


Content Changes to Zoning Bylaw No. 12375

No.	Section	Current Wording	Proposed Wording	Reason for Change
1.	Section 5.3 – Definitions & Interpretations – General Definitions	See Chart A	See Chart B	Add a visual example of a corner lot setback when the lot line is rounded.
2.	Section 5.3 – Definitions & Interpretations – General Definitions – Automotive and Equipment	AUTOMOTIVE AND EQUIPMENT means the retail sale, rental, servicing, washing, installation, detailing, painting, and repair of new or used automobiles, motorcycles, bicycles, snowmobiles, tent trailers, boats, travel trailers, recreational vehicles, and similar vehicles. This includes any accessory land use related to automotive and equipment vehicles including land uses like insurance services as well as the sale, installation, or servicing of related accessories and parts. This includes but is not limited to automobile dealerships, transmission shops, muffler shops, tire shops, automotive glass shops, autobody repair, paint shops, and upholstery shops. This land use is restricted to: the sale or rental of new or used vehicles with gross vehicle weight less than 4100 kilograms, motorhomes with a length less than 6.7 metres, or motorhomes with a gross vehicle weight less than 5500 kilograms.	AUTOMOTIVE AND EQUIPMENT means the retail sale, rental, servicing, washing, installation, detailing, painting, and repair of new or used automobiles, motorcycles, bicycles, snowmobiles, tent trailers, boats, travel trailers, recreational vehicles, and similar vehicles. This includes any accessory land use related to automotive and equipment vehicles including land uses like insurance services as well as the sale, installation, or servicing of related accessories and parts. This includes but is not limited to automobile dealerships, transmission shops, muffler shops, tire shops, automotive glass shops, autobody repair, paint shops, and upholstery shops. This land use is restricted to: the sale or rental of new or used vehicles with gross vehicle weight less than <u>5,500 kilograms and any motorhome shall be less than 6.7 metres in length.</u>	To coordinate the maximum vehicle weight of storing vehicles on a residential lot with the land use that permit the sale / rental of new / used non-industrial vehicles.
3.	Section 5.3 – Definitions & Interpretations – General Definitions – Automotive and Equipment, Industrial	AUTOMOTIVE AND EQUIPMENT, INDUSTRIAL means the sale, rental, service, or repair of heavy vehicles, machinery or mechanical equipment typically used in building, roadway, pipeline, oil field and mining construction, manufacturing, assembling operations, processing operations and agricultural production. This land use does not include standard truck and mobile sales/rentals. This land use includes: the sale or rental of new or used vehicles with gross vehicle weight more than 4100 kilograms, motorhomes with a length of more than 6.7 metres, or motorhomes with a gross vehicle weight of more than 5500 kilograms.	AUTOMOTIVE AND EQUIPMENT, INDUSTRIAL means the sale, rental, service, or repair of heavy vehicles, machinery or mechanical equipment typically used in building, roadway, pipeline, oil field and mining construction, manufacturing, assembling operations, processing operations and agricultural production. This land use does not include standard truck and mobile sales/rentals. This land use includes: the sale or rental of new or used vehicles with gross vehicle weight more than <u>5,500 kilograms including motorhomes with a length greater than 6.7 metres.</u>	To coordinate the maximum vehicle weight of storing vehicles on a residential lot with the land use that permit the sale / rental of new / used non-industrial vehicles.
4.	Section 6.2.2 – General Development Regulations – Projections Into Yards	Unenclosed or enclosed steps, eaves, awnings, decks, canopies, balconies, and porches shall not project more than 0.6 metres into a required setback area. Except, unenclosed or enclosed steps, eaves, awnings, decks, canopies, balconies, and porches may project up to 2.5 metres into a required rear yard for all Agricultural zones, Rural Residential zones, and Single & Two Dwelling Zones.	Unenclosed or enclosed steps, eaves, awnings, decks, canopies, balconies, and porches shall not project more than 0.6 metres into a required setback area. Except, unenclosed or enclosed steps, eaves, awnings, decks, canopies, balconies, and porches may project up to 2.5 metres into a required rear yard for all Agricultural zones, Rural Residential zones, <u>Suburban Residential zones containing two or less dwelling units, and any residential Core Area lot containing two or less dwelling units.</u>	Ensure all single-family character lots contain similar projection regulations.
5.	Section 7.2.7 – Site Layout – Landscaping Standards	All landscape areas will be graded to meet the following criteria: a) maximum 1:3 slope (33%) for lawn areas; b) maximum 1:2 slope (50%) for shrub or ground cover area; c) minimum 1:50 slope (2%) for cross slope for any landscape area; d) all areas in which the existing slope exceeds 30% are to be identified; e) all areas developed and adjacent lands impacted by development with slopes greater than 30% shall be rehabilitated using indigenous vegetation common to the site.	Unless part of a Natural Hazard or Environmentally Sensitive Area (as defined by the OCP), landscape areas will be graded to maintain safe access according to the Canadian Landscape Standards (CLS), for efficient maintenance, and to collect storm water for plant watering where City stormwater regulations allow.	Modernize regulations and harmonize with national standards.

