

Development Permit

DP24-0110



This permit relates to land in the City of Kelowna municipally known as

305 Drysdale Blvd

and legally known as

Parcel A (Being a Consolidation of Lots 4 and 5, See CA9869654) Section 33 Township 26 ODYD Plan EPP48909

and permits the land to be used for the following development:

Apartment Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

Date of Council Approval: January 20, 2025

Development Permit Area: Form and Character

Existing Zone: VC1r – Village Centre Rental Only

Future Land Use Designation: Village Centre

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Will Mckay and Co. Ltd., Inc. No. BC0306923

Applicant: Jeff Nishimura

Nola Kilmartin
Development Planning Department Manager
Planning & Development Services

Date of Issuance

ATTACHMENT A

This forms part of application
DP24-0110

Planner Initials JI

City of Kelowna
DEVELOPMENT PLANNING



1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP24-0110 for Parcel A (Being a Consolidation of Lots 4 and 5, See CA9869654) Section 33 Township 26 ODYD Plan EPP48909 located at 305 Drysdale Blvd, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect.

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$292,420.13**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.


4. INDEMNIFICATION

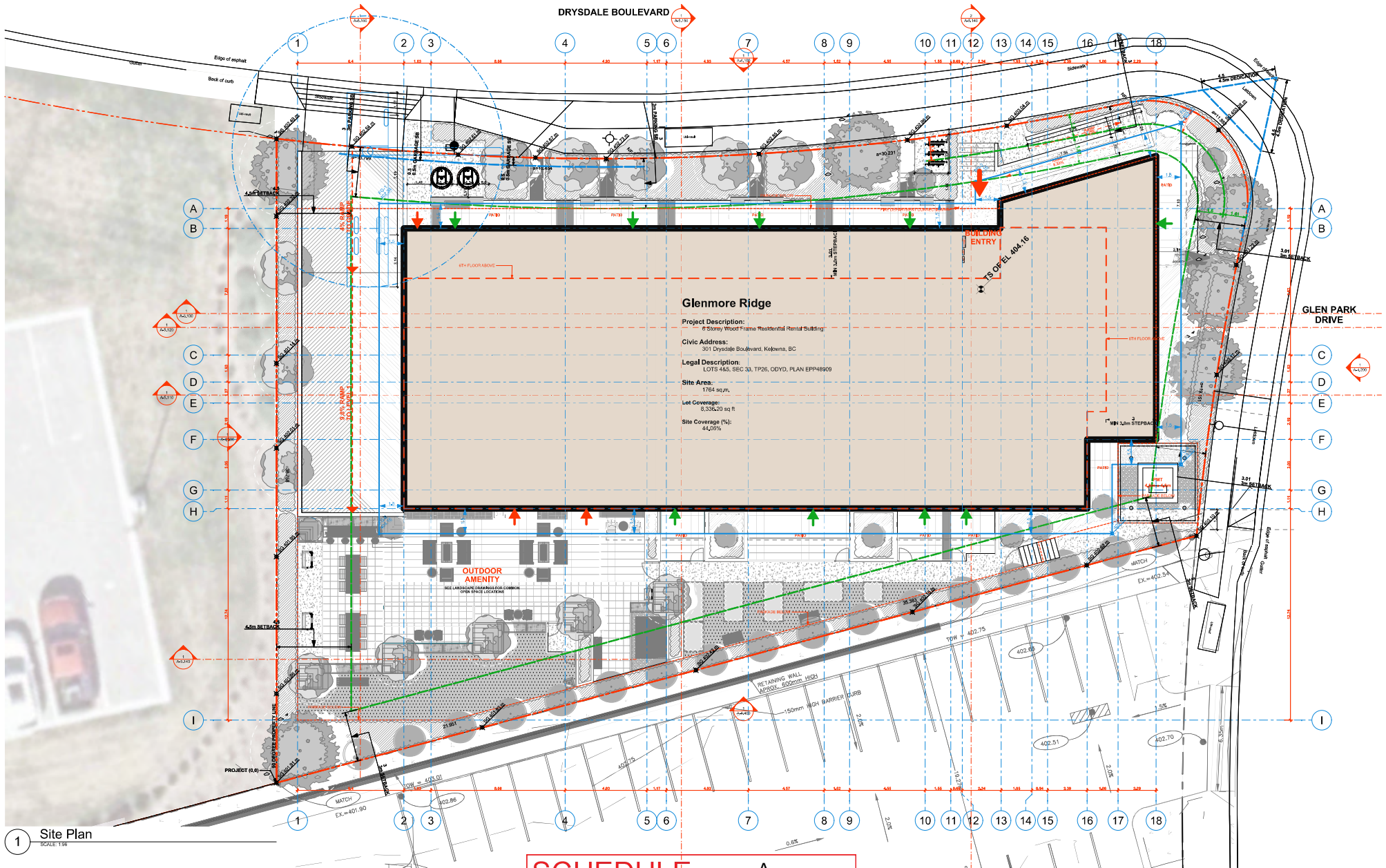
Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

The **PERMIT HOLDER** is the **CURRENT LAND OWNER**.
Security shall **ONLY** be returned to the signatory of the
Landscape Agreement or their designates.

ATTACHMENT	A
This forms part of application	
# DP24-0110	
Planner Initials	JL
	



1 Site Plan
SCALE: 1/8"

SIEGRIST

SCHEDULE A

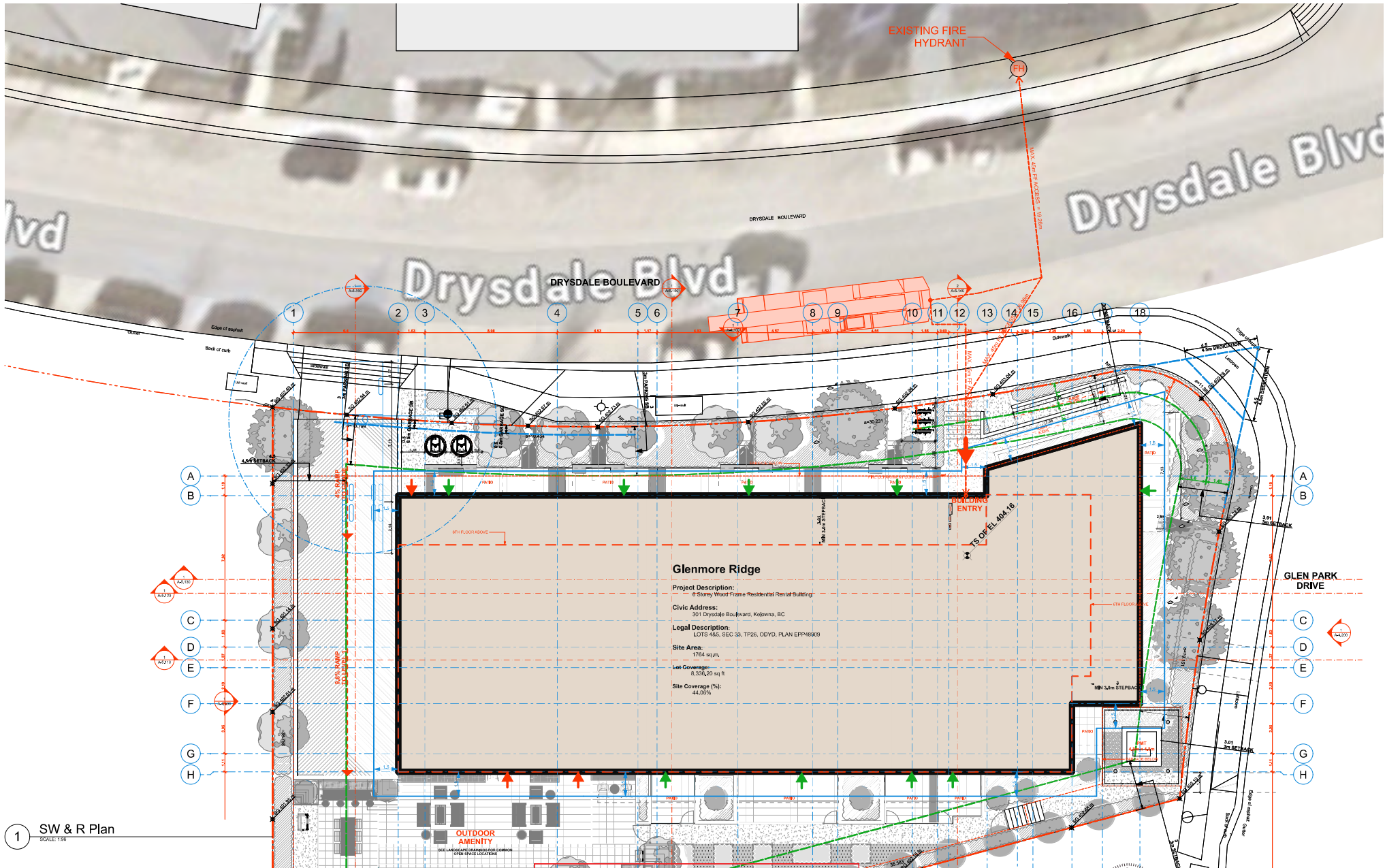
This forms part of application
DP24-0110

Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING

Site Plan
011
December 23, 2024
Issue 05 - DP Resubmission

A-1.200



Glenmore Ridge

Project Description:
6 Storey Wood Frame Residential Rental Building

Civic Address:
301 Drysdale Boulevard, Kelowna, BC

Legal Description:
LOTS 456, SEC 33, TP26, ODVD, PLAN EPP46909

Site Area:
1764 sq. ft.

Lot Coverage:
6,336,20 sq. ft.

Site Coverage (%):
44.20%

1 SW & R Plan
SCALE: 1/8"

SIEGRIST

SCHEDULE A

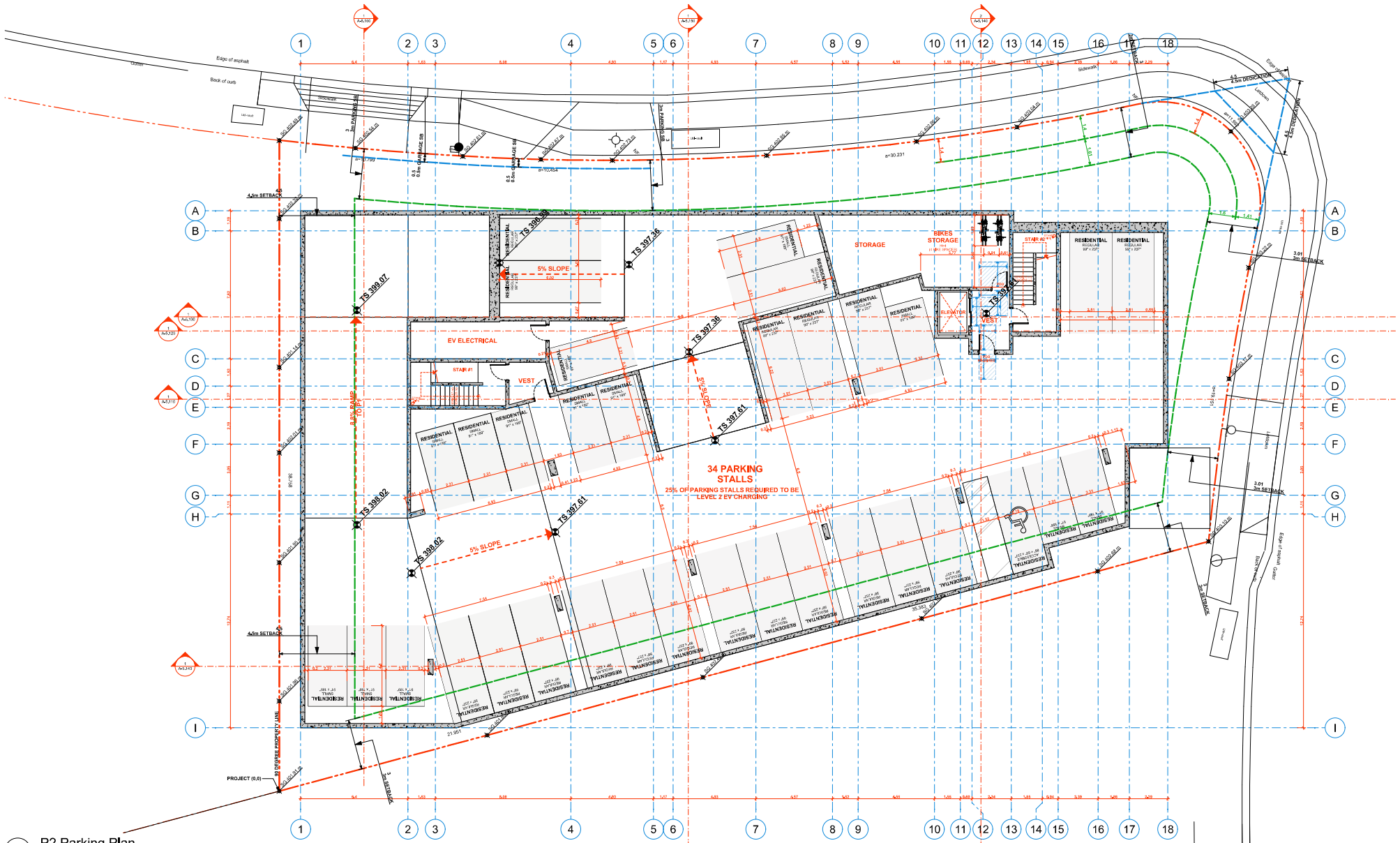
This forms part of application
DP24-0110

