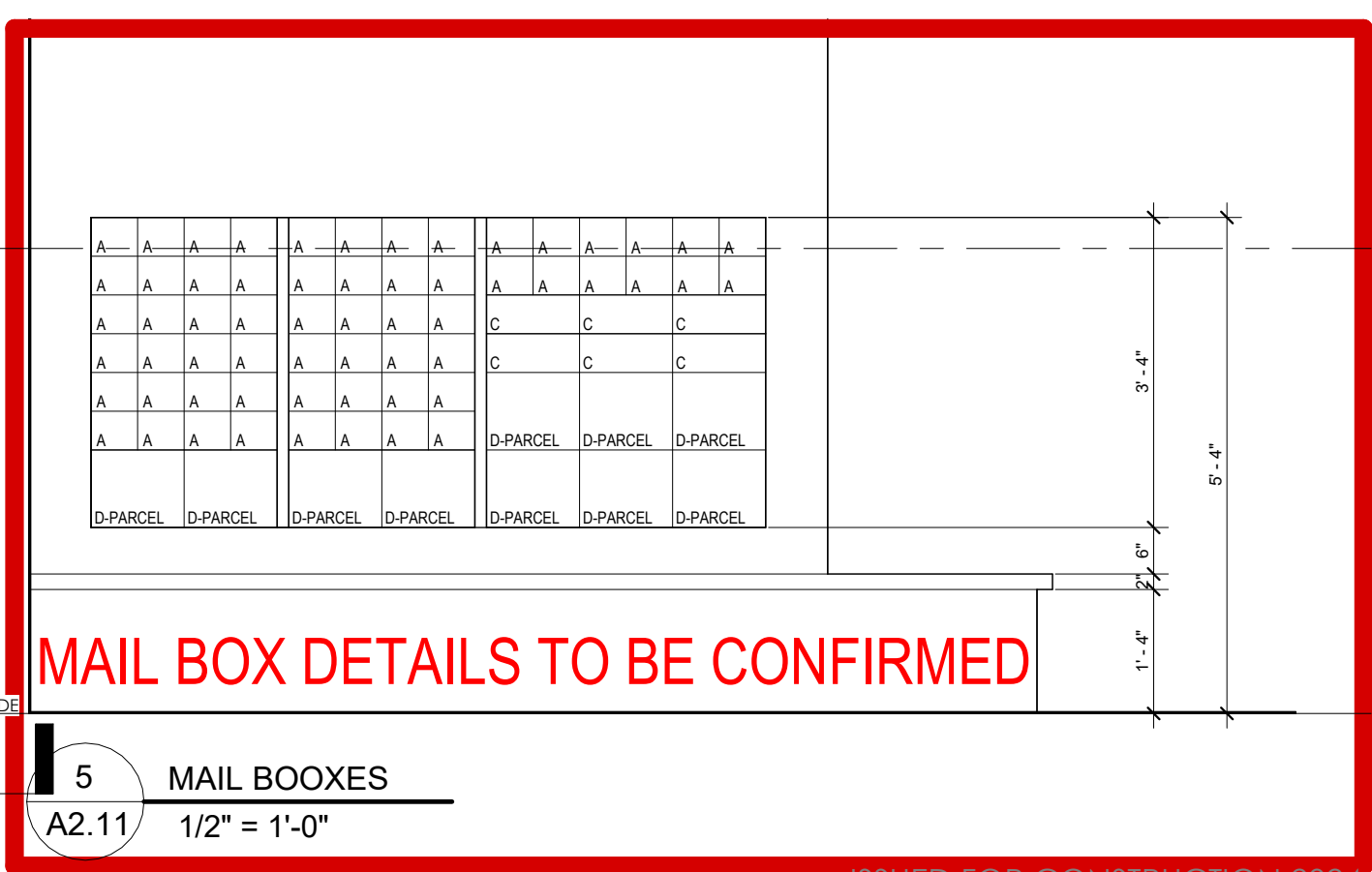
4 UNIT A2 - STUDIO
AREA: 437 ft²
DECK: AREA 93 ft²
ROOM NUMBERS: 202, 303, 403, 503, 603
1/4" = 1'-0"



7 LOBBY 1
1/4" = 1'-0"

| UNIT COUNT | | MAIL BOXES COUNT | |
|-------------------------|------------------|------------------|---------------|
| TOTAL UNITS = 66 | | | |
| TYPE A | UNIT A1 = 19 | TYPE D | UNIT D1 = 3 |
| UNIT A2 = 1 | UNIT D2 = 3 | UNIT D3 = 1 | UNIT D4 = 1 |
| TOTAL = 20 | TOTAL = 7 | TYPE E | UNIT E1 = 1 |
| TYPE B | UNIT B1 = 12 | UNIT E2 = 4 | UNIT E3 = 4 |
| UNIT B2 = 5 | UNIT B3 = 5 | TOTAL = 4 | TYPE T |
| UNIT B4 = 1 | UNIT B5 = 1 | UNIT T1 = 5 | UNIT T2 = 1 |
| TOTAL = 28 | TOTAL = 6 | TOTAL = 6 | |
| TYPE C | UNIT C1 = 1 | | |
| TOTAL = 1 | | | |

| MAIL BOXES COUNT | |
|--|----------------------|
| PARCEL D BOXES REQUIRED 1 PER 8 UNITS = 8.25 PARCEL D BOXES | |
| MAIL BOX | TYPE A PROVIDED = 60 |
| | TYPE C PROVIDED = 6 |
| TOTAL MAIL BOXES = 66 | |
| PARCEL BOX | TYPE D PROVIDED = 8 |
| TOTAL PARCEL BOXES = 10 | |
| TOTAL BOXES = 76 | |



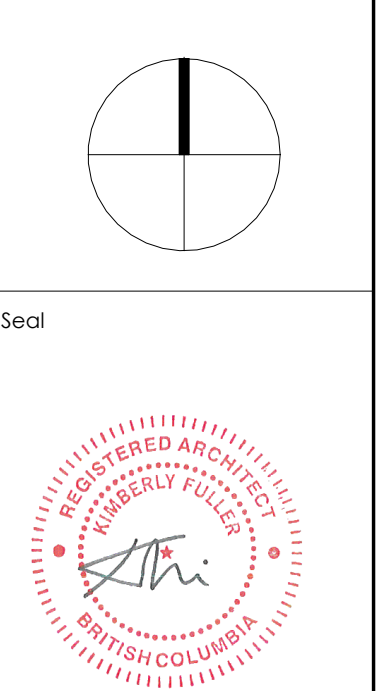
5 MAIL BOXES
1/2" = 1'-0"



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| 11 | 2025.02.06 | NOT UPDATES |

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| 1 | 2024.01.08 | IFC COORDINATION |
| 2 | 2025.02.22 | DP Review Comments |

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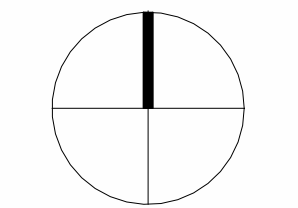
RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

ENLARGED PLANS,
UNITS A1, A2, E1, E2 &
MAIN FL. LOBBY

Job Number: 21.888
Date: 07/11/22
Scale: As Indicated
Revision Number: A
Drawing Number: A2.11

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| 11 | 2025.02.06 | VCI UPDATES |

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| NO. | DATE | DESCRIPTION |
| 5 | 2024.01.08 | IFC COORDINATION |

Project

SAVOY
ON CLEMENT

RESIDENTIAL DEVELOPMENT
447 CLEMENT AVE

Sheet Title
BUILDING ELEVATIONS

Job Number 21.888

Date 07/11/22

Scale As indicated

Revision Number A

Drawing Number

A3.0

- MATERIAL LEGEND:**
- 1 BRICK
COLOUR: RED
STYLE: FULL BED, RUNNING BOND
 - 2 CORRUGATED METAL PANEL
FINISH: VERTICAL
COLOUR: CHARCOAL
 - 3 CORRUGATED METAL PANEL
FINISH: VERTICAL & HORIZONTAL
COLOUR: CHARCOAL
 - 4 EXPOSED ARCHITECTURAL CONCRETE CW CAST REVEALS
COLOUR: LIGHT GREY
STYLE: SACKED & SMOOTHED
 - 5 HORIZONTAL LAP SIDING
COLOUR: LIGHT GREY
STYLE: SMOOTH
 - 6 WOOD TEXTURE METAL PANEL
COLOUR: CEDAR
STYLE: SMOOTH

SCHEDULE B

This forms part of application
 # DP25-0010 & DVP25-0011

Planner Initials **SS**

MECH. GRILLE. COLOUR TO MATCH CLADDING, TYP.