SCHEDULE A

This forms part of application
TA24-0021

Planner Initials **AC**



City of Kelowna
DEVELOPMENT PLANNING

No.	Section	Current Wording	Proposed Wording	Reason for Change								
6.	Section 7.3.3 – Site Layout – Landscaping Standards – Public Collection	All garbage and recycling containers must be stored within a building, enclosure, or a garage. The space allocated per bin must meet the dimensions shown in Table 7.3.3 Minimum Refuse and Recycling Bin Space.	All garbage, <u>yard waste</u> , and recycling containers must be stored within a building, enclosure, or a garage. The space allocated per bin must meet the dimensions shown in Table 7.3.3 Minimum Refuse and Recycling Bin Space.	Ensure all bin types are accounted for regarding storage locations onsite.								
7.	Section 9.2 Home Based Business Regulations – Commercial Vehicle Restriction	Parking on-site of commercial vehicles larger than 4,100 kilograms gross vehicle weight is not permitted.	Parking on-site of commercial vehicles larger than <u>5,500</u> kilograms gross vehicle weight is not permitted.	To coordinate the maximum vehicle weight of storing vehicles on a residential lot with the commercial home based business restrictions.								
8.	Section 9.11 – Specific Uses – Tall Building Regulations	There shall be a triangular setback 4.5 m long abutting along the lot lines that meet at each corner of an intersection. Within the volumetric 4.5 m triangular setback there shall be no buildings or structural columns are permitted. See visual example figure 9.11.1.	There shall be a triangular setback 4.5 m long abutting along the lot lines that meet at each corner of an intersection. Within the volumetric 4.5 m triangular setback there shall be no buildings or structural columns are permitted. See visual example of <u>Corner Lot Setback (figure 9.11.1)</u> .	Add title of the figure and then link to the definition section for visual example.								
9.	Section 9.11 – Specific Uses – Tall Building Regulations	See Chart C	Delete	Reorganized visual examples into the definition section.								
10.	Section 10.5 – Agriculture & Rural Residential Zones - A1 Agricultural and Development Regulations – Footnote ¹	¹ For any lot 8,000 m ² or greater in lot area, a residential footprint must be registered on title for any residential development triggered by a Farm Protection Development Permit. The maximum residential footprint is 2,000 m ² . A second residential footprint up to 1,000 m ² may be registered for carriage houses. The maximum gross floor area for a carriage house on any lot 40,000m ² or larger is 186 m ² .	¹ For any lot 8,000 m ² or greater in lot area, a residential footprint must be registered on title for any residential development triggered by a Farm Protection Development Permit. The maximum residential footprint is 2,000 m ² . A second residential footprint up to 1,000 m ² may be registered for carriage houses. The maximum gross floor area for a carriage house on any lot <u>400,000</u> m ² or larger is 186 m ² .	Footnote .1 in Section 10.5 incorrectly identifies the lot size for a large secondary residence within the ALR. The bylaw states the maximum gross floor area for a carriage house on any lot 40,000 m ² or larger is 186 m ² , however the ALC allows an increase to the size of a secondary dwelling if the property is 40 ha (400,000 m ²) or greater. This amendment is align with the ALC legislation for residences in the ALR.								
11.	Section 12 – Mobile Home and Camping Zones	Section 12 - Mobile Home and Camping Zones	Section 12 - Mobile Home Zones	Change Section header to reflect eliminating camping as a permitted use from the zone.								
12.	Section 12.1 – Mobile Home and Camping Zones – Zone Purposes	<table border="1"> <thead> <tr> <th>Zones</th> <th>Purpose</th> </tr> </thead> <tbody> <tr> <td>MH1 – Mobile Home and Camping</td> <td>The purpose is to provide a zone for mobile homes on individual mobile homes spaces in a mobile home park setting and for campsites.</td> </tr> </tbody> </table>	Zones	Purpose	MH1 – Mobile Home and Camping	The purpose is to provide a zone for mobile homes on individual mobile homes spaces in a mobile home park setting and for campsites.	<table border="1"> <thead> <tr> <th>Zones</th> <th>Purpose</th> </tr> </thead> <tbody> <tr> <td>MH1 – Mobile Home</td> <td>The purpose is to provide a zone for mobile homes on individual mobile homes spaces in a mobile home park setting.</td> </tr> </tbody> </table>	Zones	Purpose	MH1 – Mobile Home	The purpose is to provide a zone for mobile homes on individual mobile homes spaces in a mobile home park setting.	Change the purpose to reflect eliminating camping as a permitted use from the zone.
Zones	Purpose											
MH1 – Mobile Home and Camping	The purpose is to provide a zone for mobile homes on individual mobile homes spaces in a mobile home park setting and for campsites.											
Zones	Purpose											
MH1 – Mobile Home	The purpose is to provide a zone for mobile homes on individual mobile homes spaces in a mobile home park setting.											