Planner Initials **JL**



FA & R Plan
011
December 23, 2024
Issue 05 - DP Resubmission

A-1.300



1 P2 Parking Plan
SCALE: 1/8"

SIEGRIST

SCHEDULE A

This forms part of application
DP24-0110

Planner Initials **JJ**

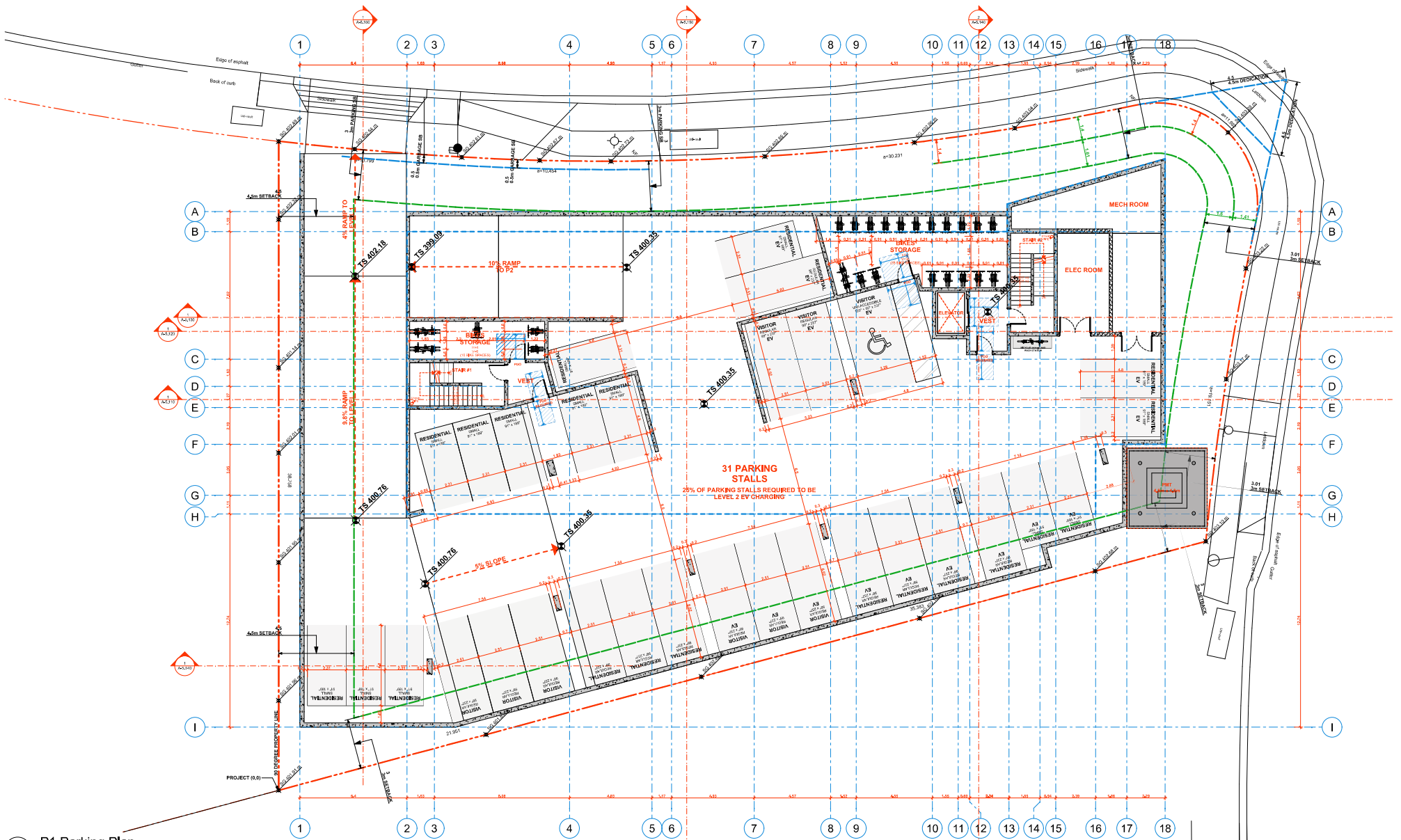


City of
Kelowna
DEVELOPMENT PLANNING



P2 Parking Plan
011
December 23, 2024
Issue 05 - DP Resubmission

A-2.010



1 P1 Parking Plan
SCALE: 1/8" = 1'-0"

SIEGRIST

SCHEDULE A

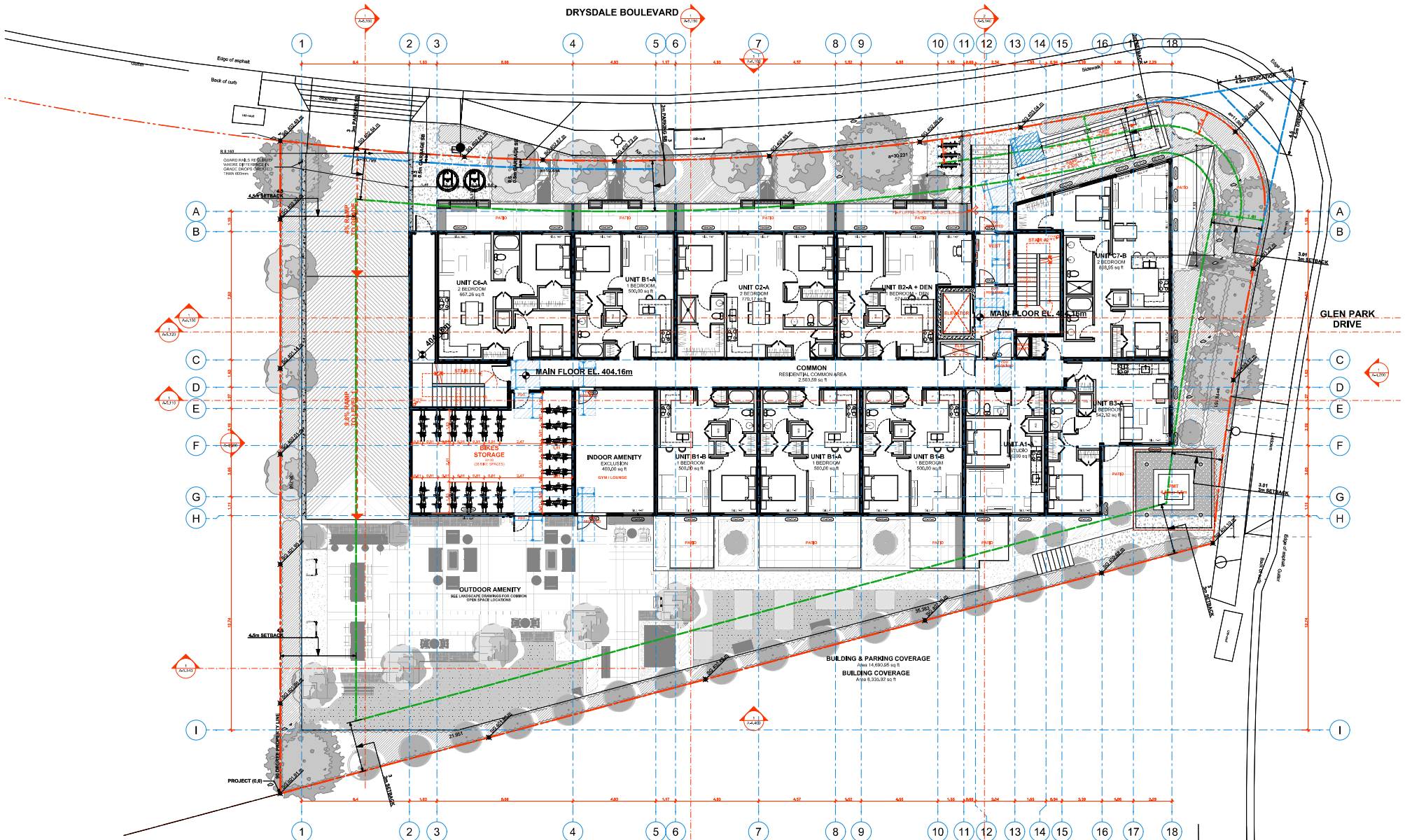
This forms part of application
DP24-0110

Planner Initials **JJ**

City of **Kelowna**
DEVELOPMENT PLANNING

P1 Level Floor Plan
011
December 23, 2024
Issue 05 - DP Resubmission

A-2.020



1 Level 1 Floor Plan
SCALE: 1/8"

SIEGRIST

SCHEDULE A

This forms part of application
DP24-0110

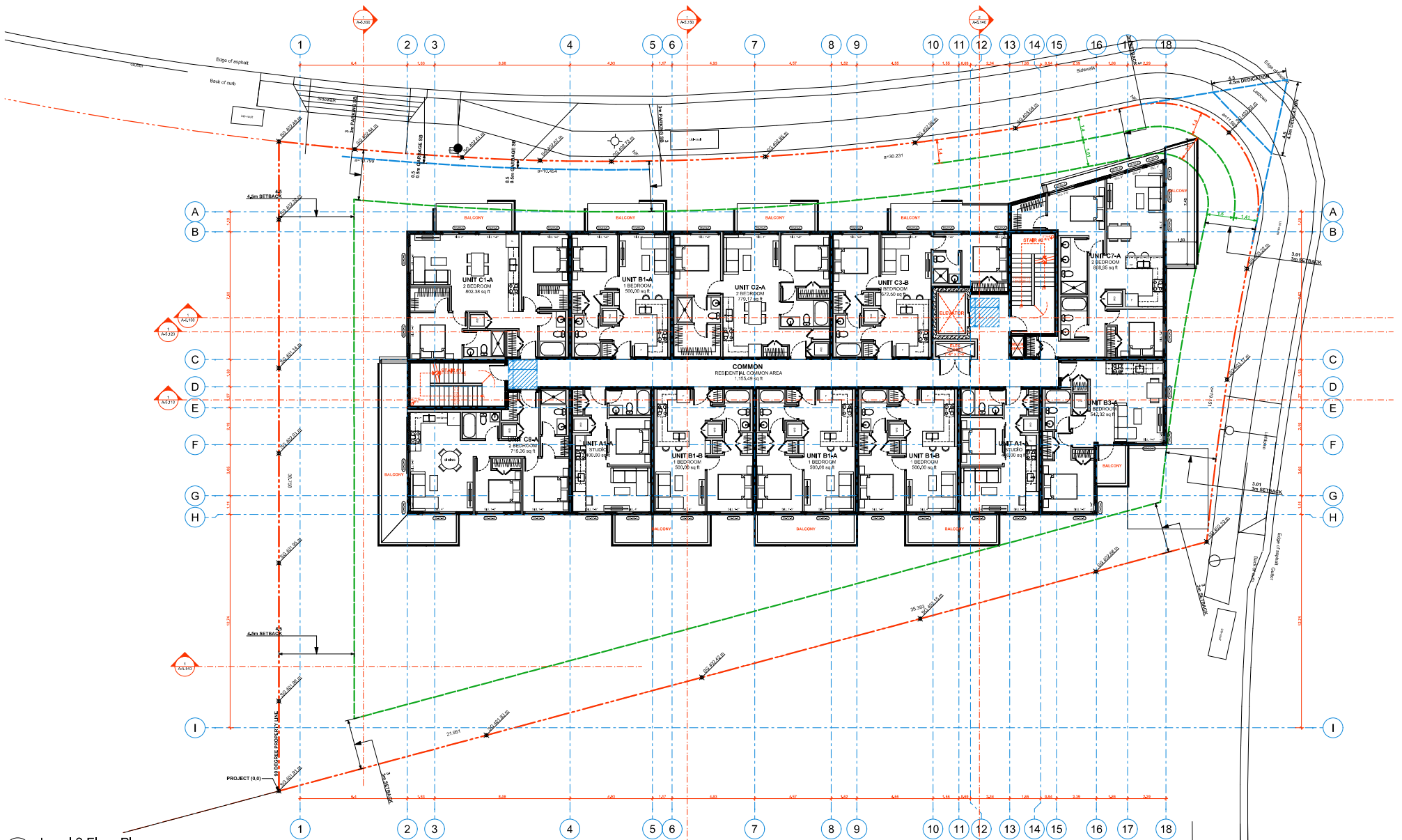
Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING



Level 1 Floor Plan
011
December 23, 2024
Issue 05 - DP Resubmission

A-2.110



1 Level 2 Floor Plan
SCALE: 1/8"

SIEGRIST

SCHEDULE A

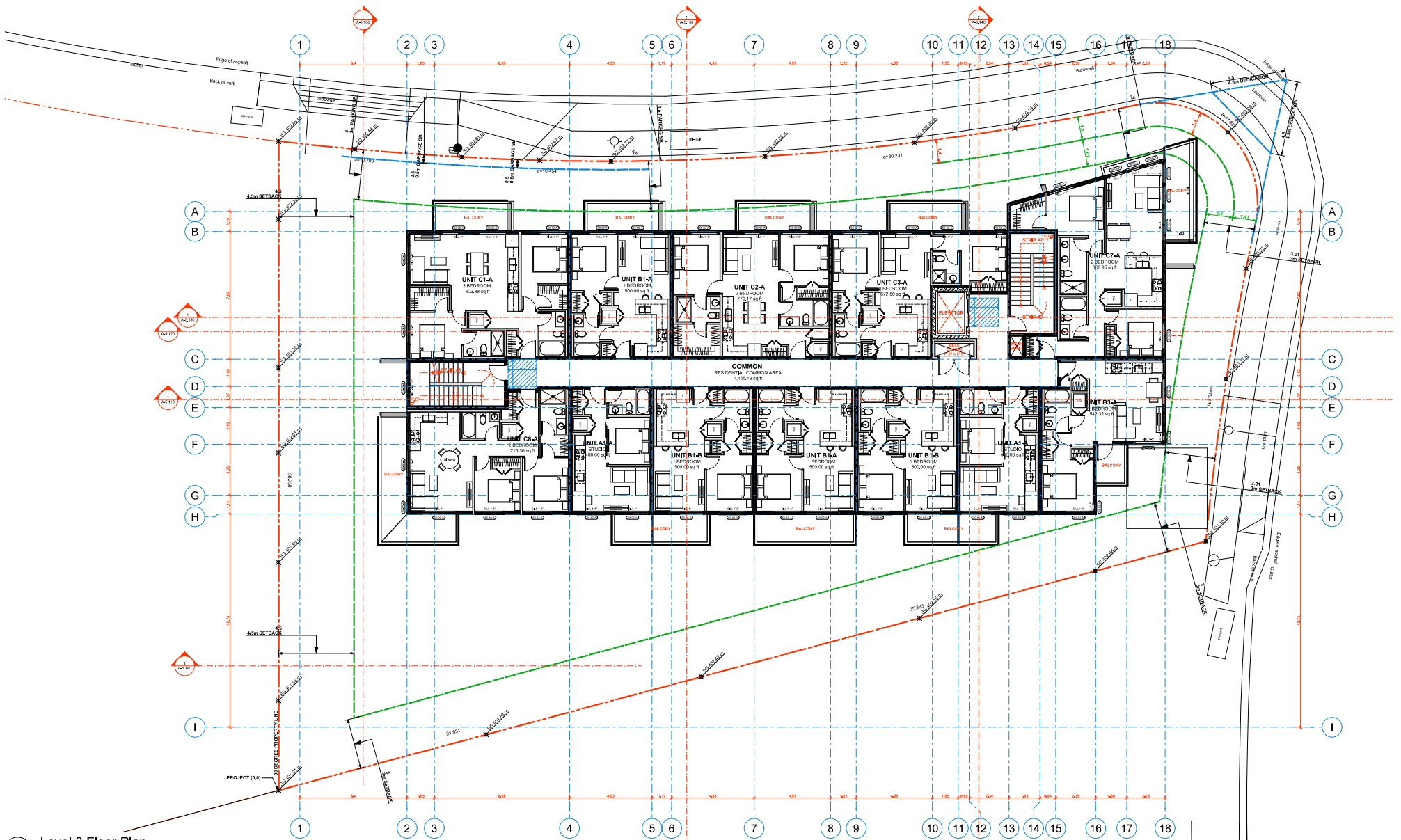
This forms part of application
DP24-0110