1 South Elevation
A3.0 1/8" = 1'-0"

2 North Elevation
A3.0 1/8" = 1'-0"



MATERIAL LEGEND:

- 1 BRICK
COLOUR: RED
STYLE: FULL BED, RUNNING BOND
- 2 CORRUGATED METAL PANEL
FINISH: VERTICAL
COLOUR: CHARCOAL
- 3 CORRUGATED METAL PANEL
FINISH: VERTICAL & HORIZONTAL
COLOUR: CHARCOAL
- 4 EXPOSED ARCHITECTURAL CONCRETE CW CAST REVEALS
COLOUR:
STYLE: SACKED & SMOOTHED
- 5 HORIZONTAL LAP SIDING
COLOUR: LIGHT GREY
STYLE: SMOOTH
- 6 WOOD TEXTURE METAL PANEL
COLOUR: CEDAR
STYLE: SMOOTH

SCHEDULE B

This forms part of application
DP25-0010 & DVP25-0011

Planner Initials **SS**



1 East Elevation
A3.1 1/8" = 1'-0"

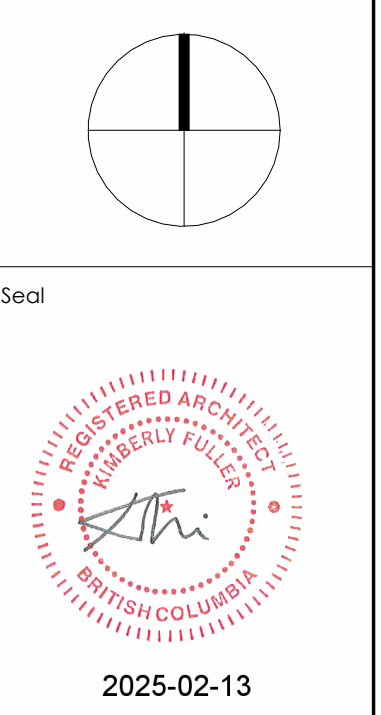


2 West Elevation
A3.1 1/8" = 1'-0"



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| 11 | 2025.02.06 | VCI UPDATES |

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| 2 | 25.05.2022 | DP Review Comments |

Project

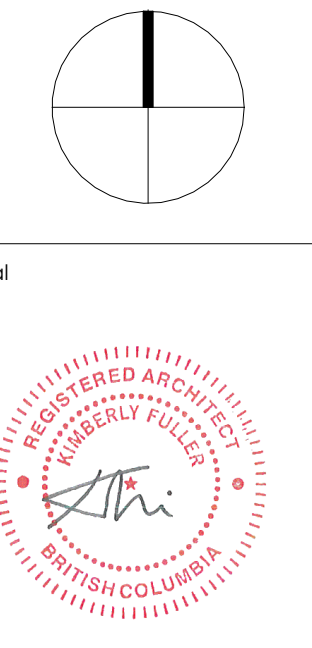
SAVOY
ON CLEMENT

RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

Sheet Title
BUILDING ELEVATIONS

Job Number 21.888
Date 07/11/22
Scale As indicated
Revision Number A
Drawing Number

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Seal

 2025-02-13

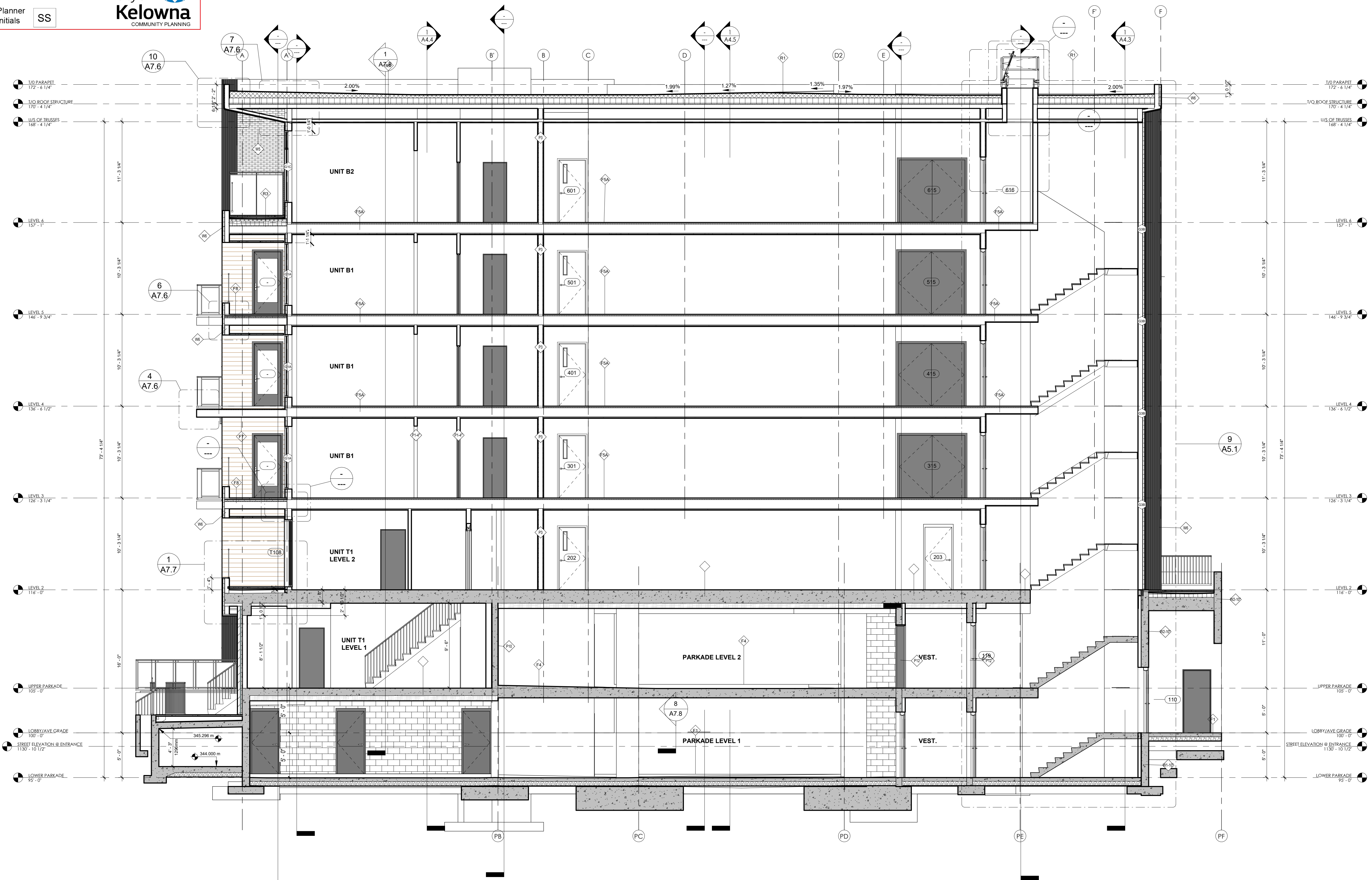
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| 11 | 2025.02.04 | VCI UPDATES |

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| NO. | DATE | DESCRIPTION |
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Project
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 ON CLEMENT
 RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE

Sheet Title
BUILDING SECTIONS

Job Number 21.888
 Date 07/11/22
 Scale 3/16" = 1'-0"
 Revision Number A
 Drawing Number



1
A4.0 BUILDING SECTION - N/S-2
 3/16" = 1'-0"

SCHEDULE B

This forms part of application
DP25-0010 & DVP25-0011



Planner Initials **SS**



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Seal

2025-02-13

| RECORD OF ISSUES | | |
|------------------|------------|--|
| NO. | DATE | DESCRIPTION |
| 01 | 2021.05.27 | ISSUED FOR REZONING & DEVELOPMENT PERMIT |
| 02 | 2021.11.08 | RE-ISSUED FOR REZONING & DEVELOPMENT PERMIT |
| 03 | 2022.02.22 | RE-ISSUED FOR REZONING & DP TO 3RD CITY COMMENTS |
| 04 | 2022.04.09 | ISSUED FOR BIP |
| 05 | 2022.07.11 | ISSUED FOR PRICING |
| 06 | 2022.08.19 | ISSUED FOR POST TENDER ADDENDUM |
| 07 | 2023.08.02 | ISSUED FOR IFC COORDINATION |
| 08 | 2023.11.09 | RE-ISSUED FOR BUILDING PERMIT |
| 09 | 2024.01.14 | ISSUED FOR CONSTRUCTION |
| 10 | 2024.12.20 | RE-ISSUED FOR DP CURRENT ZONING |
| 11 | 2025.02.06 | VC1 UPDATES |

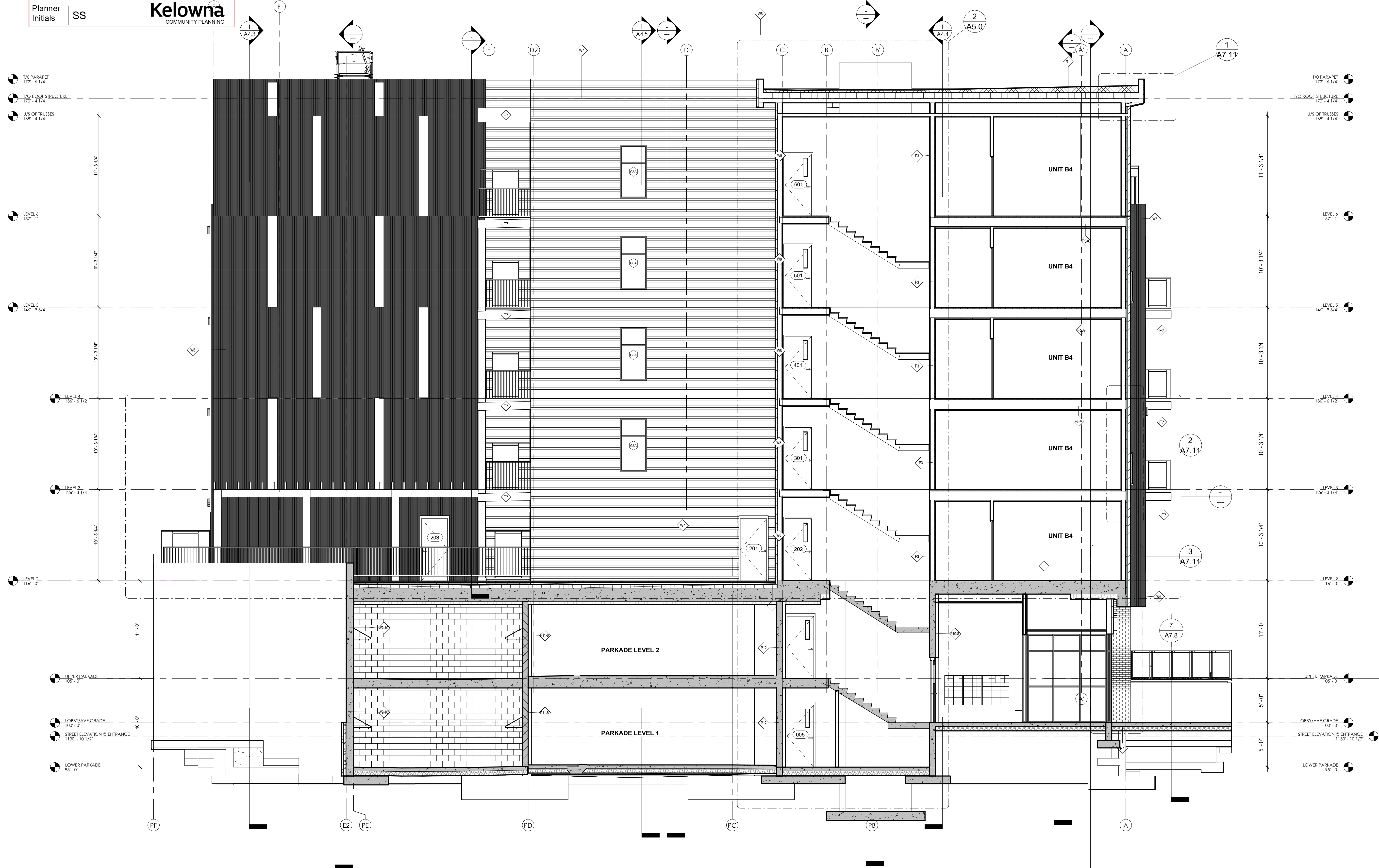
| RECORD OF REVISIONS | | |
|---------------------|------------|------------------|
| NO. | DATE | DESCRIPTION |
| 5 | 2024.01.08 | IFC COORDINATION |