No.	Section	Current Wording	Proposed Wording	Reason for Change																																																	
13.	Section 12.2 – Mobile Home and Camping Zones – Permitted Land Uses	<table border="1"> <thead> <tr> <th rowspan="2">Uses</th> <th colspan="2">Zones (‘P’ Principal Use, ‘S’ Secondary Use, ‘-’ Not Permitted)</th> </tr> <tr> <th colspan="2">MH1</th> </tr> </thead> <tbody> <tr> <td>Accessory Buildings or Structures</td> <td colspan="2">S</td> </tr> <tr> <td>Agriculture, Urban</td> <td colspan="2">S</td> </tr> <tr> <td>Campsites</td> <td colspan="2">P</td> </tr> <tr> <td>Child Care Centre, Minor</td> <td colspan="2">S</td> </tr> <tr> <td>Home-Based Business, Minor</td> <td colspan="2">S</td> </tr> <tr> <td>Mobile Home Park</td> <td colspan="2">P⁻¹</td> </tr> <tr> <td>Offices</td> <td colspan="2">S⁻²</td> </tr> </tbody> </table>	Uses	Zones (‘P’ Principal Use, ‘S’ Secondary Use, ‘-’ Not Permitted)		MH1		Accessory Buildings or Structures	S		Agriculture, Urban	S		Campsites	P		Child Care Centre, Minor	S		Home-Based Business, Minor	S		Mobile Home Park	P ⁻¹		Offices	S ⁻²		<table border="1"> <thead> <tr> <th rowspan="2">Uses</th> <th colspan="2">Zones (‘P’ Principal Use, ‘S’ Secondary Use, ‘-’ Not Permitted)</th> </tr> <tr> <th colspan="2">MH1</th> </tr> </thead> <tbody> <tr> <td>Accessory Buildings or Structures</td> <td colspan="2">S</td> </tr> <tr> <td>Agriculture, Urban</td> <td colspan="2">S</td> </tr> <tr> <td>Child Care Centre, Minor</td> <td colspan="2">S</td> </tr> <tr> <td>Home-Based Business, Minor</td> <td colspan="2">S</td> </tr> <tr> <td>Mobile Home Park</td> <td colspan="2">P^{.1}</td> </tr> <tr> <td>Offices</td> <td colspan="2">S^{.2}</td> </tr> </tbody> </table>	Uses	Zones (‘P’ Principal Use, ‘S’ Secondary Use, ‘-’ Not Permitted)		MH1		Accessory Buildings or Structures	S		Agriculture, Urban	S		Child Care Centre, Minor	S		Home-Based Business, Minor	S		Mobile Home Park	P ^{.1}		Offices	S ^{.2}		Delete Campsites as a permitted use.
Uses	Zones (‘P’ Principal Use, ‘S’ Secondary Use, ‘-’ Not Permitted)																																																				
	MH1																																																				
Accessory Buildings or Structures	S																																																				
Agriculture, Urban	S																																																				
Campsites	P																																																				
Child Care Centre, Minor	S																																																				
Home-Based Business, Minor	S																																																				
Mobile Home Park	P ⁻¹																																																				
Offices	S ⁻²																																																				
Uses	Zones (‘P’ Principal Use, ‘S’ Secondary Use, ‘-’ Not Permitted)																																																				
	MH1																																																				
Accessory Buildings or Structures	S																																																				
Agriculture, Urban	S																																																				
Child Care Centre, Minor	S																																																				
Home-Based Business, Minor	S																																																				
Mobile Home Park	P ^{.1}																																																				
Offices	S ^{.2}																																																				
14.	Section 13.3 – Multi-Dwelling Zones – Permitted Land Uses	<p style="text-align: center;">Section 13.3 – Permitted Land Uses</p> <table border="1"> <thead> <tr> <th rowspan="2">Uses</th> <th colspan="4">Zones (‘P’ Principal Use, ‘S’ Secondary Use, ‘-’ Not Permitted)</th> </tr> <tr> <th>MF1</th> <th>MF2</th> <th>MF3</th> <th>MF4</th> </tr> </thead> <tbody> <tr> <td>Stacked Townhouses</td> <td>P</td> <td>P</td> <td>P⁻⁴</td> <td>P</td> </tr> </tbody> </table>	Uses	Zones (‘P’ Principal Use, ‘S’ Secondary Use, ‘-’ Not Permitted)				MF1	MF2	MF3	MF4	Stacked Townhouses	P	P	P ⁻⁴	P	<p style="text-align: center;">Section 13.3 – Permitted Land Uses</p> <table border="1"> <thead> <tr> <th rowspan="2">Uses</th> <th colspan="4">Zones (‘P’ Principal Use, ‘S’ Secondary Use, ‘-’ Not Permitted)</th> </tr> <tr> <th>MF1</th> <th>MF2</th> <th>MF3</th> <th>MF4</th> </tr> </thead> <tbody> <tr> <td>Stacked Townhouses</td> <td>P</td> <td>P</td> <td>P</td> <td>P</td> </tr> </tbody> </table>	Uses	Zones (‘P’ Principal Use, ‘S’ Secondary Use, ‘-’ Not Permitted)				MF1	MF2	MF3	MF4	Stacked Townhouses	P	P	P	P	Delete the footnote reference for MF3 stacked townhouses. Stacked townhouses are typically four storeys which have similar density, form, and massing to four storey apartment buildings thus it is appropriate to allow this housing form within the MF3 zone.																					