Planner
Initials **JJ**



Level 2 Floor Plan
011
December 23, 2024
Issue 05 - DP Resubmission

A-2.210



1 Level 3 Floor Plan
SCALE: 1/8"

SIEGRIST

SCHEDULE A

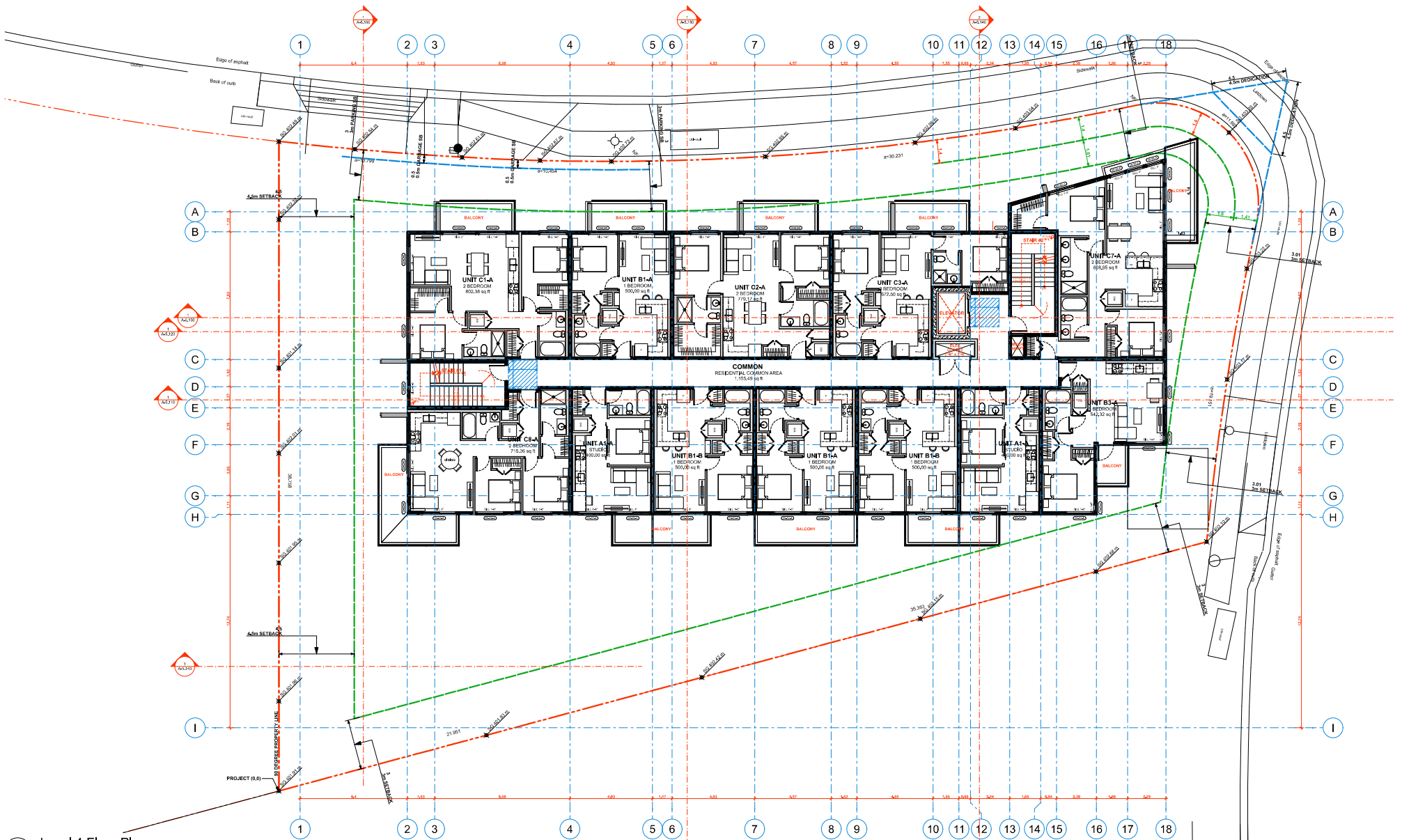
This forms part of application
DP24-0110

Planner
Initials **JL**



Level 3 Floor Plan
011
December 23, 2024
Issue 05 - DP Resubmission

A-2.310



1 Level 4 Floor Plan
SCALE: 1/8"

SIEGRIST

SCHEDULE A

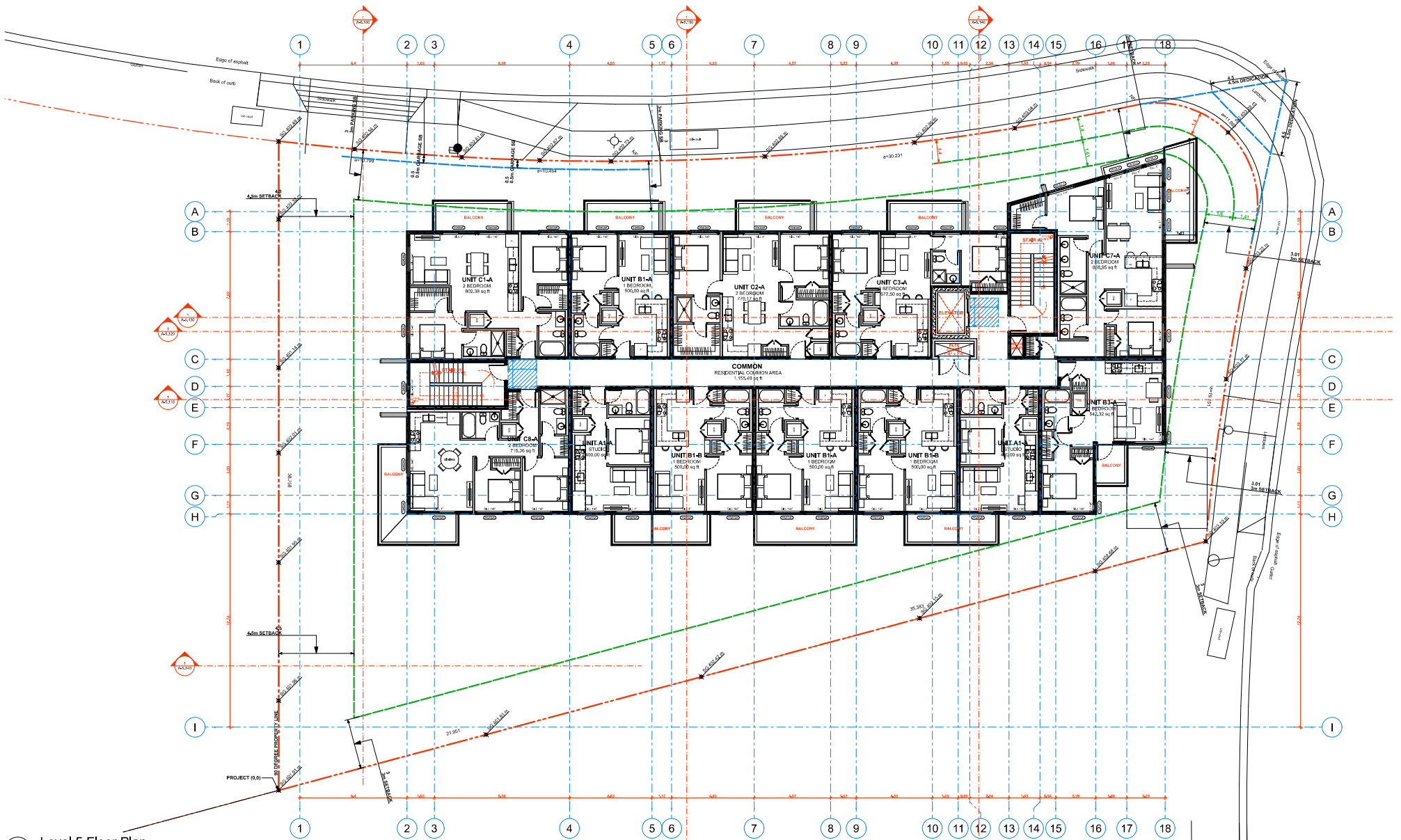
This forms part of application
DP24-0110

Planner
Initials JI



Level 4 Floor Plan
011
December 23, 2024
Issue 05 - DP Resubmission

A-2.410



1 Level 5 Floor Plan
SCALE: 1/8"


SIEGRIST

SCHEDULE A

This forms part of application
DP24-0110

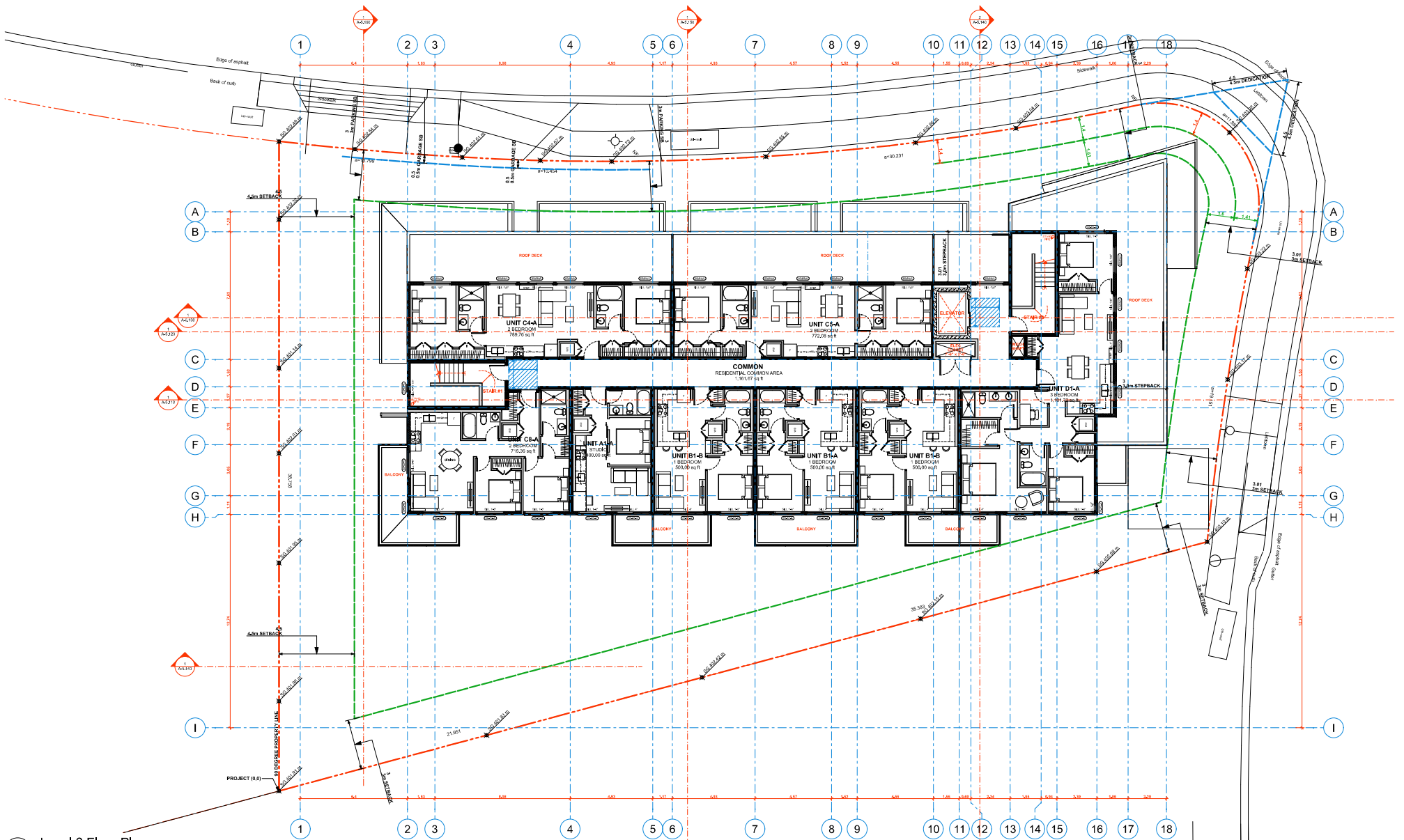
Planner Initials **Jl**

City of Kelowna
DEVELOPMENT PLANNING




Level 5 Floor Plan
011
December 23, 2024
Issue 05 - DP Resubmission

A-2.510



1 Level 6 Floor Plan
SCALE: 1/8"

SIEGRIST

SCHEDULE A

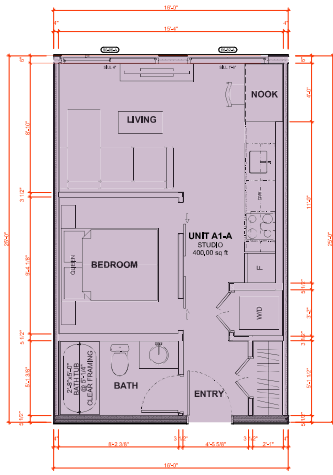
This forms part of application
DP24-0110