Project
SAVOY
ON CLEMENT

RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

Sheet Title
BUILDING SECTIONS

Job Number 21.888
Date 07/11/22
Scale 3/16" = 1'-0"
Revision Number A
Drawing Number



1 BUILDING SECTION - NORTH/SOUTH
A4.1 3/16" = 1'-0"

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| 09 | 2024.01.14 | ISSUED FOR CONSTRUCTION |
| 10 | 2024.12.20 | RE-ISSUED FOR DP CURRENT ZONING |
| 11 | 2025.02.04 | VCI UPDATES |

RECORD OF REVISIONS

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| 3 | 2024.01.08 | IFC COORDINATION |
| 1 | 01.25.2022 | ISSUED FOR COORDINATION |

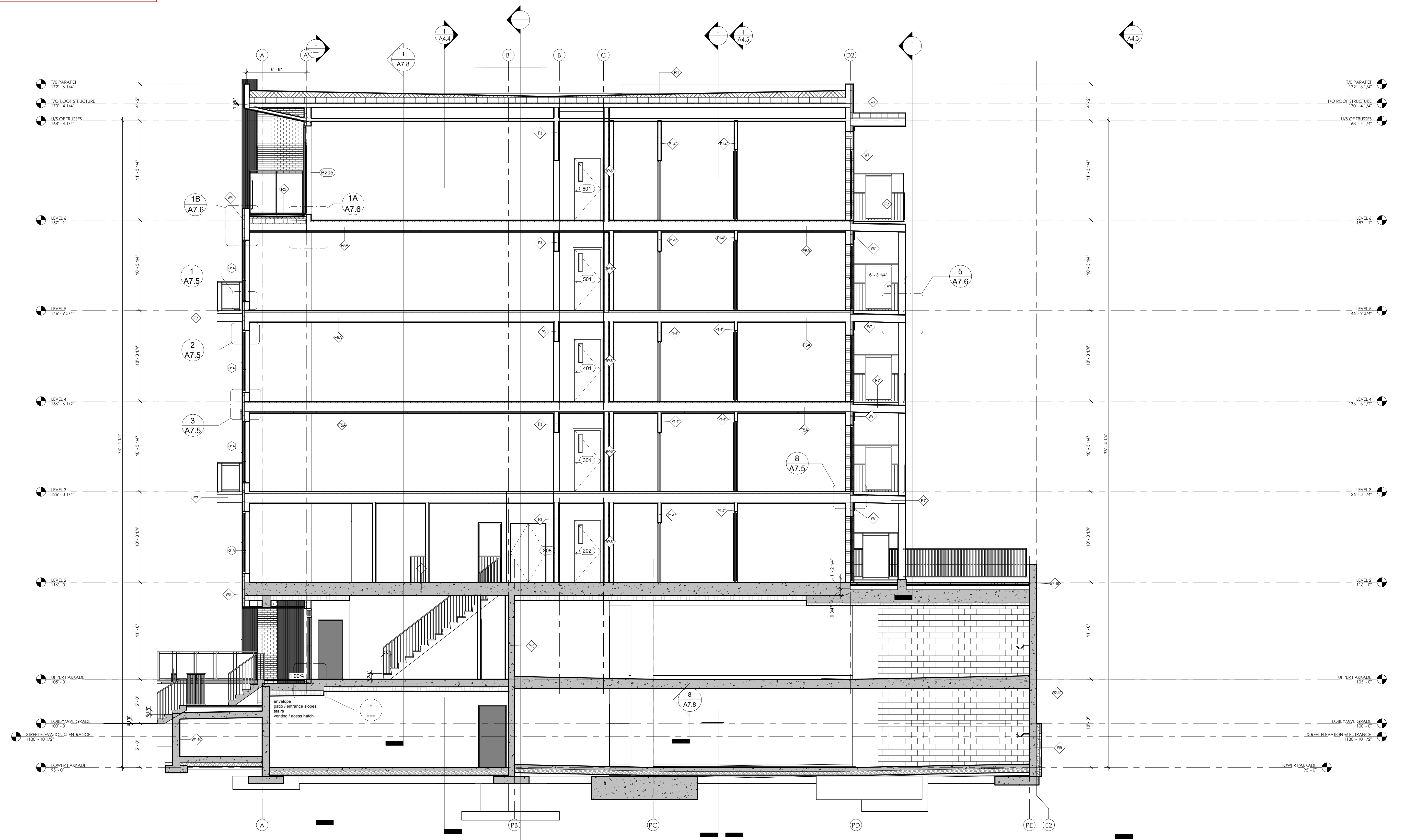
Project

SAVOY
 ON CLEMENT

RESIDENTIAL DEVELOPMENT
 647 CLEMENT AVE

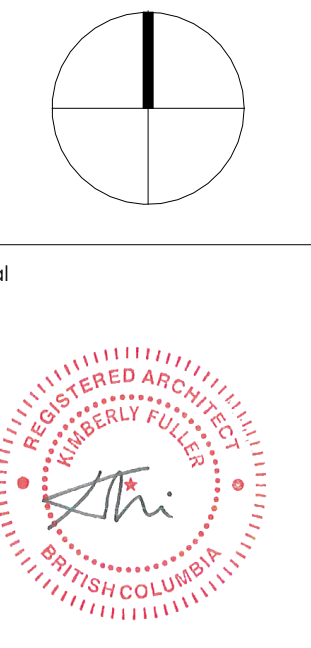
Sheet Title
BUILDING SECTIONS

Job Number 21.888
 Date 07/11/22
 Scale 3/16" = 1'-0"
 Revision Number A
 Drawing Number



1 BUILDING SECTION - N/S1
 A4.2 3/16" = 1'-0"

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| 09 | 2024.01.14 | ISSUED FOR CONSTRUCTION |
| 10 | 2024.12.20 | RE-ISSUED FOR DP CURRENT ZONING |
| 11 | 2025.02.04 | VCI UPDATES |

RECORD OF REVISIONS

| NO. | DATE | DESCRIPTION |
|-----|------------|-------------------|
| 3 | 2024.01.08 | IFC COORDINATION |
| 1 | 01.25.2022 | 6025 COORDINATION |

Project
SAVOY
 ON CLEMENT
 RESIDENTIAL DEVELOPMENT
 447 CLEMENT AVE

Sheet Title
BUILDING SECTIONS

Job Number 21.888
 Date 07/11/22
 Scale 3/16" = 1'-0"