Uses	Zones (‘P’ Principal Use, ‘S’ Secondary Use, ‘-’ Not Permitted)																																																				
	MF1	MF2	MF3	MF4																																																	
Stacked Townhouses	P	P	P ⁻⁴	P																																																	
Uses	Zones (‘P’ Principal Use, ‘S’ Secondary Use, ‘-’ Not Permitted)																																																				
	MF1	MF2	MF3	MF4																																																	
Stacked Townhouses	P	P	P	P																																																	
15.	Section 13.3 – Multi-Dwelling Zones – Permitted Land Uses - Footnote ⁻⁴	⁻⁴ Townhouses and/or stacked townhouses are only permitted if the majority of the residential dwelling units are in the form of apartment housing.	⁻⁴ <u>Townhouses are</u> only permitted if the majority of the residential dwelling units are in the form of apartment housing.	Amend the footnote for MF3 stacked townhouses. Stacked townhouses are typically four storeys which have similar density, form, and massing to four storey apartment buildings thus it is appropriate to allow this housing form within the MF3 zone.																																																	
16.	Section 13.5 – Multi-Dwelling Zones – Development Regulations – Footnote ⁻⁹	A minimum of 4.0 m ² per dwelling unit of the common and private amenity space shall be configured as common area that is accessible to all residents and must not be located within the required setback areas. Common amenity space is not required for fee simple townhouses. For all apartment buildings, at least 75 m ² of the required portion of common area shall be configured indoors.	A minimum of 4.0 m ² per dwelling unit of the common and private amenity space shall be configured as common area that is accessible to all residents and must not be located within the required setback areas. Common amenity space is not required for fee simple townhouses. <u>Any apartment building with 25 or more dwelling units must have</u> at least 75 m ² of the required common area configured indoors.	Amend the indoor amenity space requirement to not apply to small apartment buildings. The maximum number of units a single access staircase apartment building is 24 units, therefore, the threshold was chosen at 25 units.																																																	
17.	Section 13.5 – Multi-Dwelling Zones – Development Regulations – Footnote ⁻¹¹	⁻¹¹ In the MF4 zone, if the development is 3 storeys or less then the MF1 Development Regulations apply and if the development is 4 storeys or greater than the MF3 Development Regulations apply.	⁻¹¹ In the MF4 zone, if the development is 3 storeys or less then the MF1 Development Regulations apply and if the development is 4 storeys or greater than the MF3 Development Regulations apply. <u>However, any lot greater than 2,000 m² that is building an apartment building shall develop using the MF3 Development Regulations.</u>	This change is to ensure any larger lot that could utilize a 2 or 3 storey apartment building uses the MF3 – Apartment Development Regulations to ensure consistent setbacks, site coverage, and similar regulations for all apartment buildings.																																																	
18.	Section 14.11 – Core Area & Other Zones – Commercial and Urban Centre Zone	⁻³ Except it is 3.0 m when abutting a Core Area Neighbourhood (C-NHD), Suburban - Residential (S-RES), Suburban - Multiple Unit (S-MU), or an Education / Institutional (EDINST) future land use designation as outlined in the Official Community Plan.	⁻³ Except it is 3.0 m when <u>the lot is on Conlin Ct, Lowe Ct, or Bouvette St. The side yard setback is 3.0 metres when the lot is abutting a Core Area Neighbourhood (C-NHD), Suburban - Residential (S-RES), Suburban - Multiple Unit (S-MU), or an Education / Institutional (EDINST) future land use designation as outlined in the Official Community Plan.</u>	This is to ensure side yard setbacks are implemented in these urban centre cul-de-sac situations.																																																	