Planner
Initials JI

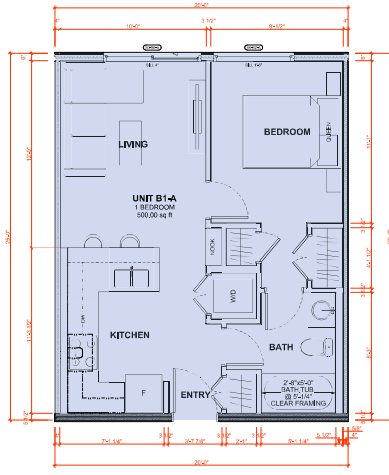


Level 6 Floor Plan
011
December 23, 2024
Issue 05 - DP Resubmission

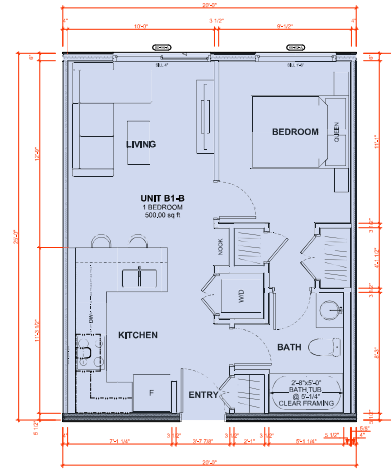
A-2.610



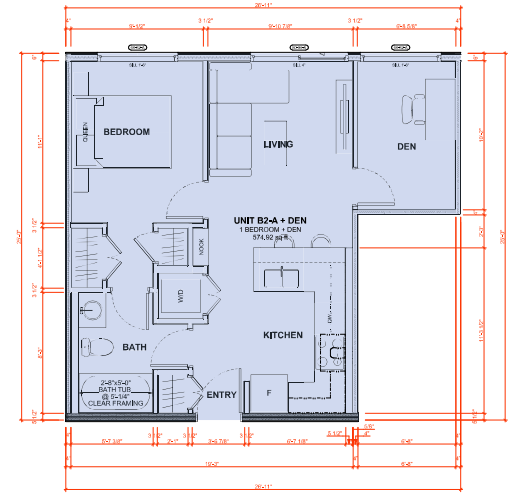
1 Unit A1-A
SCALE 1/4" = 1'-0"



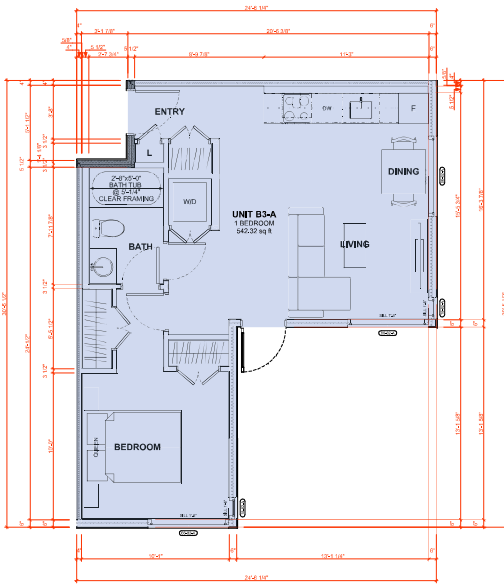
2 Unit B1-A
SCALE 1/4" = 1'-0"



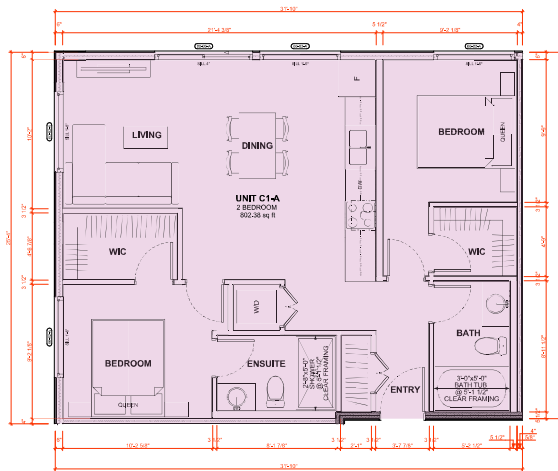
3 Unit B1-B
SCALE 1/4" = 1'-0"



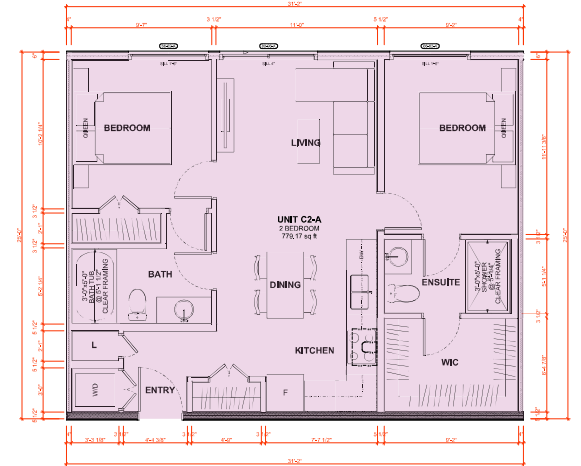
4 Unit B2-A
SCALE 1/4" = 1'-0"



5 Unit B3-A
SCALE 1/4" = 1'-0"



6 Unit C1-A
SCALE 1/4" = 1'-0"



7 Unit C2-A
SCALE 1/4" = 1'-0"

SIEGRIST

SCHEDULE A

This forms part of application
DP24-0110

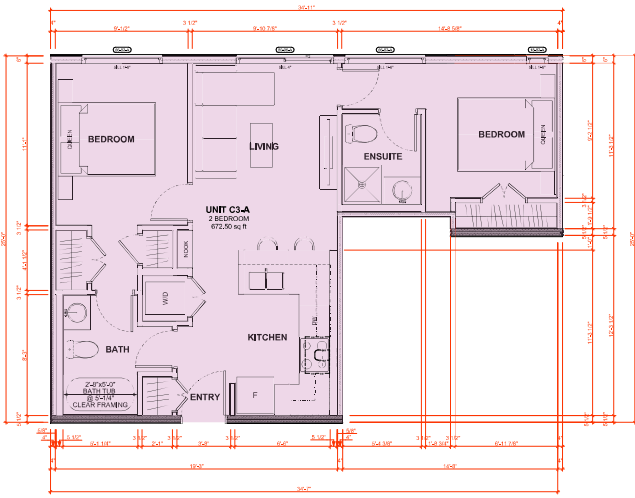
Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING

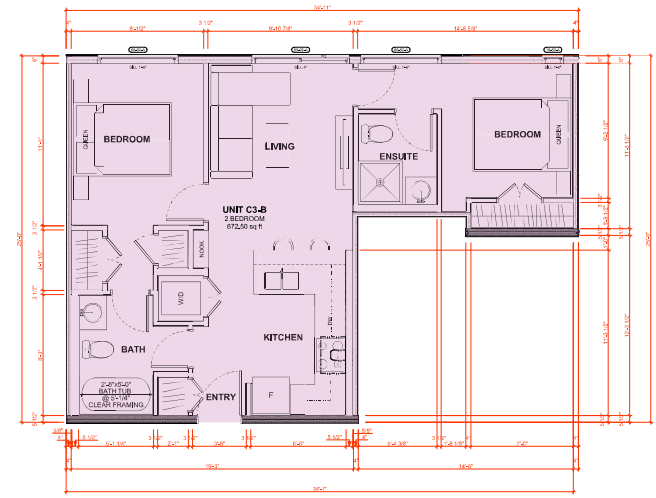


Unit Plans
011
December 23, 2024
Issue 05 - DP Resubmission

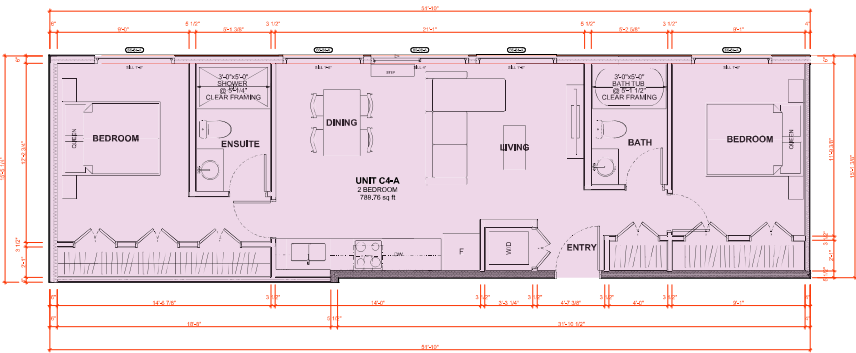
A-3.101



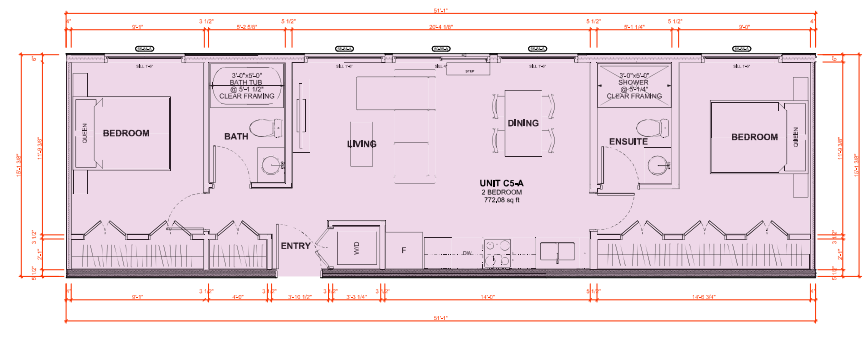
8 Unit C3-A
SCALE 1/4" = 1'-0"