Revision Number A
 Drawing Number

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A4.3

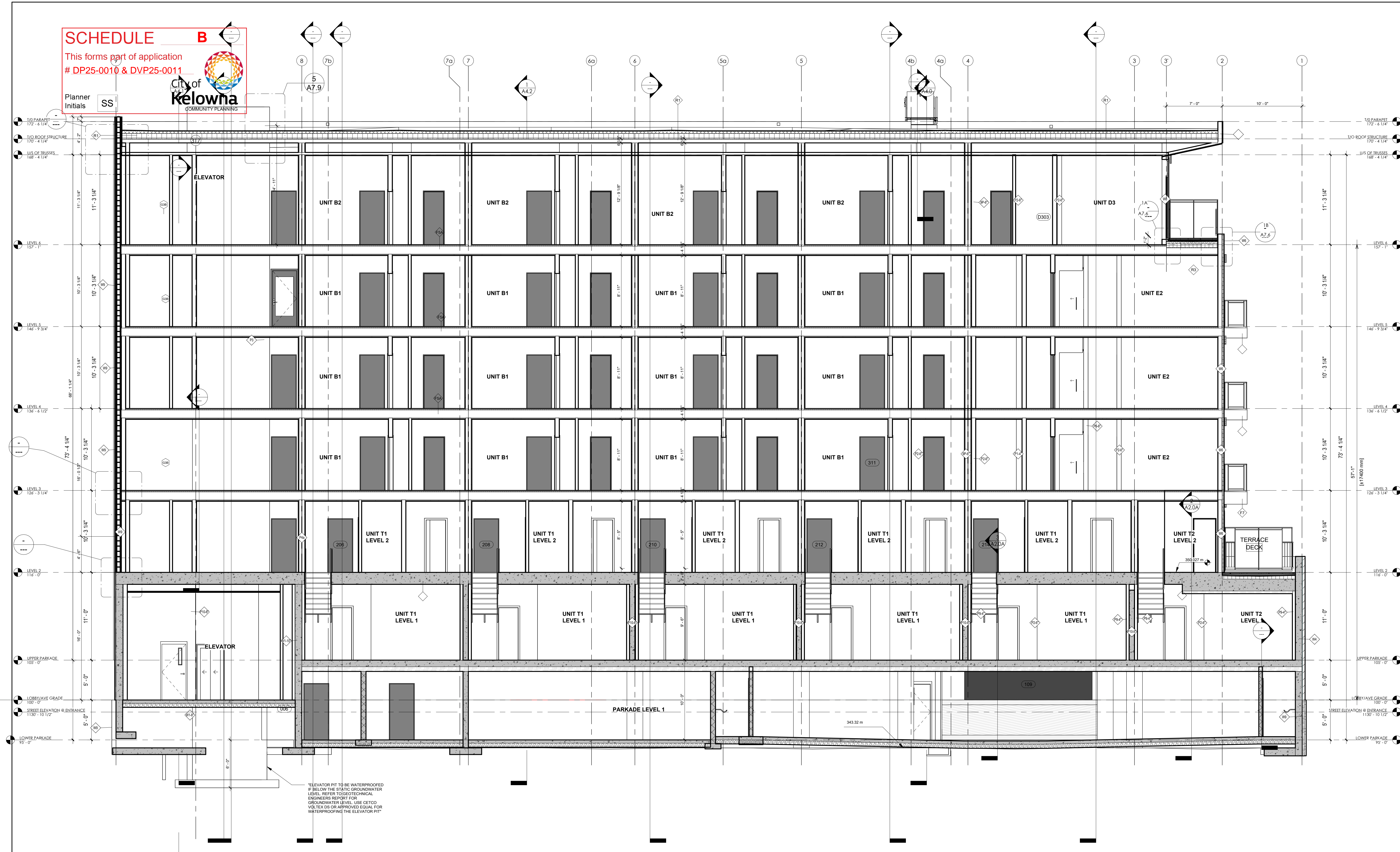


1
A4.3 BUILDING SECTION - EAST/WEST
 3/16" = 1'-0"

SCHEDULE B

This forms part of application
DP25-0010 & DVP25-0011

Planner Initials SS

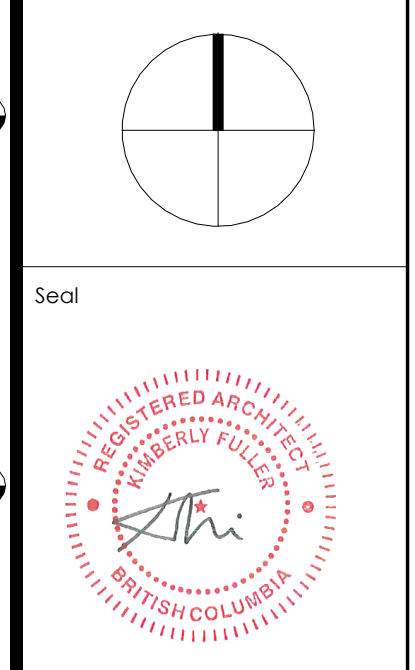


1 BUILDING SECTION WEST/EAST
A4.4 3/16" = 1'-0"



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| 09 | 2024.01.16 | ISSUED FOR CONSTRUCTION |
| 10 | 2024.12.20 | RE-ISSUED FOR SP CURRENT ZONING |
| 11 | 2025.02.06 | VCI UPDATES |

| RECORD OF REVISIONS | | |
|---------------------|------------|-------------------|
| NO. | DATE | DESCRIPTION |
| 1 | 2024.01.08 | IFC COORDINATION |
| 1 | 01.25.2022 | 1625 COORDINATION |

Project

SAVOY
ON CLEMENT

RESIDENTIAL DEVELOPMENT
647 CLEMENT AVE

Sheet Title
BUILDING SECTIONS

Job Number 21.888
Date 07/11/22
Scale 3/16" = 1'-0"
Revision Number A
Drawing Number

SCHEDULE B

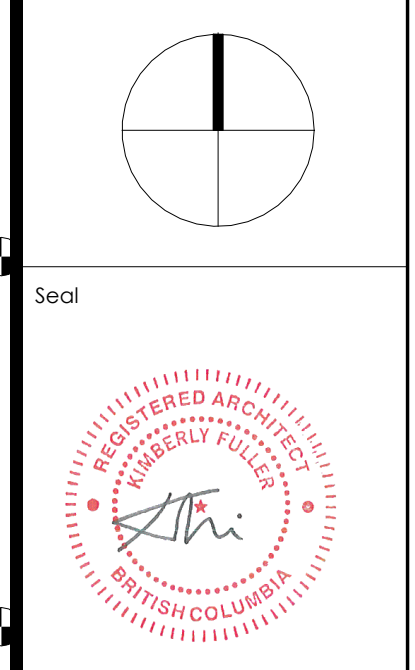
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Planner Initials
SS



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| 09 | 2024.01.16 | ISSUED FOR CONSTRUCTION |
| 10 | 2024.12.20 | RE-ISSUED FOR DP CURRENT ZONING |
| 11 | 2025.02.06 | VC1 UPDATES |

| RECORD OF REVISIONS | | |
|---------------------|------------|-------------------|
| NO. | DATE | DESCRIPTION |
| 3 | 2024.01.08 | IFC COORDINATION |
| 1 | 01.25.2022 | 1625 COORDINATION |

Project
SAVOY
ON CLEMENT

RESIDENTIAL DEVELOPMENT
447 CLEMENT AVE

Sheet Title
BUILDING SECTIONS

Job Number 21.888

Date 07/11/22

Scale 3/16" = 1'-0"

Revision Number A

Drawing Number

1 BUILDING SECTION WEST/EAST 1
A4.5 3/16" = 1'-0"



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LANDSCAPE ARCHITECTURE

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Kelowna, BC V1Y 7S2
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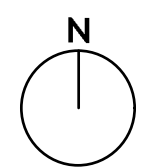
SCHEDULE C

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DP25-0010 & DVP25-0011

Planner Initials **SS**



City of
Kelowna
COMMUNITY PLANNING



PROJECT TITLE
**631-677 CLEMENT AVENUE
MULTIFAMILY**

Kelowna, BC

DRAWING TITLE

**CONCEPTUAL
LANDSCAPE PLAN**

ISSUED FOR / REVISION

| | | |
|---|----------|--------|
| 1 | 21.05.26 | Review |
| 2 | 21.10.28 | Review |
| 3 | 21.11.03 | Review |
| 4 | | |
| 5 | | |

PROJECT NO. 21-091
DESIGN BY AM
DRAWN BY NG
CHECKED BY FB
DATE NOV. 3, 2021
SCALE 1:100
PAGE SIZE 24x36"

SEAL

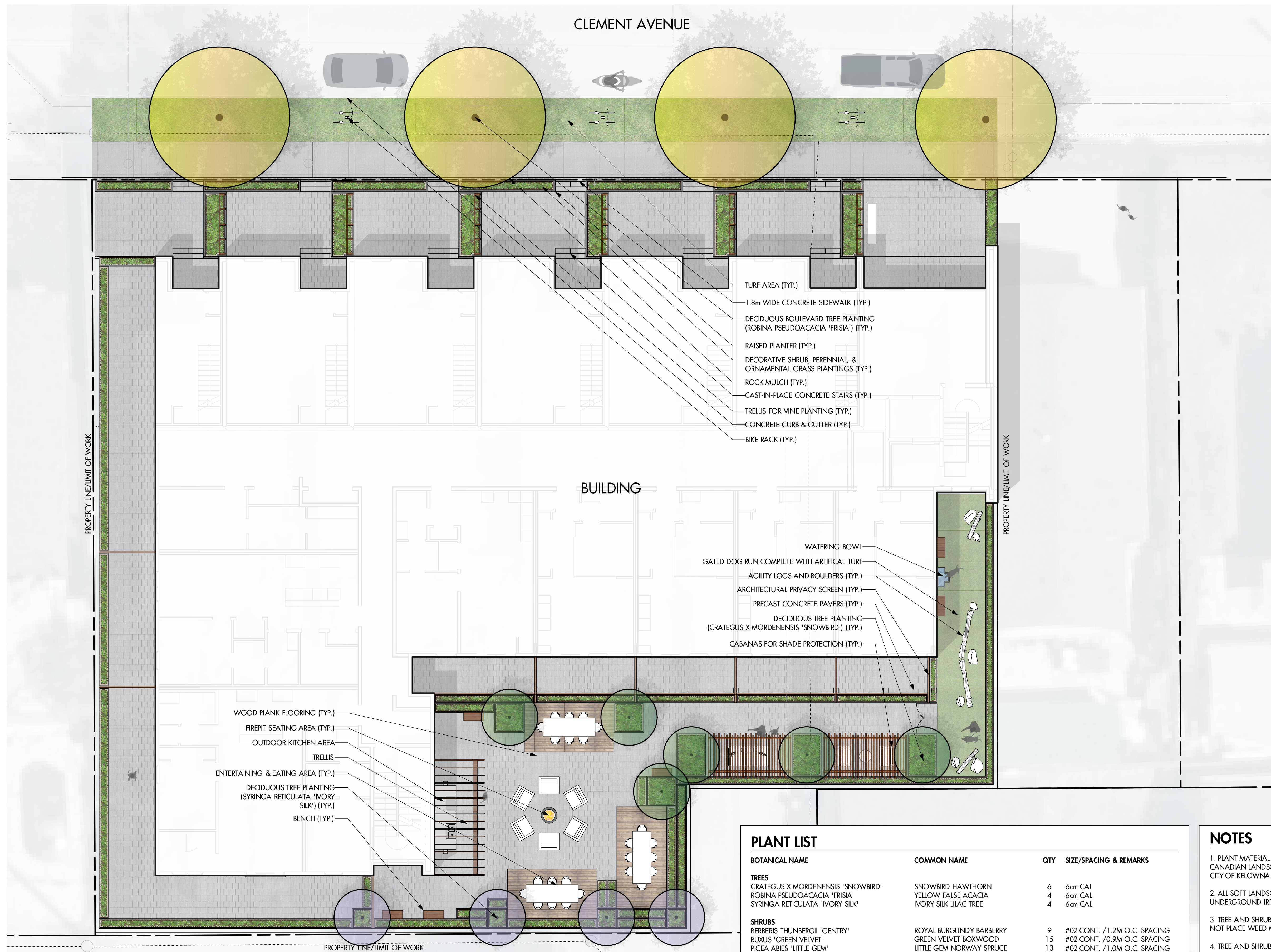


DRAWING NUMBER

L1/2

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- TURF AREA (TYP.)
- 1.8m WIDE CONCRETE SIDEWALK (TYP.)
- DECIDUOUS BOULEVARD TREE PLANTING (ROBINA PSEUDOACACIA 'FRISIA') (TYP.)
- RAISED PLANTER (TYP.)
- DECORATIVE SHRUB, PERENNIAL, & ORNAMENTAL GRASS PLANTINGS (TYP.)
- ROCK MULCH (TYP.)
- CAST-IN-PLACE CONCRETE STAIRS (TYP.)
- TRELLIS FOR VINE PLANTING (TYP.)
- CONCRETE CURB & GUTTER (TYP.)
- BIKE RACK (TYP.)