No.	Section	Current Wording	Proposed Wording	Reason for Change																																																
	Development Regulations - Footnote ³																																																			
19.	Section 14.11 – Core Area & Other Zones – Commercial and Urban Centre Zone Development Regulations - Footnote ¹¹	^{.11} A minimum of 4.0 m ² per dwelling unit of the Common and Private Amenity Space shall be configured as common area that is accessible to all residents and must not be located within the required setback areas. Common and Private Amenity Space can be devoted to child care centres as long as the child care spaces have direct access to open space and play areas within the lot. The amount of Common and Private Amenity Space dedicated to child care spaces cannot be more than 50% of the total space required.	^{.11} A minimum of 4.0 m ² per dwelling unit of the Common and Private Amenity Space shall be configured as common area that is accessible to all residents and must not be located within the required setback areas. Common and Private Amenity Space can be devoted to child care centres as long as the child care spaces have direct access to open space and play areas within the lot. The amount of Common and Private Amenity Space dedicated to child care spaces cannot be more than 50% of the total space required. <u>Any apartment building with 25 or more dwelling units must have at least 75 m² of the required common area configured indoors.</u>	Add the same indoor amenity regulation to apartment buildings within urban centres to ensure harmonized regulations for apartment buildings in Kelowna.																																																
20.	Section 14.14 – Core Area & Other Zones – Density and Height	<table border="1"> <thead> <tr> <th colspan="6">Section 14.14 – Density and Height</th> </tr> <tr> <th colspan="6">FAR= floor area ration / GFA = gross floor area / m= metres / m² = square metres</th> </tr> <tr> <th>Zones</th> <th>Min. Density (if applicable) & Max. Base Density FAR ^{.1, .7}</th> <th>Max. Public Amenity & Streetscape Bonus FAR</th> <th>Max. Rental or Affordable Housing Bonus FAR</th> <th>Max. Base Height ^{.1, .7, .14}</th> <th>Max. Height with Bonus FAR</th> </tr> </thead> <tbody> <tr> <td>P2</td> <td>1.0 FAR</td> <td>n/a</td> <td>n/a</td> <td>3 storeys & 13.5 m</td> <td>No additional height</td> </tr> </tbody> </table>	Section 14.14 – Density and Height						FAR= floor area ration / GFA = gross floor area / m= metres / m ² = square metres						Zones	Min. Density (if applicable) & Max. Base Density FAR ^{.1, .7}	Max. Public Amenity & Streetscape Bonus FAR	Max. Rental or Affordable Housing Bonus FAR	Max. Base Height ^{.1, .7, .14}	Max. Height with Bonus FAR	P2	1.0 FAR	n/a	n/a	3 storeys & 13.5 m	No additional height	<table border="1"> <thead> <tr> <th colspan="6">Section 14.14 – Density and Height</th> </tr> <tr> <th colspan="6">FAR= floor area ration / GFA = gross floor area / m= metres / m² = square metres</th> </tr> <tr> <th>Zones</th> <th>Min. Density (if applicable) & Max. Base Density FAR ^{.1, .7}</th> <th>Max. Public Amenity & Streetscape Bonus FAR</th> <th>Max. Rental or Affordable Housing Bonus FAR</th> <th>Max. Base Height ^{.1, .7, .14}</th> <th>Max. Height with Bonus FAR</th> </tr> </thead> <tbody> <tr> <td>P2</td> <td><u>1.0 FAR</u> ^{.16}</td> <td>n/a</td> <td>n/a</td> <td><u>3 storeys & 13.5 m</u> ^{.16}</td> <td>No additional height</td> </tr> </tbody> </table>	Section 14.14 – Density and Height						FAR= floor area ration / GFA = gross floor area / m= metres / m ² = square metres						Zones	Min. Density (if applicable) & Max. Base Density FAR ^{.1, .7}	Max. Public Amenity & Streetscape Bonus FAR	Max. Rental or Affordable Housing Bonus FAR	Max. Base Height ^{.1, .7, .14}	Max. Height with Bonus FAR	P2	<u>1.0 FAR</u> ^{.16}	n/a	n/a	<u>3 storeys & 13.5 m</u> ^{.16}	No additional height	Add footnote .16 to p2 zoned lot in order to comply with the provincial transit oriented areas legislation and to align with the Official Community Plan’s building height maps for each urban centre.