9 Unit C3-B
SCALE 1/4" = 1'-0"



10 Unit C4-A
SCALE 1/4" = 1'-0"



11 Unit C5-A
SCALE 1/4" = 1'-0"

SIEGRIST

SCHEDULE A

This forms part of application
DP24-0110

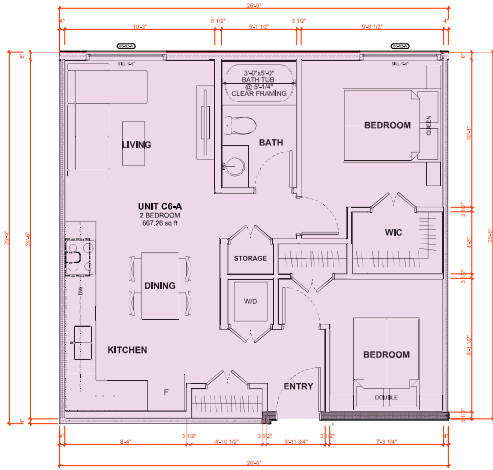
City of Kelowna
DEVELOPMENT PLANNING

Planner Initials **JJ**

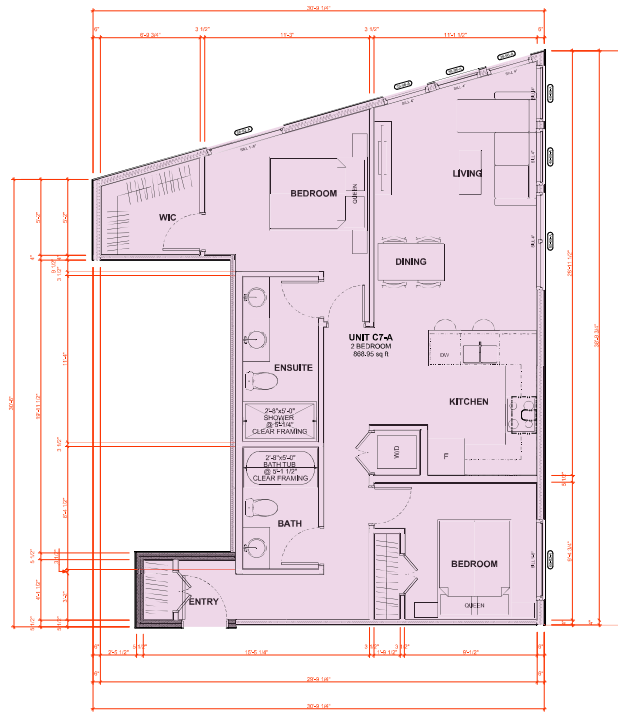


Unit Plans
011
December 23, 2024
Issue 05 - DP Resubmission

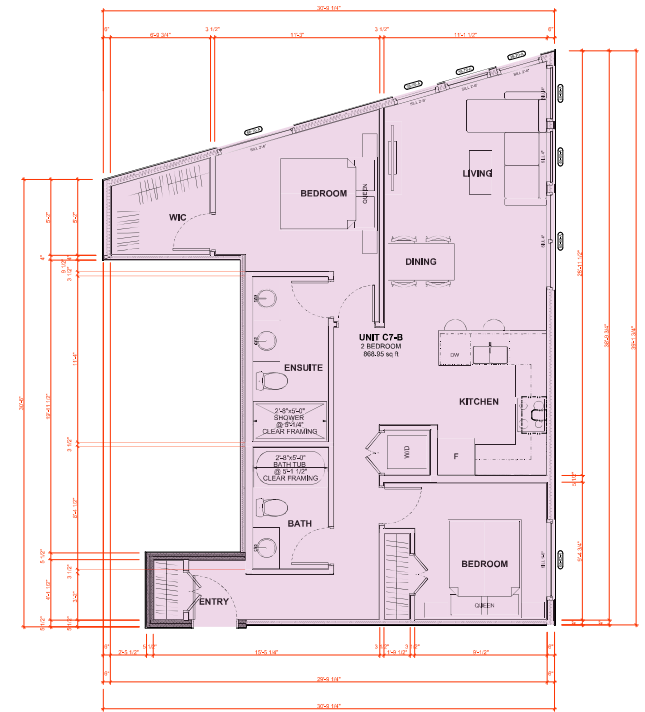
A-3.102



12 Unit C6-A
SCALE: 1/4" = 1'-0"



13 Unit C7-A
SCALE: 1/4" = 1'-0"



14 Unit C7-B
SCALE: 1/4" = 1'-0"

SIEGRIST

SCHEDULE A

This forms part of application
DP24-0110



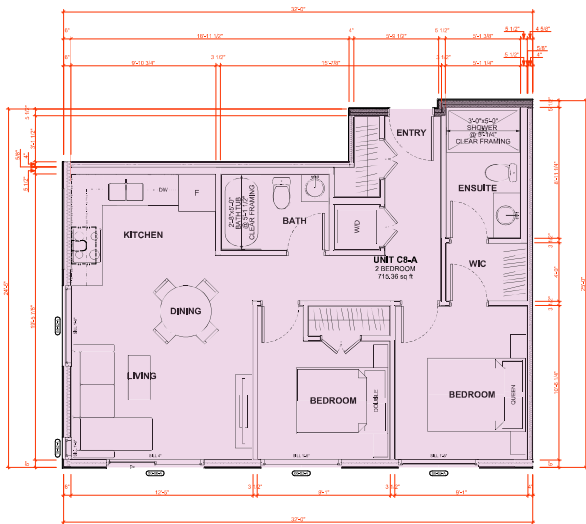
City of
Kelowna
DEVELOPMENT PLANNING

Planner
Initials **JJ**

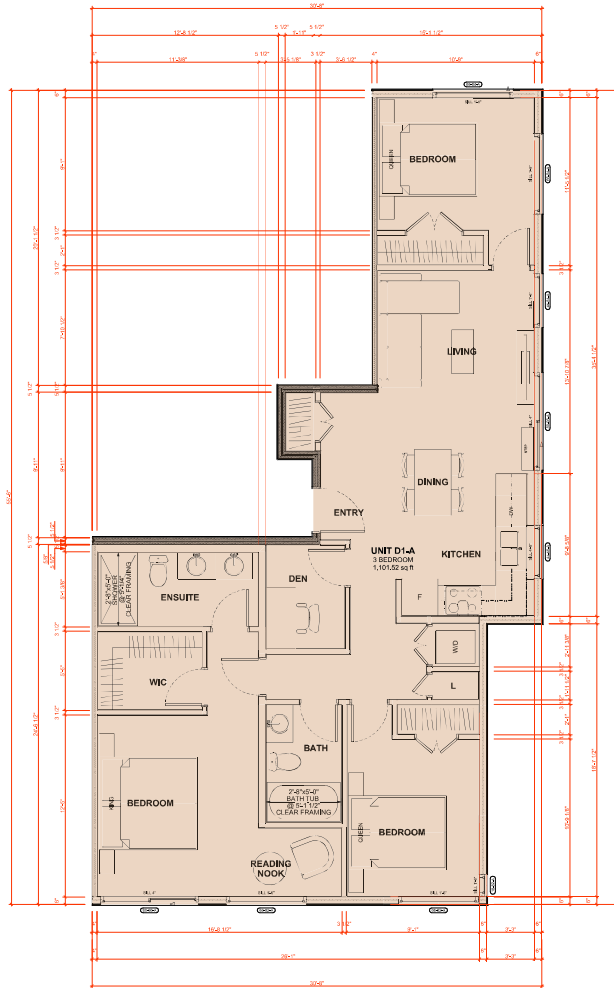


Unit Plans
011
December 23, 2024
Issue 05 - DP Resubmission

A-3.103



15 Unit C8-A
SCALE 1/4" = 1'-0"



16 Unit D1-A
SCALE 1/4" = 1'-0"

SIEGRIST

SCHEDULE A

This forms part of application
DP24-0110



City of
Kelowna
DEVELOPMENT PLANNING

Planner Initials **JJ**



Unit Plans
011
December 23, 2024
Issue 05 - DP Resubmission

A-3.104

NOTE: BUILDING HEIGHT IS MEASURED FROM FINISHED GRADE TO TOP OF ROOF EXCLUDING ELEVATOR HOUSING, MECHANICAL EQUIPMENT, CHIMNEY STACKS ETC. AS MENTIONED IN ZONING BYLAW 12375.

MATERIAL AND COLOUR LEGEND

Note: All Materials and Colours are subject to change during Tender and Pre-qualification of the project. Some limitations and substitutions are subject to contractor change approval.

Code	Material / Product	Manufacturer
1.1 CLADDING		
1.1A	Wood siding	Mountain Cedar
1.1B	Dark Gray	Mountain Cedar
1.2 LABEL SIDING		
1.2A	Light Gray	Painted
1.2B	Black	Painted
1.3 TONE OR BRICK SIDING		
1.3A	Light Gray	Painted
2.0 SOFFIT		
2.1	Wood siding	Mountain Cedar
3.0 ROOFS		
3.1	Black	Standard Colour - Black
4.0 DOORS		
4.1	Wood Entry Doors	Wood Grain Look
4.2	Dark Gray	Standard Colour - Black
5.0 WINDOWS		
5.1	Black	Vinyl/Window
6.0 FRIMS FASCIAS		
6.1	Dark Gray	Painted - To Match 1.1B
7.0 RAILINGS		
7.1	Black	Aluminum Guard Railing
7.2	Black	Aluminum Floor Guard Rail
8.0 ACCESSORIES		
8.1	Black / Light Gray	Black / Charcoal or For all Finishes above with Cladding 1.4 Region Gray Windows



1 Building Elevation - West
SCALE 1:50



SIEGRIST

SCHEDULE B

This forms part of application
DP24-0110

Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING

West Elevations
011
December 23, 2024
Issue 05 - DP Resubmission

A-4.100

NOTE: BUILDING HEIGHT IS MEASURED FROM FINISHED GRADE TO TOP OF ROOF EXCLUDING ELEVATOR HOUSING, MECHANICAL EQUIPMENT, CHIMNEY STACKS ETC. AS MENTIONED IN ZONING BYLAW 12375.



1 Building Elevation - North
SCALE: 1/36



MATERIAL AND COLOUR LEGEND

Refer to Material Schedule for Material Schedule and Colour Schedule. Refer to Material Schedule for Material Schedule and Colour Schedule.

Code	Material	Finish/Colour	Manufacturer
1.1	CONCRETE	Formwork	Formwork
1.2	WOODWORKING	White Oak	White Oak
1.3	STONE	Light Grey	Light Grey
1.4	GLASS	Clear	Clear
1.5	ROOFING	Asphalt Shingles	Asphalt Shingles
1.6	PAINT	White	White
1.7	ROOFING	Asphalt Shingles	Asphalt Shingles
1.8	ROOFING	Asphalt Shingles	Asphalt Shingles
1.9	ROOFING	Asphalt Shingles	Asphalt Shingles
1.10	ROOFING	Asphalt Shingles	Asphalt Shingles
1.11	ROOFING	Asphalt Shingles	Asphalt Shingles
1.12	ROOFING	Asphalt Shingles	Asphalt Shingles
1.13	ROOFING	Asphalt Shingles	Asphalt Shingles
1.14	ROOFING	Asphalt Shingles	Asphalt Shingles
1.15	ROOFING	Asphalt Shingles	Asphalt Shingles
1.16	ROOFING	Asphalt Shingles	Asphalt Shingles
1.17	ROOFING	Asphalt Shingles	Asphalt Shingles
1.18	ROOFING	Asphalt Shingles	Asphalt Shingles
1.19	ROOFING	Asphalt Shingles	Asphalt Shingles
1.20	ROOFING	Asphalt Shingles	Asphalt Shingles
1.21	ROOFING	Asphalt Shingles	Asphalt Shingles
1.22	ROOFING	Asphalt Shingles	Asphalt Shingles
1.23	ROOFING	Asphalt Shingles	Asphalt Shingles
1.24	ROOFING	Asphalt Shingles	Asphalt Shingles
1.25	ROOFING	Asphalt Shingles	Asphalt Shingles
1.26	ROOFING	Asphalt Shingles	Asphalt Shingles
1.27	ROOFING	Asphalt Shingles	Asphalt Shingles
1.28	ROOFING	Asphalt Shingles	Asphalt Shingles
1.29	ROOFING	Asphalt Shingles	Asphalt Shingles
1.30	ROOFING	Asphalt Shingles	Asphalt Shingles
1.31	ROOFING	Asphalt Shingles	Asphalt Shingles
1.32	ROOFING	Asphalt Shingles	Asphalt Shingles
1.33	ROOFING	Asphalt Shingles	Asphalt Shingles
1.34	ROOFING	Asphalt Shingles	Asphalt Shingles
1.35	ROOFING	Asphalt Shingles	Asphalt Shingles
1.36	ROOFING	Asphalt Shingles	Asphalt Shingles
1.37	ROOFING	Asphalt Shingles	Asphalt Shingles
1.38	ROOFING	Asphalt Shingles	Asphalt Shingles
1.39	ROOFING	Asphalt Shingles	Asphalt Shingles
1.40	ROOFING	Asphalt Shingles	Asphalt Shingles
1.41	ROOFING	Asphalt Shingles	Asphalt Shingles
1.42	ROOFING	Asphalt Shingles	Asphalt Shingles
1.43	ROOFING	Asphalt Shingles	Asphalt Shingles
1.44	ROOFING	Asphalt Shingles	Asphalt Shingles
1.45	ROOFING	Asphalt Shingles	Asphalt Shingles
1.46	ROOFING	Asphalt Shingles	Asphalt Shingles
1.47	ROOFING	Asphalt Shingles	Asphalt Shingles
1.48	ROOFING	Asphalt Shingles	Asphalt Shingles
1.49	ROOFING	Asphalt Shingles	Asphalt Shingles
1.50	ROOFING	Asphalt Shingles	Asphalt Shingles
1.51	ROOFING	Asphalt Shingles	Asphalt Shingles
1.52	ROOFING	Asphalt Shingles	Asphalt Shingles
1.53	ROOFING	Asphalt Shingles	Asphalt Shingles
1.54	ROOFING	Asphalt Shingles	Asphalt Shingles
1.55	ROOFING	Asphalt Shingles	Asphalt Shingles
1.56	ROOFING	Asphalt Shingles	Asphalt Shingles
1.57	ROOFING	Asphalt Shingles	Asphalt Shingles
1.58	ROOFING	Asphalt Shingles	Asphalt Shingles
1.59	ROOFING	Asphalt Shingles	Asphalt Shingles
1.60	ROOFING	Asphalt Shingles	Asphalt Shingles
1.61	ROOFING	Asphalt Shingles	Asphalt Shingles
1.62	ROOFING	Asphalt Shingles	Asphalt Shingles
1.63	ROOFING	Asphalt Shingles	Asphalt Shingles
1.64	ROOFING	Asphalt Shingles	Asphalt Shingles
1.65	ROOFING	Asphalt Shingles	Asphalt Shingles
1.66	ROOFING	Asphalt Shingles	Asphalt Shingles
1.67	ROOFING	Asphalt Shingles	Asphalt Shingles
1.68	ROOFING	Asphalt Shingles	Asphalt Shingles
1.69	ROOFING	Asphalt Shingles	Asphalt Shingles
1.70	ROOFING	Asphalt Shingles	Asphalt Shingles
1.71	ROOFING	Asphalt Shingles	Asphalt Shingles
1.72	ROOFING	Asphalt Shingles	Asphalt Shingles
1.73	ROOFING	Asphalt Shingles	Asphalt Shingles
1.74	ROOFING	Asphalt Shingles	Asphalt Shingles
1.75	ROOFING	Asphalt Shingles	Asphalt Shingles
1.76	ROOFING	Asphalt Shingles	Asphalt Shingles
1.77	ROOFING	Asphalt Shingles	Asphalt Shingles
1.78	ROOFING	Asphalt Shingles	Asphalt Shingles
1.79	ROOFING	Asphalt Shingles	Asphalt Shingles
1.80	ROOFING	Asphalt Shingles	Asphalt Shingles
1.81	ROOFING	Asphalt Shingles	Asphalt Shingles
1.82	ROOFING	Asphalt Shingles	Asphalt Shingles
1.83	ROOFING	Asphalt Shingles	Asphalt Shingles
1.84	ROOFING	Asphalt Shingles	Asphalt Shingles
1.85	ROOFING	Asphalt Shingles	Asphalt Shingles
1.86	ROOFING	Asphalt Shingles	Asphalt Shingles
1.87	ROOFING	Asphalt Shingles	Asphalt Shingles
1.88	ROOFING	Asphalt Shingles	Asphalt Shingles
1.89	ROOFING	Asphalt Shingles	Asphalt Shingles
1.90	ROOFING	Asphalt Shingles	Asphalt Shingles
1.91	ROOFING	Asphalt Shingles	Asphalt Shingles
1.92	ROOFING	Asphalt Shingles	Asphalt Shingles
1.93	ROOFING	Asphalt Shingles	Asphalt Shingles
1.94	ROOFING	Asphalt Shingles	Asphalt Shingles
1.95	ROOFING	Asphalt Shingles	Asphalt Shingles
1.96	ROOFING	Asphalt Shingles	Asphalt Shingles
1.97	ROOFING	Asphalt Shingles	Asphalt Shingles
1.98	ROOFING	Asphalt Shingles	Asphalt Shingles
1.99	ROOFING	Asphalt Shingles	Asphalt Shingles
2.00	ROOFING	Asphalt Shingles	Asphalt Shingles

SIEGRIST

SCHEDULE B

This forms part of application # DP24-0110

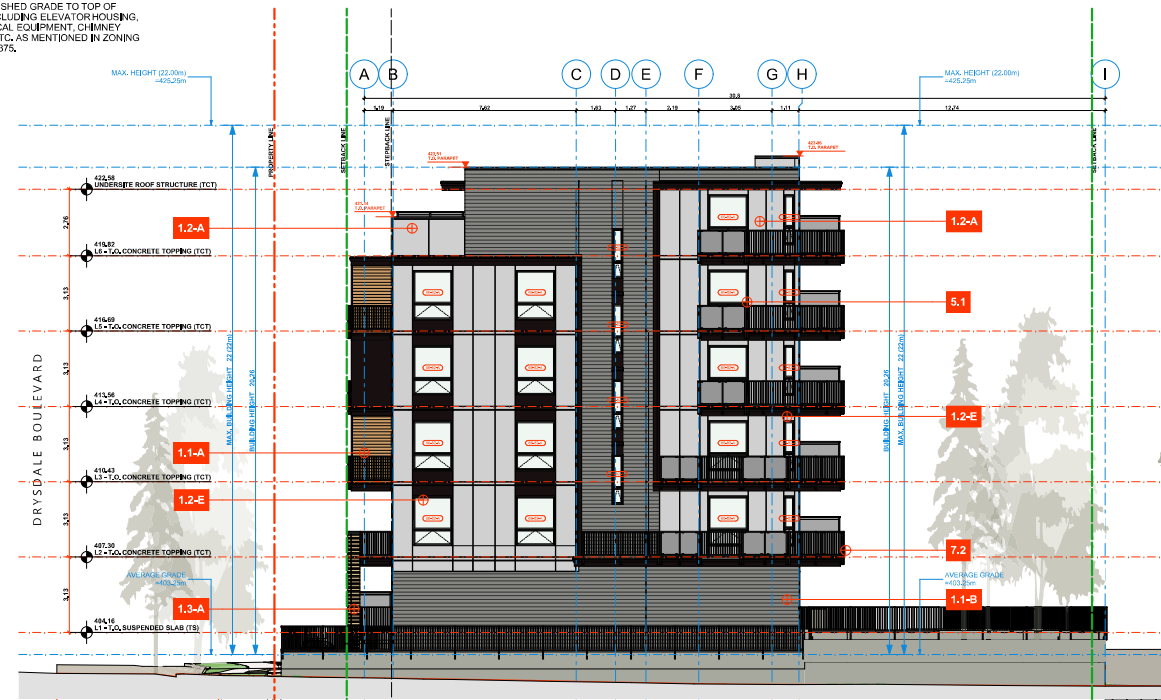
Planner Initials **JL**

City of Kelowna DEVELOPMENT PLANNING

North Elevations
011
December 23, 2024
Issue 05 - DP Resubmission

A-4.200

NOTE: BUILDING HEIGHT IS MEASURED FROM FINISHED GRADE TO TOP OF ROOF EXCLUDING ELEVATOR HOUSING, MECHANICAL EQUIPMENT, CHIMNEY STACKS ETC. AS MENTIONED IN ZONING BYLAW 12375.