- WATERING BOWL
- GATED DOG RUN COMPLETE WITH ARTIFICIAL TURF
- AGILITY LOGS AND BOULDERS (TYP.)
- ARCHITECTURAL PRIVACY SCREEN (TYP.)
- PRECAST CONCRETE PAVERS (TYP.)
- DECIDUOUS TREE PLANTING (CRATEGUS X MORDENENSIS 'SNOWBIRD') (TYP.)
- CABANAS FOR SHADE PROTECTION (TYP.)

- WOOD PLANK FLOORING (TYP.)
- FIREPIT SEATING AREA (TYP.)
- OUTDOOR KITCHEN AREA
- TRELLIS
- ENTERTAINING & EATING AREA (TYP.)
- DECIDUOUS TREE PLANTING (SYRINGA RETICULATA 'IVORY SILK') (TYP.)
- BENCH (TYP.)

PLANT LIST

| BOTANICAL NAME | COMMON NAME | QTY | SIZE/SPACING & REMARKS |
|---|----------------------------------|-----|-------------------------------|
| TREES | | | |
| CRATEGUS X MORDENENSIS 'SNOWBIRD' | SNOWBIRD HAWTHORN | 6 | 6m CAL |
| ROBINA PSEUDOACACIA 'FRISIA' | YELLOW FALSE ACACIA | 4 | 6m CAL |
| SYRINGA RETICULATA 'IVORY SILK' | IVORY SILK LILAC TREE | 4 | 6m CAL |
| SHRUBS | | | |
| BERBERIS THUNBERGII 'CENTRY' | ROYAL BURGUNDY BARBERRY | 9 | #02 CONT. /1.2M O.C. SPACING |
| BUXUS 'GREEN VELVET' | GREEN VELVET BOXWOOD | 15 | #02 CONT. /0.9M O.C. SPACING |
| PICEA ABIES 'LITTLE GEM' | LITTLE GEM NORWAY SPRUCE | 13 | #02 CONT. /1.0M O.C. SPACING |
| SPRAEA JAPONICA 'GOLDMOUND' | GOLDMOUND SPIREA | 23 | #02 CONT. /0.75M O.C. SPACING |
| TAXUS X MEDIA 'HICKSII' | HICK'S YEW | 15 | #02 CONT. /0.9M O.C. SPACING |
| PERENNIALS & GRASSES | | | |
| ASTILBE JAPONICA 'PEACH BLOSSOM' | PEACH BLOSSOM ASTILBE | 7 | #01 CONT. /0.9M O.C. SPACING |
| CALAMAGROSIS ACUTIFLORA 'KARL FOERSTER' | KARL FOERSTER FEATHER REED GRASS | 6 | #01 CONT. /1.0M O.C. SPACING |
| HOSTIA 'STRIPEASE' | STRIPEASE HOSTIA | 7 | #01 CONT. /0.9M O.C. SPACING |
| LAVANDULA ANGLUSTIFOLIA 'HIDCOTE' | HIDCOTE ENGLISH LAVENDER | 11 | #01 CONT. /0.75M O.C. SPACING |
| PENINSETIUM ORIENTALE 'KARLEY ROSE' | KARLEY ROSE FOUNTAIN GRASS | 4 | #01 CONT. /1.2M O.C. SPACING |
| RUDBECKIA FULGIDA 'GOLDSTURM' | GOLDSTURM CONEFLOWER | 11 | #01 CONT. /0.75M O.C. SPACING |
| SEDUM SPECTABILE 'AUTUMN FIRE' | AUTUMN FIRE STONECROP | 11 | #01 CONT. /0.75M O.C. SPACING |

NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARD. ALL OFF-SITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 7900 STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT. TURF TO RECEIVE A MINIMUM OF 150mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 100mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.



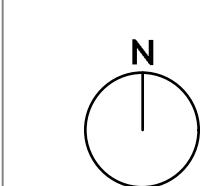
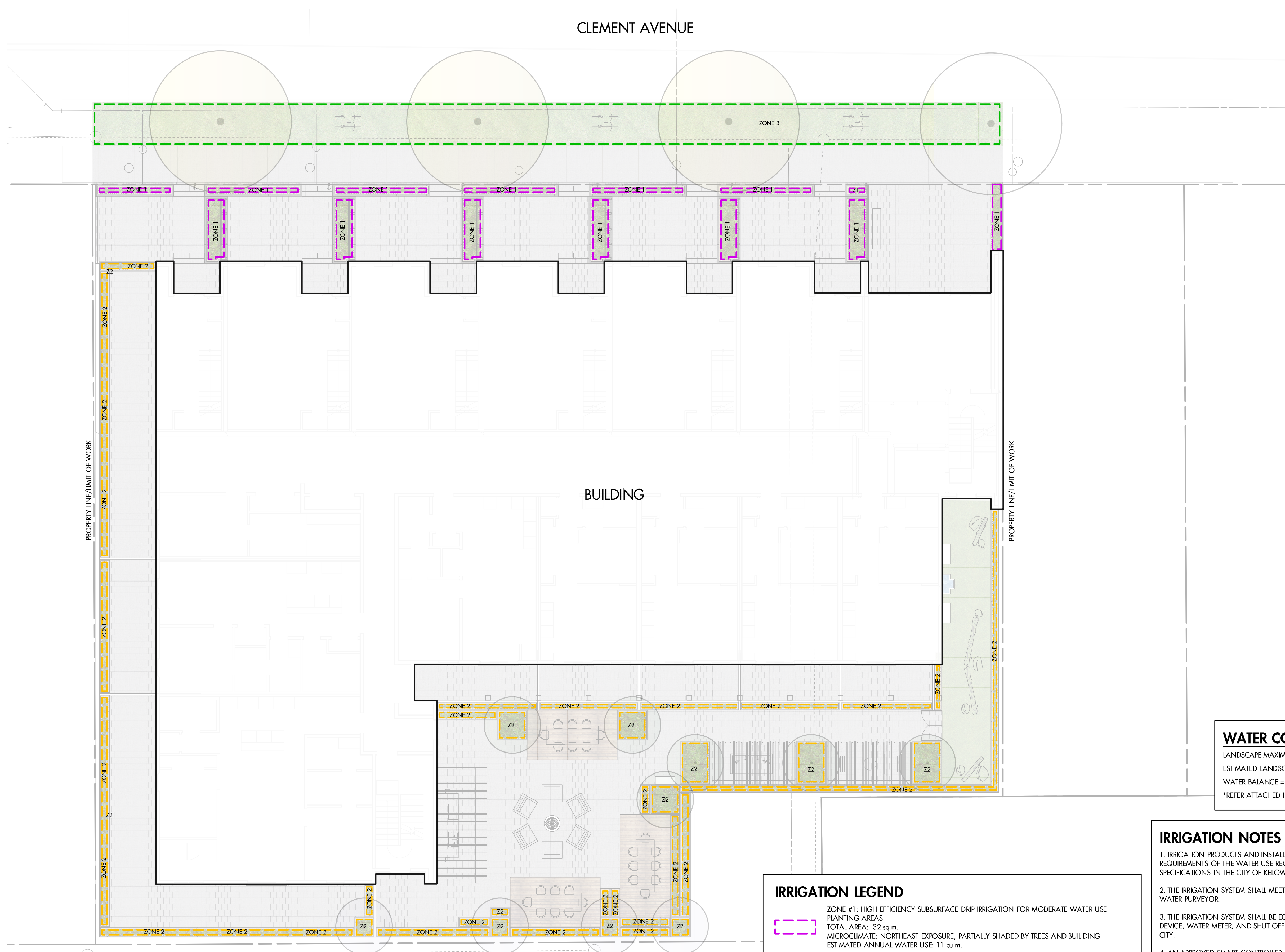
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LANDSCAPE ARCHITECTURE

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Kelowna, BC V1Y 7S2
T (250) 868-9270
www.outlanddesign.ca

SCHEDULE C

This forms part of application
DP25-0010 & DVP25-0011

Planner Initials **SS**



PROJECT TITLE
**631-677 CLEMENT AVENUE
MULTIFAMILY**

Kelowna, BC

DRAWING TITLE
**WATER CONSERVATION /
IRRIGATION PLAN**

| ISSUED FOR / REVISION | | |
|-----------------------|----------|--------|
| 1 | 21.05.26 | Review |
| 2 | 21.10.28 | Review |
| 3 | 21.11.03 | Review |
| 4 | | |
| 5 | | |

| | |
|-------------|--------------|
| PROJECT NO. | 21-091 |
| DESIGN BY | AM |
| DRAWN BY | NG |
| CHECKED BY | FB |
| DATE | NOV. 3, 2021 |
| SCALE | 1:100 |
| PAGE SIZE | 24x36" |

WATER CONSERVATION CALCULATIONS

LANDSCAPE MAXIMUM WATER BUDGET (WB) = 224 cu.m. / year
ESTIMATED LANDSCAPE WATER USE (WU) = 1.32 cu.m. / year
WATER BALANCE = 92 cu.m. / year
*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

- IRRIGATION NOTES**
- IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
 - THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
 - THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
 - AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
 - DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
 - IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
 - IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m / SEC.
 - A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

- IRRIGATION LEGEND**
- ZONE #1:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 32 sq.m.
MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
ESTIMATED ANNUAL WATER USE: 11 cu.m.
 - ZONE #2:** HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS
TOTAL AREA: 69 sq.m.
MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
ESTIMATED ANNUAL WATER USE: 23 cu.m.
 - ZONE #3:** LOW VOLUME POP-UP SPRAY HEADS FOR TURF AREAS
TOTAL AREA: 115 sq.m.
MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES AND BUILDING
ESTIMATED ANNUAL WATER USE: 99 cu.m.