Section 14.14 – Density and Height																																																				
FAR= floor area ration / GFA = gross floor area / m= metres / m ² = square metres																																																				
Zones	Min. Density (if applicable) & Max. Base Density FAR ^{.1, .7}	Max. Public Amenity & Streetscape Bonus FAR	Max. Rental or Affordable Housing Bonus FAR	Max. Base Height ^{.1, .7, .14}	Max. Height with Bonus FAR																																															
P2	1.0 FAR	n/a	n/a	3 storeys & 13.5 m	No additional height																																															
Section 14.14 – Density and Height																																																				
FAR= floor area ration / GFA = gross floor area / m= metres / m ² = square metres																																																				
Zones	Min. Density (if applicable) & Max. Base Density FAR ^{.1, .7}	Max. Public Amenity & Streetscape Bonus FAR	Max. Rental or Affordable Housing Bonus FAR	Max. Base Height ^{.1, .7, .14}	Max. Height with Bonus FAR																																															
P2	<u>1.0 FAR</u> ^{.16}	n/a	n/a	<u>3 storeys & 13.5 m</u> ^{.16}	No additional height																																															
21.	Section 14.14 – Core Area & Other Zones – Density and Height - Footnote ^{.16}	n/a	^{.16} Any P2 zoned lot within an Urban Centre shall use that Urban Centre zone’s maximum base density and maximum base height.	See rational above.																																																
22.	Section 14.15 – Core Area & Other Zones - Site Specific Regulations	n/a	Add Row 15: <table border="1"> <thead> <tr> <th colspan="4">Section 14.15 - Site Specific Regulations</th> </tr> <tr> <th colspan="4">Uses and regulations apply on a site-specific basis as follows:</th> </tr> <tr> <th></th> <th>Legal Description</th> <th>Civic Address</th> <th>Regulation</th> </tr> </thead> <tbody> <tr> <td>15.</td> <td>Plan KAP5452 Section 3024- Township 26 PT Of Blk 8 As Shown On CNR Lease RP 1684</td> <td>735 Weddell PI</td> <td>To permit campsites as a permitted use in addition to those land uses permitted in Section 14.9</td> </tr> </tbody> </table>	Section 14.15 - Site Specific Regulations				Uses and regulations apply on a site-specific basis as follows:					Legal Description	Civic Address	Regulation	15.	Plan KAP5452 Section 3024- Township 26 PT Of Blk 8 As Shown On CNR Lease RP 1684	735 Weddell PI	To permit campsites as a permitted use in addition to those land uses permitted in Section 14.9	To reflect the current land use of the property which effectively prevents camping throughout the rest of the City.																																
Section 14.15 - Site Specific Regulations																																																				
Uses and regulations apply on a site-specific basis as follows:																																																				
	Legal Description	Civic Address	Regulation																																																	
15.	Plan KAP5452 Section 3024- Township 26 PT Of Blk 8 As Shown On CNR Lease RP 1684	735 Weddell PI	To permit campsites as a permitted use in addition to those land uses permitted in Section 14.9																																																	