1 Building Elevation - South
SCALE 1/36



MATERIAL AND COLOUR LEGEND		
Code	Description	Material / Colour
1.1	CLADDING	Panel
1.1-A	LAP SIDING	Panel
1.1-B	Woodgrain	Woodgrain Colour
1.1-C	Dark Grey	Dark Grey
1.1-D	Light Grey	Light Grey
1.1-E	Dark Grey	Dark Grey
1.2	PANEL SIDING	Panel
1.2-A	Light Grey	Light Grey
1.2-B	Dark Grey	Dark Grey
1.2-C	Dark Grey	Dark Grey
1.2-D	Dark Grey	Dark Grey
1.2-E	Dark Grey	Dark Grey
1.3	STONE OR BRICK SIDING	Stone
1.3-A	Dark Grey	Dark Grey
1.3-B	Dark Grey	Dark Grey
1.3-C	Dark Grey	Dark Grey
1.3-D	Dark Grey	Dark Grey
1.3-E	Dark Grey	Dark Grey
1.4	DOORS	Wood Grain
1.4-A	Dark Grey	Dark Grey
1.4-B	Dark Grey	Dark Grey
1.4-C	Dark Grey	Dark Grey
1.4-D	Dark Grey	Dark Grey
1.4-E	Dark Grey	Dark Grey
1.5	WINDOWS	Wood Grain
1.5-A	Dark Grey	Dark Grey
1.5-B	Dark Grey	Dark Grey
1.5-C	Dark Grey	Dark Grey
1.5-D	Dark Grey	Dark Grey
1.5-E	Dark Grey	Dark Grey
1.6	ROOFING	Dark Grey
1.6-A	Dark Grey	Dark Grey
1.6-B	Dark Grey	Dark Grey
1.6-C	Dark Grey	Dark Grey
1.6-D	Dark Grey	Dark Grey
1.6-E	Dark Grey	Dark Grey
1.7	LANDSCAPING	Dark Grey
1.7-A	Dark Grey	Dark Grey
1.7-B	Dark Grey	Dark Grey
1.7-C	Dark Grey	Dark Grey
1.7-D	Dark Grey	Dark Grey
1.7-E	Dark Grey	Dark Grey

SIEGRIST

SCHEDULE B

This forms part of application
DP24-0110

Planner Initials **JJ**



South Elevations
011
December 23, 2024
Issue 05 - DP Resubmission

A-4.300

NOTE: BUILDING HEIGHT IS MEASURED FROM FINISHED GRADE TO TOP OF ROOF EXCLUDING ELEVATOR HOUSING, MECHANICAL EQUIPMENT, CHIMNEY STACKS ETC, AS MENTIONED IN ZONING BYLAW 12375.

MATERIAL AND COLOUR LEGEND

Note: All finishes and colours are subject to change during the design process. The finishes and colours shown are for informational purposes only. The finishes and colours shown are for informational purposes only.

Code	Material / Colour	Product	Manufacturer
1.1	CLADDING		
1.1A	Wood Siding	201910240714 - WoodSiding	Mountain Cedar
1.1B	Dark Gray	HardiPanel Vertical Siding - Smooth	Interwester
1.2	LABEL SIDING		
1.2A	Light Gray	401 HANDEWELLS VERTICAL SIDING SMOOTH	Interwester
1.2B	Black	401 HANDEWELLS VERTICAL SIDING SMOOTH	Interwester
1.3	STONE OR BRICK SIDING		
1.3A	Stone	Golden	Ceramic
2.1	SOFFIT		
2.1	Wood Siding	201910240714 - WoodSiding	Mountain Cedar
3.1	ROOFS		
3.1	Black	24 Layer	Standard Colour - Black
4.1	DOORS		
4.1	Wood Entry Doors	Wood Entry Doors	Wood Grain Look
4.3	Dark Gray	Metal Door	Standard Colour - Black
5.1	WINDOWS		
5.1	Black	Vinyl Windows	
6.1	FRIMS FASCIAS		
6.1	Dark Gray	Customized Wood of Finishes above/with Weather - Charcoal	Painted - To Match 1.3
7.1	RAILINGS		
7.1	Black	Aluminum Guard Railing	Glass
7.2	Black	Aluminum Floor Guard Rail	
8.1	ACCESSORIES		
8.1	Black / Light Gray	Finings	Black / Charcoal or For all Finings above/with Cladding 1.4 Repeat Gray Finings



1 Building Elevation - East
SCALE: 1/8"



SIEGRIST



SCHEDULE B

This forms part of application
DP24-0110

Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING

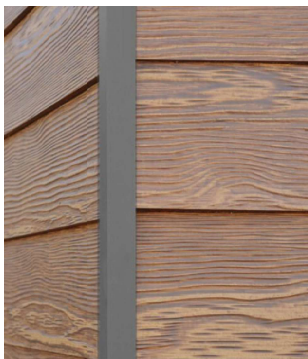
East Elevations
011
December 23, 2024
Issue 05 - DP Resubmission

A-4.400

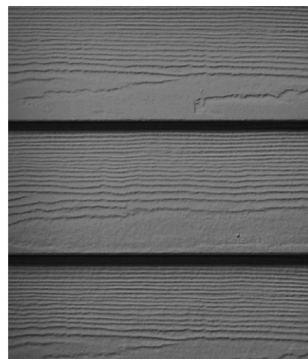
MATERIAL AND COLOUR LEGEND

Note: All Materials and Colours are subject to change during Tender and/or Pricing phase of the project.
Note: Contractor to provide submittals and samples if a product change is proposed.

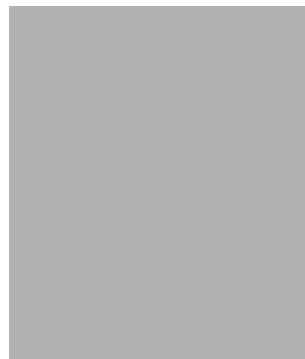
Colour	Product	Finish (to match)	Manufacturer
1.0 CLADDING			
1.1 LAP SIDING			
1.1-A	Wood-appearing JamesHardie™ + Woodstone RusticSeries™ Lap Siding w/ 7" Exposure all panel joint/transition trims EZ Trim - White all flashings above/within - Black	Mountain Cedar	JamesHardie + Woodstone
1.1-B	Dark Grey HardiePanel® Vertical Siding - Smooth	Iron Gray	JamesHardie
1.2 PANEL SIDING			
1.2-A	Light Grey 4" HARDIEPANEL® VERTICAL SIDING SMOOTH all panel joint/transition trims EZ Trim - Match 1.2-A Colour all flashings above/within - Match 1.2-A Colour	Pearl Grey	JamesHardie
1.2-E	Black 4" HARDIEPANEL® VERTICAL SIDING SMOOTH all panel joint/transition trims EZ Trim - Match 1.2-E Colour all flashings above/within - Match 1.2-E Colour	Painted - Benjamin Moore Twilight Zone 2127-10	JamesHardie
1.3 STONE OR BRICK SIDING			
1.3-A	Beige Gridline	Yellow FH7142A	Ceraclad
2.0 SOFFIT			
2.1	Wood-appearing JamesHardie™ + Woodstone RusticSeries™ 6.25" Exposure	Mountain Cedar	JamesHardie
3.0 ROOFS			
3.1	Black 2-Layer	Standard Colour - Black	
4.0 DOORS			
4.1	Wood Wood Entry Doors	Wood Grain Look	
4.2	Dark Grey Metal Door	Standard Colour - Black	
5.0 WINDOWS			
5.1	Black Vinyl Windows		
6.0 TRIMS FASCIA S			
6.1	Dark Grey Combifaced Wood all flashings above/within Westform - Charcoal	Painted - To Match 1.5	
7.0 RAILINGS			
7.1	Black Aluminum Guard Railing	Glass	
7.2	Black Aluminum Picket Guard Rails		
8.0 ACCESSORIES			
8.1	Black / Light Grey Flashings	Black / Charcoal or For all Flashings above/within Cladding 1.4 Regent Grey Westform	