DRAWING NUMBER
L2/2

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City of Kelowna
COMMUNITY PLANNING

Planner Initials

FORM & CHARACTER - DEVELOPMENT PERMIT GUIDELINES

Chapter 2 - The Design Foundations: apply to all projects and provide the overarching principles for supporting creativity, innovation and design excellence in Kelowna.

- Facilitate Active Mobility
- Use Placemaking to Strengthen Neighbourhood Identity
- Create Lively and Attractive Streets & Public Spaces
- Design Buildings to the Human Scale
- Strive for Design Excellence

The General Residential and Mixed Use Guidelines: provide the key guidelines that all residential and mixed use projects should strive to achieve to support the Design Foundations.

- The General Guidelines are supplement by typology-specific guidelines (e.g., Townhouses & Infill on page 18-19, High-Rise Residential and Mixed-Use on page 18-42), which provide additional guidance about form and character.

Chapter 2 - Design Foundations

Apply To All Projects

Page 18-8

Section 2.1 - General Residential and Mixed Use Design Guidelines

Page 18-9

Section 2.2 - Achieving High Performance

Page 18-17

Chapter 3
Townhouses & Infill

Page 18-19

Chapter 4
Low & Mid-Rise
Residential &
Mixed Use

Page 18-34

Chapter 5
High-Rise
Residential &
Mixed Use

Page 18-42

*Note: Refer to the Design Foundations and the Guidelines associated with the specific building typology.



Planner Initials: **ss**
 Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

| SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE | | | | | | |
|---|-----|---|---|---|---|---|
| RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i> | N/A | 1 | 2 | 3 | 4 | 5 |
| 2.1 General residential & mixed use guidelines | | | | | | |
| 2.1.1 Relationship to the Street | N/A | 1 | 2 | 3 | 4 | 5 |
| a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity. | | | | | | ✓ |
| b. On corner sites, orient building facades and entries to both fronting streets. | ✓ | | | | | |
| c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure. | | | | | | ✓ |
| d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades. | | | | | | ✓ |
| e. Ensure main building entries are clearly visible with direct sight lines from the fronting street. | | | | | | ✓ |
| f. Avoid blank, windowless walls along streets or other public open spaces. | | | | | | ✓ |
| g. Avoid the use of roll down panels and/or window bars on retail and commercial frontages that face streets or other public open spaces. | | | | | | ✓ |
| h. In general, establish a street wall along public street frontages to create a building height to street width ration of 1:2, with a minimum ration of 11:3 and a maximum ration of 1:1.75. <ul style="list-style-type: none"> Wider streets (e.g. transit corridors) can support greater streetwall heights compared to narrower streets (e.g. local streets); The street wall does not include upper storeys that are setback from the primary frontage; and A 1:1 building height to street width ration is appropriate for a lane of mid-block connection condition provided the street wall height is no greater than 3 storeys. | | | | | | ✓ |
| 2.1.2 Scale and Massing | N/A | 1 | 2 | 3 | 4 | 5 |
| a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction. | | | | | ✓ | |
| b. Break up the perceived mass of large buildings by incorporating visual breaks in facades. | | | | | | ✓ |
| c. Step back the upper storeys of buildings and arrange the massing and siting of buildings to: <ul style="list-style-type: none"> Minimize the shadowing on adjacent buildings as well as public and open spaces such as sidewalks, plazas, and courtyards; and Allow for sunlight onto outdoor spaces of the majority of ground floor units during the winter solstice. | | | | ✓ | | |

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| 2.1.3 Site Planning | | N/A | 1 | 2 | 3 | 4 | 5 |
|---|--|-----|---|---|---|---|---|
| Planner Initials | a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features. | ✓ | | | | | |
| | b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians. | | | | | | ✓ |
| | c. Limit the maximum grades on development sites to 30% (3:1) | | | | | | ✓ |
| | d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: <ul style="list-style-type: none"> Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible; Incorporating terracing to create usable open spaces around the building Using the slope for under-building parking and to screen service and utility areas; Design buildings to access key views; and Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped). | ✓ | | | | | |
| | e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planned future public street, bicycle, and/or pedestrian network. | ✓ | | | | | |
| | f. Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks. | ✓ | | | | | |
| | g. Apply universal accessibility principles to primary building entries, sidewalks, plazas, mid-block connections, lanes, and courtyards through appropriate selection of materials, stairs, and ramps as necessary, and the provision of wayfinding and lighting elements. | | | | | | ✓ |
| 2.1.4 Site Servicing, Access, and Parking | | N/A | 1 | 2 | 3 | 4 | 5 |
| | a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view. | | | | | | ✓ |
| | b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces. | | | | | | ✓ |
| | c. Avoid locating off-street parking between the front façade of a building and the fronting public street. | | | | | | ✓ |
| | d. In general, accommodate off-street parking in one of the following ways, in order of preference: <ul style="list-style-type: none"> Underground (where the high water table allows) Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage); | | | | | | ✓ |

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| <ul style="list-style-type: none"> Garages or at-grade parking integrated into the building (located at the rear of the building), and Surface parking at the rear, with access from the lane or secondary street wherever possible. | | | | | | |
| e. Design parking areas to maximize rainwater infiltration through the use of permeable materials such as paving blocks, permeable concrete, or driveway planting strips. | ✓ | | | | | |
| f. In cases where publicly visible parking is unavoidable, screen using strategies such as: <ul style="list-style-type: none"> Landscaping; Trellises; Grillwork with climbing vines; or Other attractive screening with some visual permeability. | ✓ | | | | | |
| g. Provide bicycle parking at accessible locations on site, including: <ul style="list-style-type: none"> Covered short-term parking in highly visible locations, such as near primary building entrances; and Secure long-term parking within the building or vehicular parking area. | | | | | | ✓ |
| h. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety. | | | | | | ✓ |
| i. Consolidate driveway and laneway access points to minimize curb cuts and impacts on the pedestrian realm or common open spaces. | | | | ✓ | | |
| j. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping. | | | | ✓ | | |
| 2.1.5 Streetscapes, Landscapes, and Public Realm Design | N/A | 1 | 2 | 3 | 4 | 5 |
| a. Site buildings to protect mature trees, significant vegetation, and ecological features. | ✓ | | | | | |
| b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings. | ✓ | | | | | |
| c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation. | | | | | | ✓ |
| d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage. | | | | | | ✓ |
| e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: <ul style="list-style-type: none"> Locating outdoor spaces where they will receive ample sunlight throughout the year; Using materials and colors that minimize heat absorption; Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and Using building mass, trees and planting to buffer wind. | | | | | ✓ | |
| f. Use landscaping materials that soften development and enhance the public realm. | | | | | | ✓ |

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| | g. Plant native and/or drought tolerant trees and plants suitable for the local climate. | | | | | ✓ | |
| | h. Select trees for long-term durability, climate and soil suitability, and compatibility with the site's specific urban conditions. | | | | | ✓ | |
| | i. Design sites and landscapes to maintain the pre-development flows through capture, infiltration, and filtration strategies, such as the use of rain gardens and permeable surfacing. | ✓ | | | | | |
| | j. Design sites to minimize water use for irrigation by using strategies such as: <ul style="list-style-type: none"> • Designing planting areas and tree pits to passively capture rainwater and stormwater run-off; and • Using recycled water irrigation systems. | ✓ | | | | | |
| | k. Create multi-functional landscape elements wherever possible, such as planting areas that also capture and filter stormwater or landscape features that users can interact with. | ✓ | | | | | |
| | l. Select materials and furnishings that reduce maintenance requirements and use materials and site furnishings that are sustainably sourced, re-purposed or 100% recycled. | | | | | ✓ | |
| | m. Use exterior lighting to complement the building and landscape design, while: <ul style="list-style-type: none"> • Minimizing light trespass onto adjacent properties; • Using full cut-off lighting fixtures to minimize light pollution; and • Maintaining lighting levels necessary for safety and visibility. | | | | | ✓ | |
| | n. Employ on-site wayfinding strategies that create attractive and appropriate signage for pedestrians, cyclists, and motorists using a 'family' of similar elements. | ✓ | | | | | |
| | 2.1.6 Building Articulation, Features and Materials | N/A | 1 | 2 | 3 | 4 | 5 |
| | a. Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: <ul style="list-style-type: none"> • Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks; • Repeating window patterns on each step-back and extension interval; • Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval. | | | | | | ✓ |
| | b. Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs. Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters; | | | | | | ✓ |