Chart A

Original – Section 5.3 – Definitions & Interpretations – General Definitions

VISUAL EXAMPLE OF MAX FLOOR HEIGHT FOR REDUCED GROUND ORIENTED HOUSING SETBACK (Figure 5.12) means the following figure:



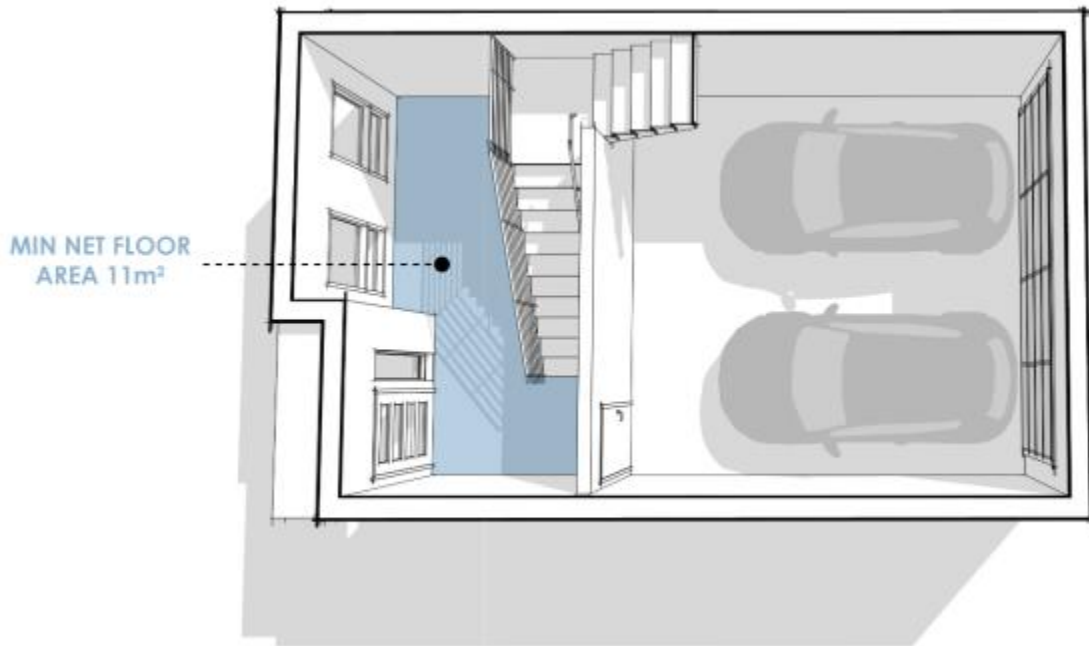
SCHEDULE A

This forms part of application
TA24-0021

Planner Initials AC

City of Kelowna
DEVELOPMENT PLANNING

VISUAL EXAMPLE OF MIN NET FLOOR AREA ON FIRST FLOOR FOR REDUCED GROUNDORIENTED HOUSING SETBACK (Figure 5.13) means the following figure:




SCHEDULE	A
This forms part of application # TA24-0021	
Planner Initials	AC
 City of Kelowna DEVELOPMENT PLANNING	

Chart B

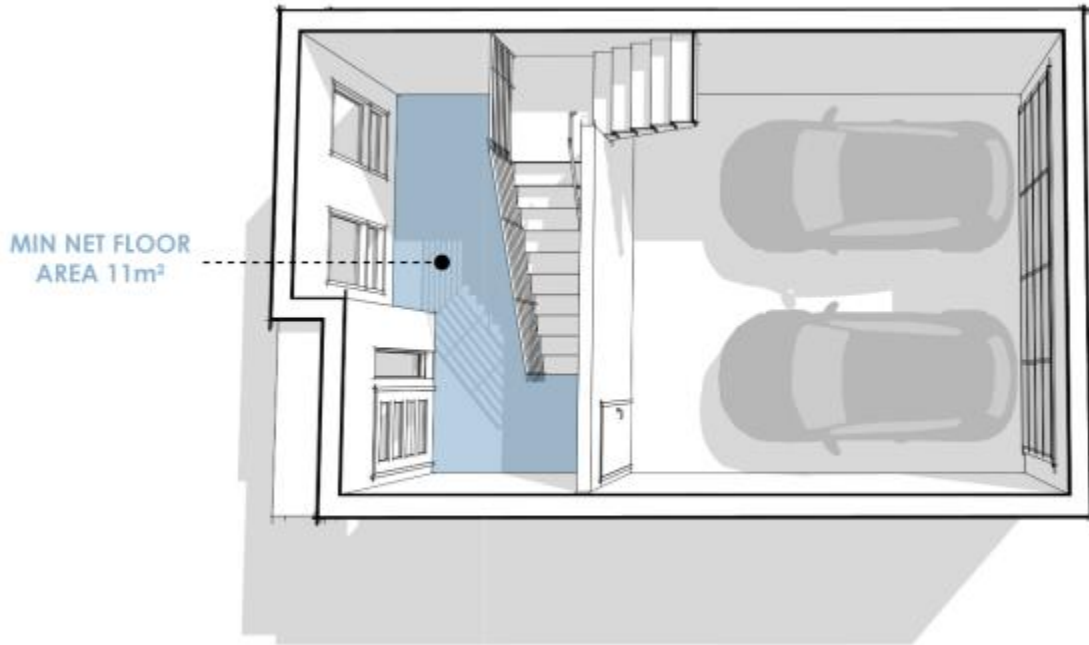
Proposed – Section 5.3 – Definitions & Interpretations – General Definitions