1.1-A JamesHardie™
Hardie® Lap Siding Select Cedarmill®



1.1-B JamesHardie™
HardiePanel® Vertical Siding - Smooth
Iron Gray



1.2-A JamesHardie™
HardiePanel® Vertical Siding
Pearl Gray



1.2-E JamesHardie™
Painted - Benjamin Moore Twilight Zone
2127-10



1.3-A Ceraclad
Yellow FH7142A

SIEGRIST

SCHEDULE B

This forms part of application
DP24-0110

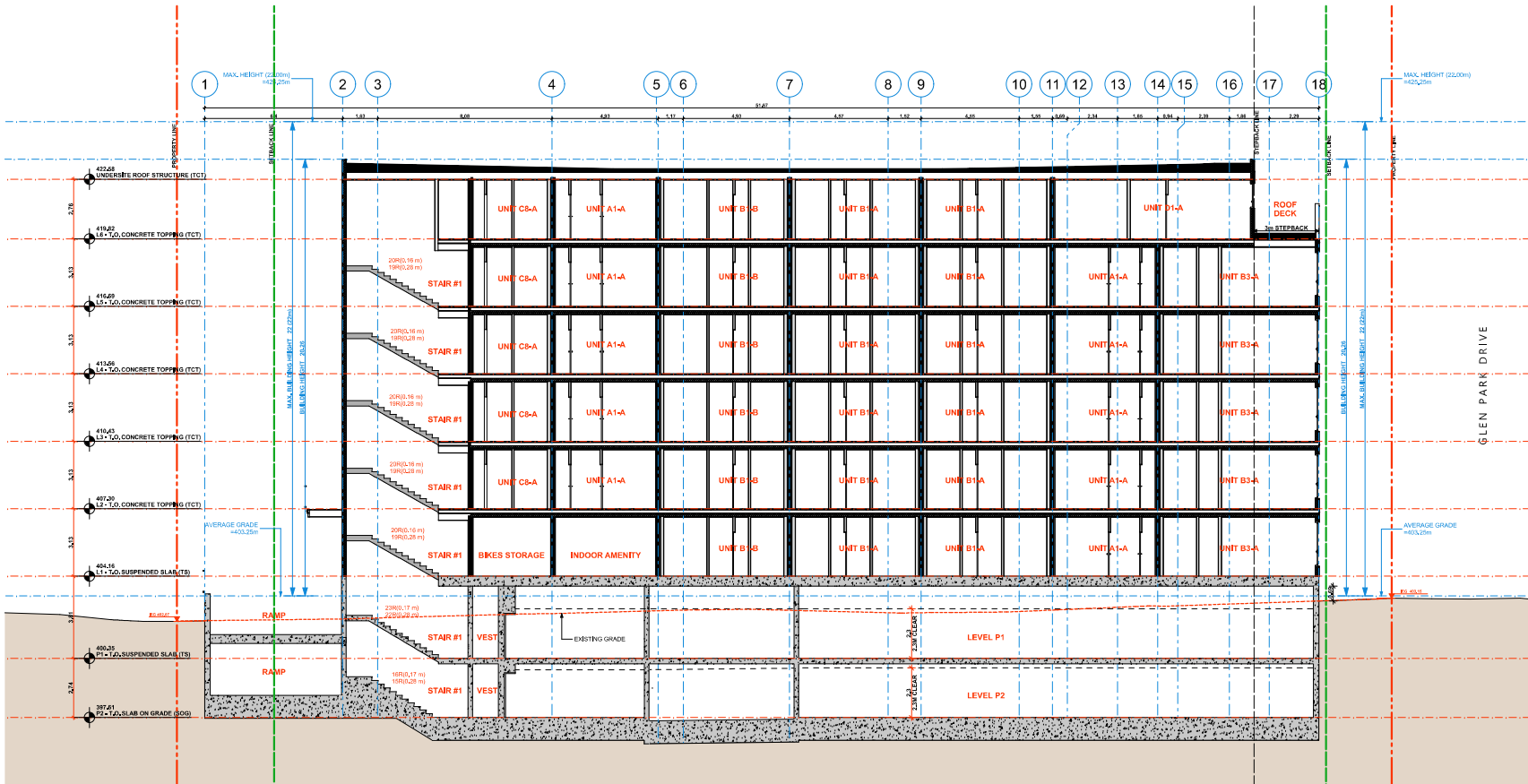
Planner Initials **JJ**

City of **Kelowna**
DEVELOPMENT PLANNING




Material Board
011
December 23, 2024
Issue 05 - DP Resubmission

A-4.500



1 Building Section - North South 01
SCALE: 1/8"

SIEGRIST

SCHEDULE B

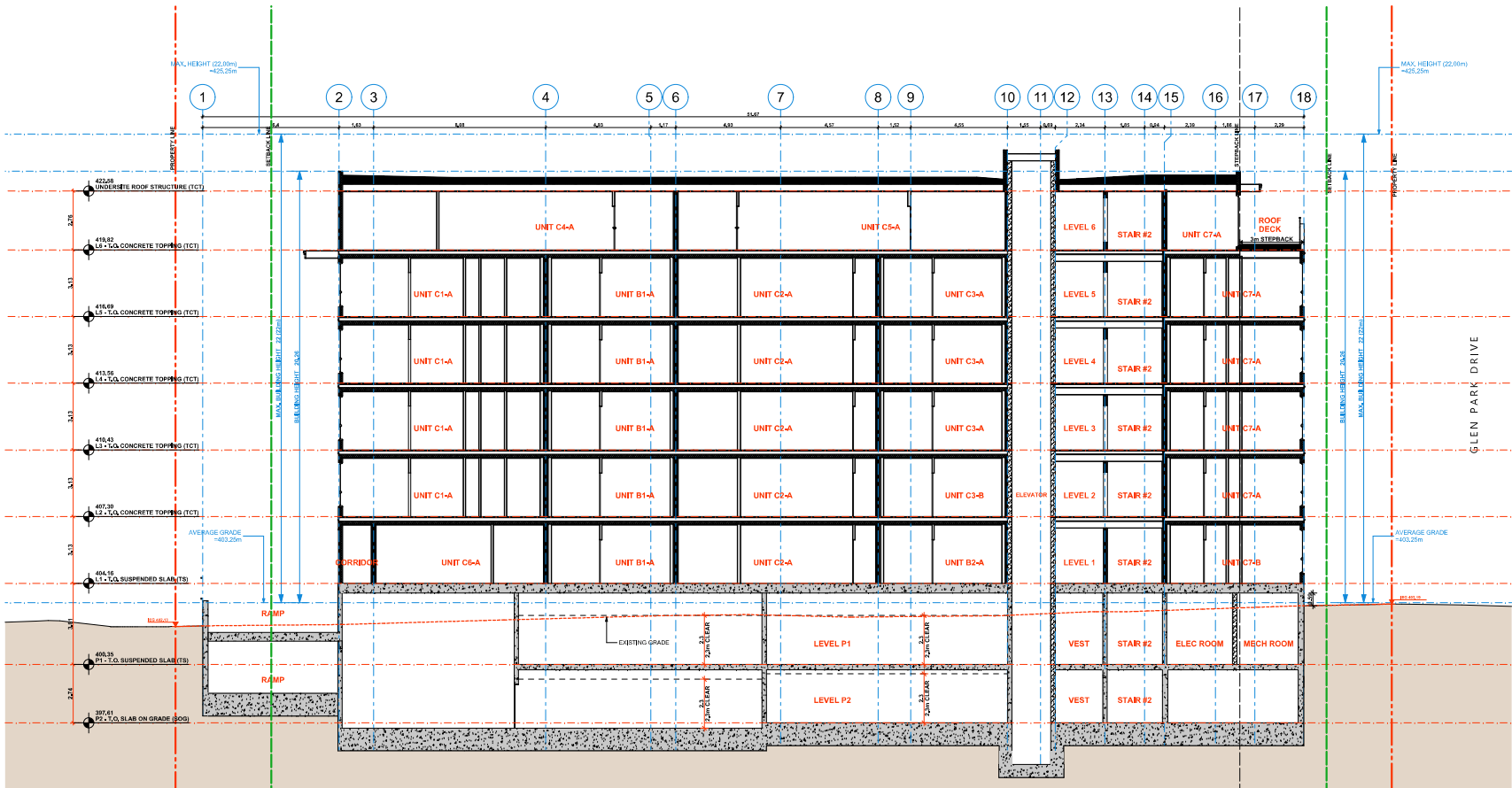
This forms part of application
DP24-0110

Planner Initials **JL**

City of Kelowna
DEVELOPMENT PLANNING

Building Section - North South 01
011
December 23, 2024
Issue 05 - DP Resubmission

A-5.110



1 Building Section - North South 02
 SCALE: 1/8" = 1'-0"

SIEGRIST

SCHEDULE B

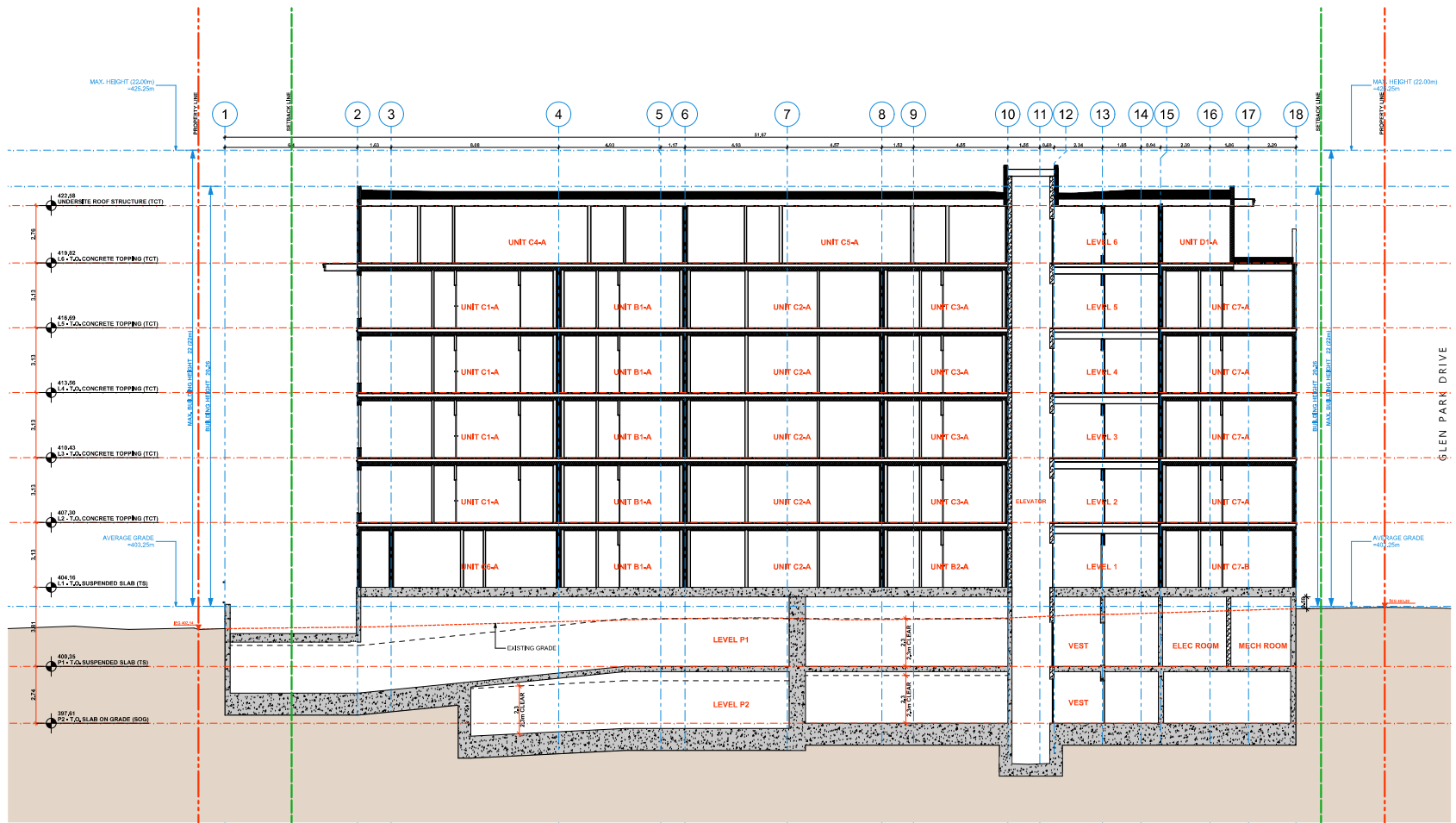
This forms part of application
 # DP24-0110

Planner Initials **JJ**

City of Kelowna
 DEVELOPMENT PLANNING

Building Section - North South 02
 011
 December 23, 2024
 Issue 05 - DP Resubmission

A-5.120



1 Building Section - North South 04
SCALE 1/8" = 1'-0"

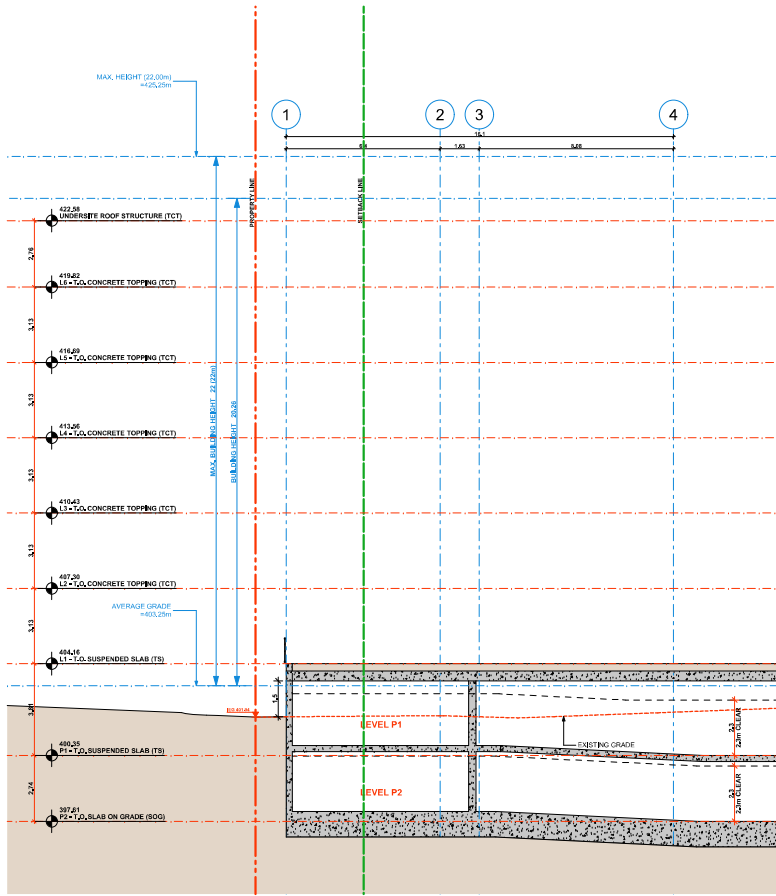
SCHEDULE B

This forms part of application
DP24-0110

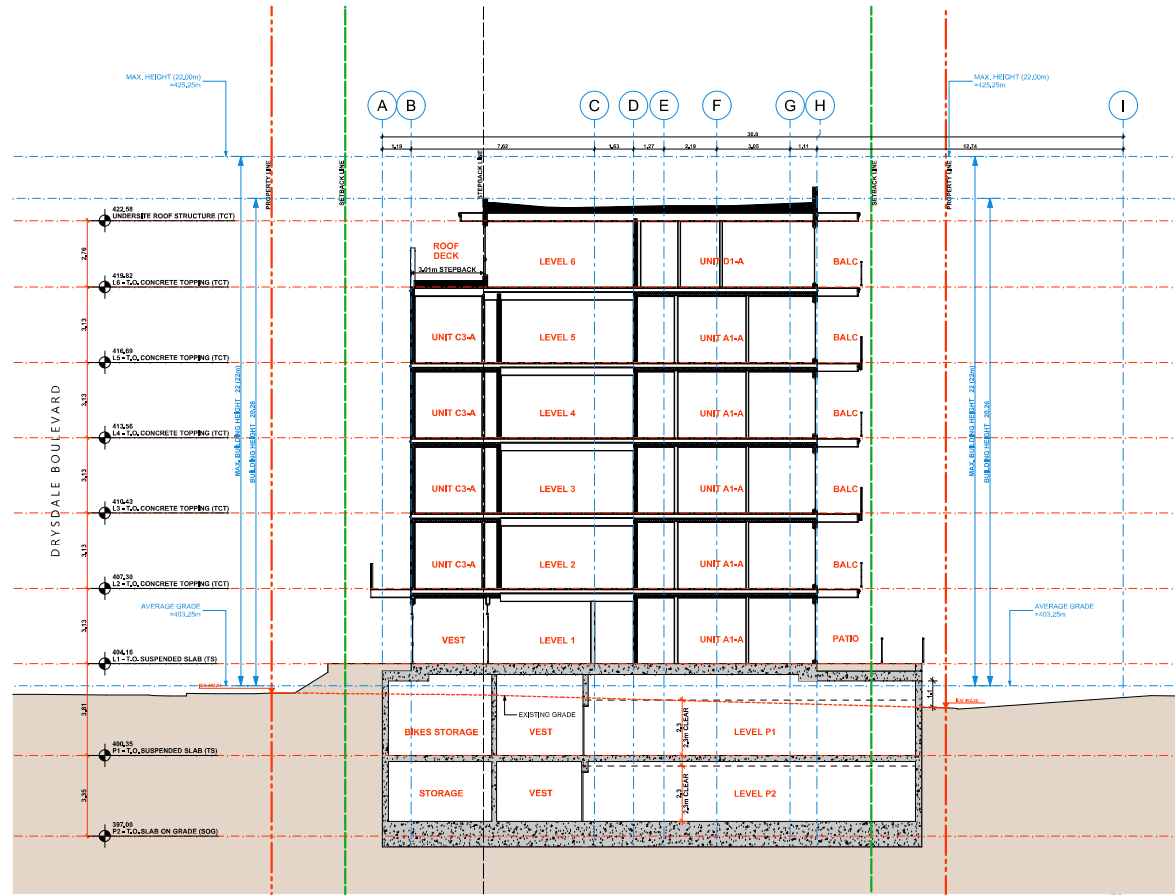
Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING