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| SS | ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors. | | | | | | |
| | c. Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise. | | | | | | ✓ |
| | d. Design buildings such that their form and architectural character reflect the buildings internal function and use. | | | | | | ✓ |
| | e. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades. | | | | | | ✓ |
| | f. Provide weather protection such as awnings and canopies at primary building entries. | | | | | | ✓ |
| | g. Place weather protection to reflect the building's architecture. | | | | | | ✓ |
| | h. Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see. | | | | | | ✓ |
| | i. Provide visible signage identifying building addresses at all entrances. | | | | | | ✓ |

| SECTION 4.0: LOW & MID-RISE RESIDENTIAL MIXED USE | | | | | | | |
|--|-----|---|---|---|---|---|---|
| RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i> | N/A | 1 | 2 | 3 | 4 | 5 | |
| 4.1 Low & mid-rise residential & mixed use guidelines | | | | | | | |
| 4.1.1 Relationship to the Street | | | | | | | |
| | N/A | 1 | 2 | 3 | 4 | 5 | |
| i. Ensure lobbies and main building entries are clearly visible from the fronting street. | | | | | | | ✓ |
| j. Avoid blank walls at grade wherever possible by: <ul style="list-style-type: none"> • Locating enclosed parking garages away from street frontages or public open spaces; • Using ground-oriented units or glazing to avoid creating dead frontages; and • When unavoidable, screen blank walls with landscaping or incorporate a patio café or special materials to make them more visually interesting. | | | | | | | ✓ |
| Residential & Mixed Use Buildings | | | | | | | |
| k. Set back residential buildings on the ground floor between 3-5 m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio. <ul style="list-style-type: none"> • A maximum 1.2 m height (e.g. 5-6 steps) is desired for front entryways. • Exceptions can be made in cases where the water table requires this to be higher. In these cases, provide a larger patio and screen parking with ramps, stairs and landscaping. | | | | | | | ✓ |

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| | l. Incorporate individual entrances to ground floor units accessible from the fronting street or public open spaces. | | | | | ✓ |
| | m. Site and orient buildings so that windows and balconies overlook public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences. | | | | | ✓ |
| | 4.1.2 Scale and Massing | N/A | 1 | 2 | 3 | 4 |
| | a. Residential building facades should have a maximum length of 60 m. A length of 40 m is preferred. | | | | | ✓ |
| | b. Residential buildings should have a maximum width of 24 m. | | | | | ✓ |
| | c. Buildings over 40 m in length should incorporate a significant horizontal and vertical break in the façade. | | | | ✓ | |
| | d. For commercial facades, incorporate a significant break at intervals of approximately 35 m. | ✓ | | | | |
| | 4.1.3 Site Planning | N/A | 1 | 2 | 3 | 4 |
| | a. On sloping sites, floor levels should step to follow natural grade and avoid the creation of blank walls. | ✓ | | | | |
| | b. Site buildings to be parallel to the street and to have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior court yards: <ul style="list-style-type: none"> • Building sides that interface with streets, mid-block connections and other open spaces and should positively frame and activate streets and open spaces and support pedestrian activity; and • Building sides that are located away from open spaces (building backs) should be designed for private/shared outdoor spaces and vehicle access. | | | | | ✓ |
| | c. Break up large buildings with mid-block connections which should be publicly-accessible wherever possible. | ✓ | | | | |
| | d. Ground floors adjacent to mid-block connections should have entrances and windows facing the mid-block connection. | ✓ | | | | |
| | 4.1.4 Site Servicing, Access and Parking | N/A | 1 | 2 | 3 | 4 |
| | a. Vehicular access should be from the lane. Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access may be provided from the street, provided: <ul style="list-style-type: none"> • Access is from a secondary street, where possible, or from the long face of the block; • Impacts on pedestrians and the streetscape is minimised; and • There is no more than one curb cut per property. | | | | | ✓ |
| | b. Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms and should be screened from public view with active retail uses, active residential uses, architectural or landscaped screening elements. | | | | | ✓ |
| | c. Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations: | | | | | ✓ |

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| <ul style="list-style-type: none"> Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized. | | | | | | |
| 4.1.5 Publicly-Accessible and Private Open Spaces | N/A | 1 | 2 | 3 | 4 | 5 |
| a. Integrate publicly accessible private spaces (e.g. private courtyards accessible and available to the public) with public open areas to create seamless, contiguous spaces. | ✓ | | | | | |
| b. Locate semi-private open spaces to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units. | ✓ | | | | | |
| Rooftop Amenity Spaces | | | | | | |
| c. Design shared rooftop amenity spaces (such as outdoor recreation space and rooftop gardens on the top of a parkade) to be accessible to residents and to ensure a balance of amenity and privacy by: <ul style="list-style-type: none"> Limiting sight lines from overlooking residential units to outdoor amenity space areas through the use of pergolas or covered areas where privacy is desired; and Controlling sight lines from the outdoor amenity space into adjacent or nearby residential units by using fencing, landscaping, or architectural screening. | | | | | ✓ | |
| d. Reduce the heat island affect by including plants or designing a green roof, with the following considerations: <ul style="list-style-type: none"> Secure trees and tall shrubs to the roof deck; and Ensure soil depths and types are appropriate for proposed plants and ensure drainage is accommodated. | | | | | ✓ | |
| 4.1.6 Building Articulation, Features, and Materials | N/A | 1 | 2 | 3 | 4 | 5 |
| a. Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20 m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance and include: <ul style="list-style-type: none"> Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the façade; Repeating window pattern intervals that correspond to extensions and step backs (articulation) in the building façade; Providing a porch, patio, deck, or covered entry for each interval; Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance; Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval; Changing the materials with the change in building plane; and | | | | | ✓ | |

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| <ul style="list-style-type: none"> • Provide a lighting fixture, trellis, tree or other landscape feature within each interval. | | | | | | | |
| b. Break up the building mass by incorporating elements that define a building's base, middle and top. | | | | | | | ✓ |
| c. Use an integrated, consistent range of materials and colors and provide variety, by for example, using accent colors. | | | | | | | ✓ |
| d. Articulate the façade using design elements that are inherent to the buildings as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing. | | | | | | | ✓ |
| e. Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows, and adding awnings or canopies. | | | | | | | ✓ |
| f. Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas with particular attention to the following locations: <ul style="list-style-type: none"> • Primary building entrances; • Adjacent to bus zones and street corners where people wait for traffic lights; • Over store fronts and display windows; and • Any other areas where significant waiting or browsing by people occurs. | ✓ | | | | | | |
| g. Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported. | | | | | | | ✓ |
| h. Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern. | | | | | | | ✓ |
| i. Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length of facades. | | | | | | | ✓ |
| j. Provide attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw. | ✓ | | | | | | |
| k. Avoid the following types of signage: <ul style="list-style-type: none"> • Internally lit plastic box signs; • Pylon (stand alone) signs; and • Rooftop signs. | | | | | | | ✓ |
| l. Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods. | ✓ | | | | | | |

February 10, 2025

Summary of Neighbour Notification – 647 Clement Ave

Dear Council,

The following is a summary of our Neighbour Notification efforts and feedback received as per our Development Permit application for 647 Clement Ave.

a. Date the mail outs or face-to-face notification was completed.

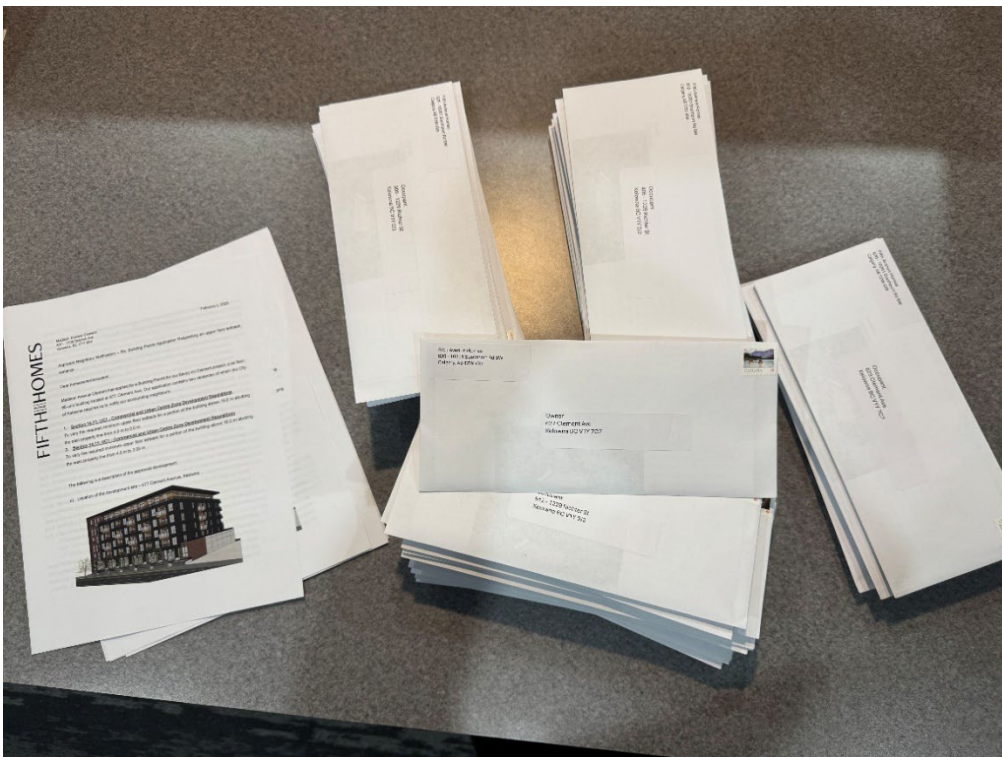
Letters were mailed out through Canada Post to each tenant and/or property owner, within a 50m radius of the project, on February 7, 2025.

b. Methods of notification (mail out, face-to-face, website, etc.)

See above.

c. List of all addresses notified

A total of 81 letters were mailed to all tenants and/or owners of properties within a 50m radius of the site, as per addresses provided by the City.



d. Details of the types of information provided

The variances we are requesting were listed (as shown below), in bold font, in the letter (please refer to Schedule A for a copy of the complete letter). Tenants and/or owners were also provided with the website where the proposed Development Permits for this project could be reviewed in detail.

1. Section 14.11: UC1 - Commercial and Urban Centre Zone Development Regulations

To vary the required minimum upper floor setback for a portion of the building above 16.0 m abutting the east property line from 4.0 m to 0.0 m.