VISUAL EXAMPLE OF MAX FLOOR HEIGHT FOR REDUCED GROUND ORIENTED HOUSING SETBACK (Figure 5.12) means the following figure:



SCHEDULE		A
This forms part of application		
# TA24-0021		
Planner Initials	AC	 City of Kelowna DEVELOPMENT PLANNING

VISUAL EXAMPLE OF MIN NET FLOOR AREA ON FIRST FLOOR FOR REDUCED GROUND ORIENTED HOUSING SETBACK (Figure 5.13) means the following figure:



VISUAL EXAMPLES OF CORNER LOT SETBACK (Figure 9.11.1) means the following figures:

Figure 9.11.1 - Visual Examples of Corner Lot Setback

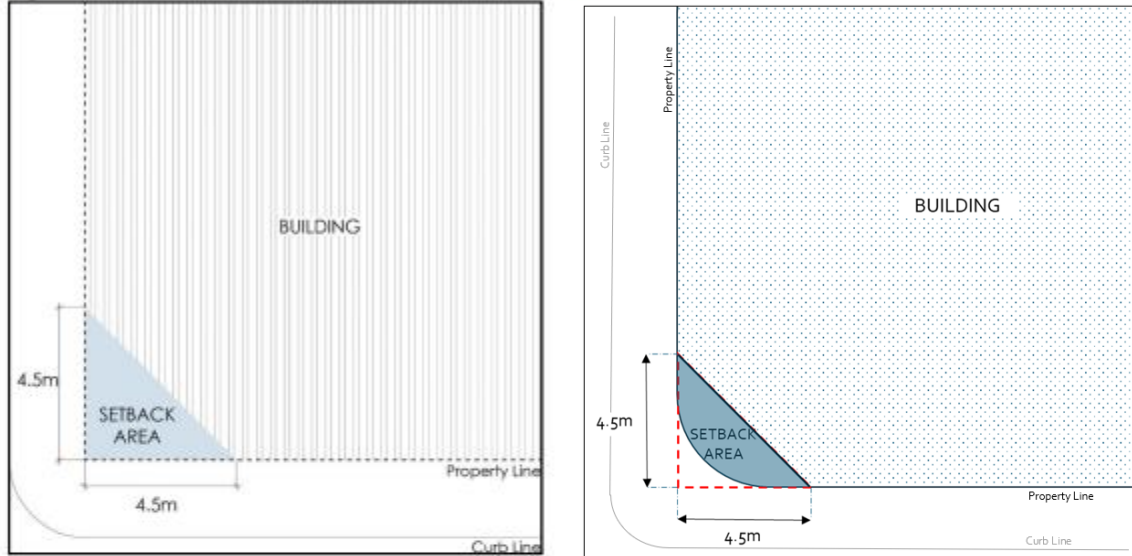
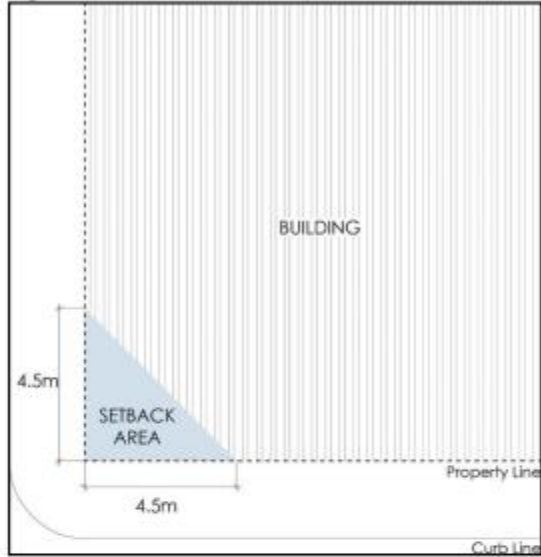


Chart C

Original – Section 9.11 – Specific Uses – Tall buildings Regulations

Figure 9.11.1 - Visual Examples of Corner Lot Setback



SCHEDULE		A
This forms part of application # TA24-0021		
Planner Initials	AC	 City of Kelowna DEVELOPMENT PLANNING