2. Section 14.11: UC1 - Commercial and Urban Centre Zone Development Regulations

To vary the required minimum upper floor setback for a portion of the building above 16.0 m abutting the west property line from 4.0 m to 3.05 m.

A Development Permit for this project was previously awarded but expired and therefore we are completing a second notification to our neighbours as per Council Policy 367. The scope of the project has not changed since the previous approvals were received.

In late 2021/early 2022, the previous neighbour notification took place and included a public information session via Zoom (during Covid), a large format development notice sign (8'x4') which was placed on the proposed site and an advertisement was placed in a local newspaper. Neighbours were notified of the public information session through either a letter mailed via Canada Post or, for those tenants residing in two apartment buildings, the respective property managers were directly mailed letters with a request to notify their residents. As a result of these notifications, we were contacted by two neighbours asking if we were interested in purchasing their land for either this or a future project. One additional neighbour contacted us to inquire about fire access, parking ratio and the setback from Clement Ave; we were within City guidelines on each point. No changes were required to the plans based on this feedback.

e. Any feedback or key issues received from the neighbours

To date, no feedback has been received.

f. Outline any changes to the project resulting from neighbour notification

There have been no changes.

Schedule A – Neighbour Notification Letter

ATTACHMENT **C**
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City of Kelowna
COMMUNITY PLANNING
Planner Initials **SS**

Madison Avenue Clement
407 - 1708 Dolphin Ave
Kelowna, BC V1Y 9S4

February 5, 2025

Applicant Neighbour Notification – Re. Building Permit Application Requesting an upper floor setback variance

Dear homeowner/occupant,

Madison Avenue Clement has applied for a Building Permit for our Savoy on Clement project; a six floor, 66-unit building located at 647 Clement Ave. Our application contains two variances of which the City of Kelowna requires us to notify our surrounding neighbours.

3. Section 14.11: UC1 - Commercial and Urban Centre Zone Development Regulations

To vary the required minimum upper floor setback for a portion of the building above 16.0 m abutting the east property line from 4.0 m to 0.0 m.

4. Section 14.11: UC1 - Commercial and Urban Centre Zone Development Regulations

To vary the required minimum upper floor setback for a portion of the building above 16.0 m abutting the west property line from 4.0 m to 3.05 m.

The following is a description of the approved development:

- a) Location of the development site – 647 Clement Avenue, Kelowna



b) A detailed description of the approved Development Permits, DP25-0010 & DVP25-0011, can be found online under [Current development applications | City of Kelowna](#).

PROJECT DESCRIPTION

The building site is located in the transitioning “North End” of Kelowna along Clement Avenue, one of the City’s key transportation arteries. The project is a mid-block site located on the South side of Clement with the nearest intersection being Richter Street. The proposal is to build a 66-unit, 6 level condominium building with street accessed townhomes. The upper 5 storeys of wood-frame construction sit on a double level, partially buried, concrete parking structure accessed off the rear lane and masked behind ground-oriented, street accessed, townhomes and lobby. This site straddles the 12 storey and 6 storey allocation.

The building is designed to reflect the history of the once industrial area while progressing the transition into a more dense, residential, modern neighborhood. This is achieved between both the material pallet selected as well the building form. The material palette is largely industrial, a throwback to the history of the neighborhood, and applied over a modern form. The concrete, steel corrugated cladding, and brick are offset by rich detail and pattern and softened further by incorporation of warm wood and lush green landscaping. The form is sensitive to the neighboring projects, both present and future, while also creating opportunities for intimate, outdoor spaces. The building step backs incrementally to the west to provide opportunities for views, outdoor space, and will serve as a great neighbor to the future project directly West which will likely be 4-5 stories. To the East the building is partially setback while also allowing for a potential future connection and abutment to a future 6 storey, large footprint, building along Richter Street. Our client is keenly interested in these lots and we are leaving the door open to a future connection. The abutting wall has been incorporated as an architectural feature of the building and is designed to stand on its own without the future connection or at the very least the short interim between developments. Further to the form, careful attention has been taken to provide appropriate pedestrian scaled design along the busy Clement corridor. The townhomes at grade are buffered by large setbacks and landscaping creating opportunities for vibrant front yards. Floors 2-5 above are pulled towards the street while providing deep, inset, balconies which will provide the private intimacy desired facing a bustling street. By pulling these floors towards the street we are allowing for a greater amenity deck area at the rear or “back yard” as we call it. This area will promote diverse opportunities for social interaction, community gardens and even a dog run.

MISSING MIDDLE

This project does not cater to one single demographic, rather it provides and encourages a mixture of unit types and pricing options. The ratio between studio, one bedroom, and 2 bedroom+ units is essentially equal and designed intentionally. Given the projects location and amenities provided both on-site and in the immediate neighborhood this project meets the demand for walkable/ livable neighborhoods, responds to changing demographics, and provides housing at various, attainable price points.

URBAN CONNECTIVITY

The project is located within a 3 minute bicycle commute to Downtown and the New Clement Business /Cultural District is located directly across the street. This proximity allows pedestrians and cyclists easy access to all the shopping, recreational opportunities, and cultural events without the need to take a vehicle. Transit is available on Clement Avenue and when going further from the immediate area and a car is your only option, Clement Avenue offer excellent connectivity to the rest of the City and the region. To soften the reliance on vehicular transportation, bike storage exceeds zoning requirements, and 2 car chare spaces have been provided at the rear lane and can be accessed by any member of the surrounding neighborhood.

SUSTAINABILITY

The use of naturally sourced materials is used to a large extent and thereby reduces the carbon footprint as much as possible. Envelope details that prevent water and moisture ingress while still allowing the assemblies to dry are being incorporated. Minimizing thermal bridging combined with continuous, exterior insulation will reduce heating and cooling loads. South and west facing windows will be specified to have appropriate shading and glazing coefficients to utilize the summer sun by blocking the heat while still allowing the winter sun to penetrate, reducing cooling and heating loads in the summer and winter seasons respectively. Operable windows allow for natural ventilation, reducing the demand for mechanical ventilation to provide fresh air. Other sustainable measures will include drought resistant landscaping and smart climate management controls.

CRIME PREVENTION

The intentions of CPTED have been addressed with well-maintained entrances and frontages that promote pride in ownership amongst the residents, and with the reduced setback increasing the buildings presence. The sight lines of the occupants from decks and windows will discourage vandalism and crime. Site lighting along the side/drive isle, and pathways will be balanced to provide enough illumination to ensure there are no high contrast areas that could conceal potential offenders, but not so much that the site is excessively contributing to local light pollution.

LANDSCAPING

The landscape design will compliment the character of the surrounding neighborhood. A number of annual and perennial shrubs have been selected for the planters throughout the site, and in special groupings on the amenity deck. Trees will be planted in the front boulevard, and in all greenspaces. Given enough time to mature, the trees will help the project blend with the existing neighborhoods numerous trees lining streets and in back yards. The landscape concept for the setback areas, will provide a visually exciting and high volume of green space. If viewed from above, there would appear to be significantly more “green” than building.

c) Site plan

LOCATION MAP




d) Contact information – Please contact us at info@fifthaveproperties.com or 250-794-3738 with any questions.

The City of Kelowna contact is:

Sara Skabowski, RPP, MCIP
 Planner I | City of Kelowna
 778-738-3427 | Sskabowski@kelowna.ca

Regards,


 Jeff van Leenen
 Estimating

Address

599 Clement Ave V1Y7C7

**** Occupant ****

615 Clement Ave V1Y7C7

**** Occupant ****

623 Clement Ave V1Y7C7

**** Occupant ****

627 Clement Ave V1Y7C7

**** Occupant ****

647 Clement Ave

**** Occupant ****

677 Clement Ave V1Y7C7

**** Occupant ****

602 Coronation Ave V1Y7A1

**** Occupant ****

620 Coronation Ave

**** Occupant ****

640 Coronation Ave V1Y7A1

**** Occupant ****

650 Coronation Ave V1Y7A1

**** Occupant ****

658 Coronation Ave V1Y7A1

**** Occupant ****

678 Coronation Ave V1Y7A1

**** Occupant ****

1190 Richter St V1Y7C7

**** Occupant ****

1212 Richter St V1Y2K9

**** Occupant ****

1222 Richter St V1Y2K9

**** Occupant ****

1228 Richter St V1Y2K9

**** Occupant ****

101 1229 Richter St

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1234 Richter St V1Y2K9

**** Occupant ****

1236 Richter St V1Y2K9

**** Occupant ****

Mailing Address

10-145 WELHAM RD

BARRIE ON L4N 8Y3

615 CLEMENT AVE

KELOWNA BC V1Y 7C7

5489 PATRICK ST

BURNABY BC V5J 3B2

627 CLEMENT AVE

KELOWNA BC V1Y 7C7

620-10201 SOUTHPORT RD SW

CALGARY AB T2W 4X9

620-10201 SOUTHPORT RD SW

CALGARY AB T2W 4X9

407-1708 DOLPHIN AVE

KELOWNA BC V1Y 9S4

4306 RUSSO ST

KELOWNA BC V1W 0B6

640 CORONATION AVE

KELOWNA BC V1Y 7A1

650 CORONATION AVE

KELOWNA BC V1Y 7A1

658 CORONATION AVE

KELOWNA BC V1Y 7A1

507-1290 ST. PAUL ST

KELOWNA BC V1Y 2C9

1435 WATER ST

KELOWNA BC V1Y 1J4

1212 RICHTER ST

KELOWNA BC V1Y 2K9

1222 RICHTER ST

KELOWNA BC V1Y 2K9

PO BOX 21003 RPO ORCHARD PARK

KELOWNA BC V1Y 9N8

401-11 CHURCH ST

TORONTO ON M5E 1W1

401-11 CHURCH ST

TORONTO ON M5E 1W1

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1234 RICHTER ST

KELOWNA BC V1Y 2K9

3494 PARKLANE RD

WEST KELOWNA BC V4T 1B8