SIEGRIST



1 Building Section - North South 03
SCALE: 1/8"



2 Building Section - East West 01
SCALE: 1/8"

SIEGRIST

SCHEDULE B

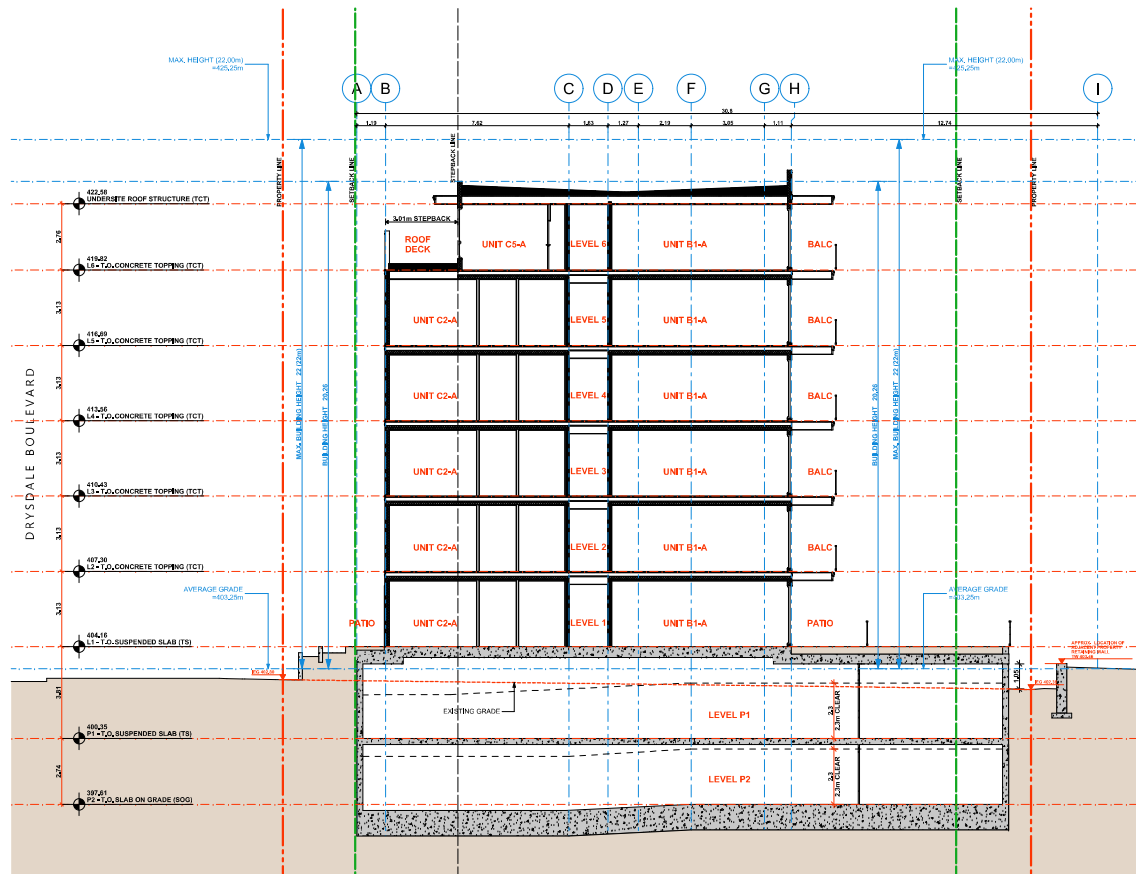
This forms part of application
DP24-0110

Planner Initials **JL**

City of Kelowna
DEVELOPMENT PLANNING

Building Section - East West 01
011
December 23, 2024
Issue 05 - DP Resubmission

A-5.140



1 Building Section - East West 02
SCALE: 1/8" = 1'-0"

SCHEDULE B

This forms part of application
DP24-0110

Planner Initials **JJ**

City of Kelowna
DEVELOPMENT PLANNING





HARDSCAPE LEGEND

REF.	DESCRIPTION
1-LD-01	CONCRETE PAVING
2-LD-01	HYDRAPRESSED CONCRETE SLABS
3-LD-01	GRAVEL BED
4-LD-01	COMPACTED CRUSHED GRAVEL
5-LD-01	FLUSHED CONCRETE EDGE
6-LD-01	BLOCK WALL PLANTER (1.2m high Planter Wall)

SOFTSCAPE LEGEND

REF.	DESCRIPTION
1,2-LD-02	TREE PLANTING
3,4-LD-02	SHRUB & GROUNDCOVER PLANTING
5-LD-02	LAWN - OFF SITE BOULEVARD
6-LD-02	SILVA CELL PIT (SOIL CELLS)

FURNITURE LEGEND

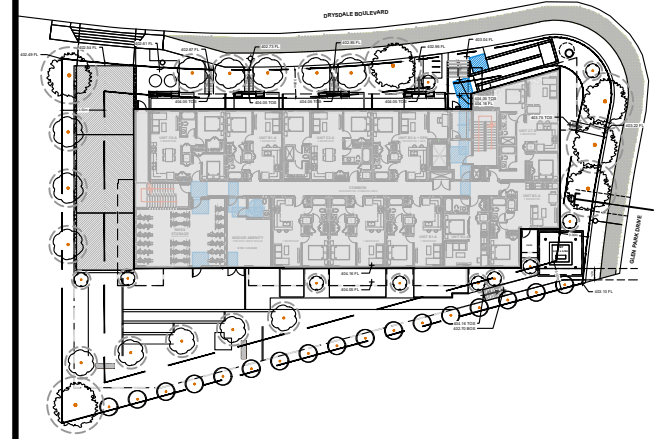
REF.	DESCRIPTION
1-LD-03	BENCH
2-LD-03	COFFEE TABLE AND CHAIR
3-LD-03	RECLINING CHAIR SET
4-LD-03	LOUNGE SOFA SET
5-LD-03	FIRE TABLE
6-LD-03	BUFFET / BAR COUNTER AND BAR STOOL
7-LD-03	DINING TABLE
8-LD-03	BIKE RACK
1-LD-04	PLANTER - RECTANGULAR (TYPE - 1)
2-LD-04	PLANTER - RECTANGULAR (TYPE - 2)
3-LD-04	PLANTER - RECTANGULAR (TYPE - 3 FOR TREES)
4-LD-04	COMMUNITY GARDEN PLANTERS
5-LD-04	POTTING TABLE
6-LD-04	LITTER BIN
7-LD-04	DOG PARK BIN
8-LD-04	BARBEQUE
1-LD-05	PRIVACY SCREEN (1.8m high)
2-LD-05	METAL FENCE WITH GATE (1.2m high)

PLANTING SCHEDULE - TREES

SYMBOL	BOTANICAL / COMMON NAME	NOS.	DESCRIPTION
	Norway Maple <i>Acer Platanoides</i>	6	Large Tree
	Skyline Honey Locust <i>Gleditsia triacanthos var. inermis 'Skycole'</i>	13	Medium Tree
	Eastern redbud <i>Cercis canadensis</i>	10	Small Tree
	Swedish columnar poplar <i>Populus tremula 'erecta'</i>	17	Columnar Tree

SCHEDULE C
 This forms part of application # DP24-0110
 Planner Initials **JL**

Key Map (NTS)



REV.	BY	DESCRIPTION	DATE
3	IM	Issued for DP Resubmission	2024-12-03
2	IM	Issued for Development Permit	2024-06-05
1	IM	Issued for Development Permit	2024-06-05

REV.	BY	DESCRIPTION	DATE
REVISIONS TABLE FOR SHEET			

Project:
Glenmore Ridge

 Location:
301 Drysdale Boulevard,
Kelowna, B.C.

Drawn: IM
 Checked: AM
 Approved: AM
 Stamp:
 Original Sheet Size: 24"x36"

Scale:
1:100

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES/ADDITIONS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELLED AS SUCH FOR TENDER/CONSTRUCTION.



WATER CONSERVATION LEGEND

	<p>ZONE #1 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS (at grade) TOTAL AREA: 155.00 M² MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 70 cu.m.</p>
	<p>ZONE #2 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS (on slab) TOTAL AREA: 56.00 M² MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING ESTIMATED ANNUAL WATER USE: 24 cu.m.</p>
	<p>ZONE #3 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR LOW WATER USE PLANTING AREAS TOTAL AREA: 124.00 M² MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING ESTIMATED ANNUAL WATER USE: 33 cu.m.</p>

WATER CONSERVATION CALCULATIONS

TOTAL LANDSCAPE AREA: 335.00 m²
 LANDSCAPE MAXIMUM WATER BUDGET (WB)= 268 cu.m / year
 ESTIMATED LANDSCAPE WATER USE (WU) = 127 cu.m /year
 WATER BALANCE = 141 cu.m /year
 *REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

SCHEDULE C

This forms part of application
 # DP24-0110

Planner Initials **JL**

REV.	BY	DESCRIPTION	DATE
3			
2	IM	Issued for DP Resubmission	2024-12-03
1	IM	Issued for Development Permit	2024-06-05

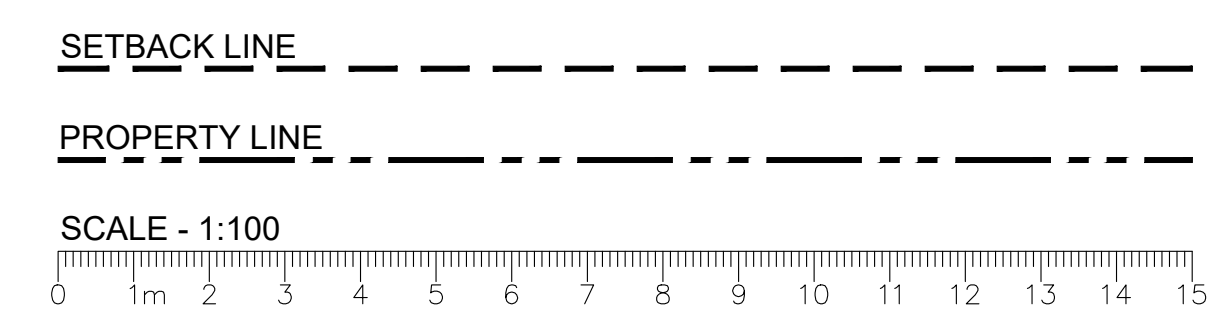
REVISIONS TABLE FOR DRAWINGS
 © Copyright reserved. This drawing and design is the property of Vdz+A and may not be reproduced or used for other projects without permission.

REV.	BY	DESCRIPTION	DATE

Project:
 Glenmore Ridge

Location:
 301 Drysdale Boulevard,
 Kelowna, B.C.

Drawn: IM	Stamp:
Checked: AM	
Approved: AM	Original Sheet Size: 24"x36"
	Scale: 1:100



Drawing Title: WATER CONSERVATION PLAN AND CALCULATIONS

VDZ Project #: DP2024-14

Drawing #: L-04

Z:\PROJECTS\DEVELOPMENT PERMIT\DP2024-14 DRYSDALE KELOWNA\DWG\SHEET\SL-04 WATER CONSERVATION PLAN AND CALCULATION.DWG

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES/ADDITIONS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELLED AS SUCH FOR TENDER/CONSTRUCTION.

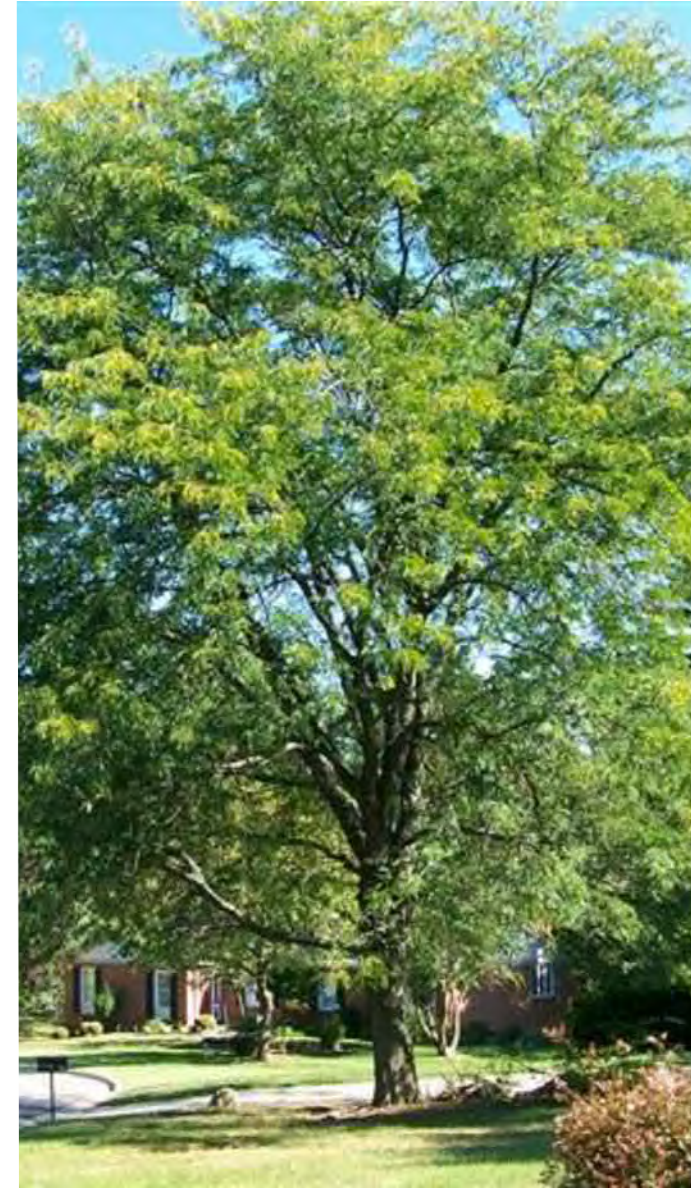
TREES



Acer platanoides



Swedish columnar poplar



Skyline Honey Locust



Cercis canadensis

SHRUBS AND GROUNDCOVER



Perovskia Atriplicifolia



Eryngium Alpinum 'Blue star'



Artemisia Tridentata



Ericameria nauseosa



Juniperous Horizontalis 'Andorra'



Thymus Pseudolanuginosus



Coreopsis 'Moonbeam'



Juniperous Sabina



Arctostaphylos Uva-Ursi



Chasmanthium latifolium



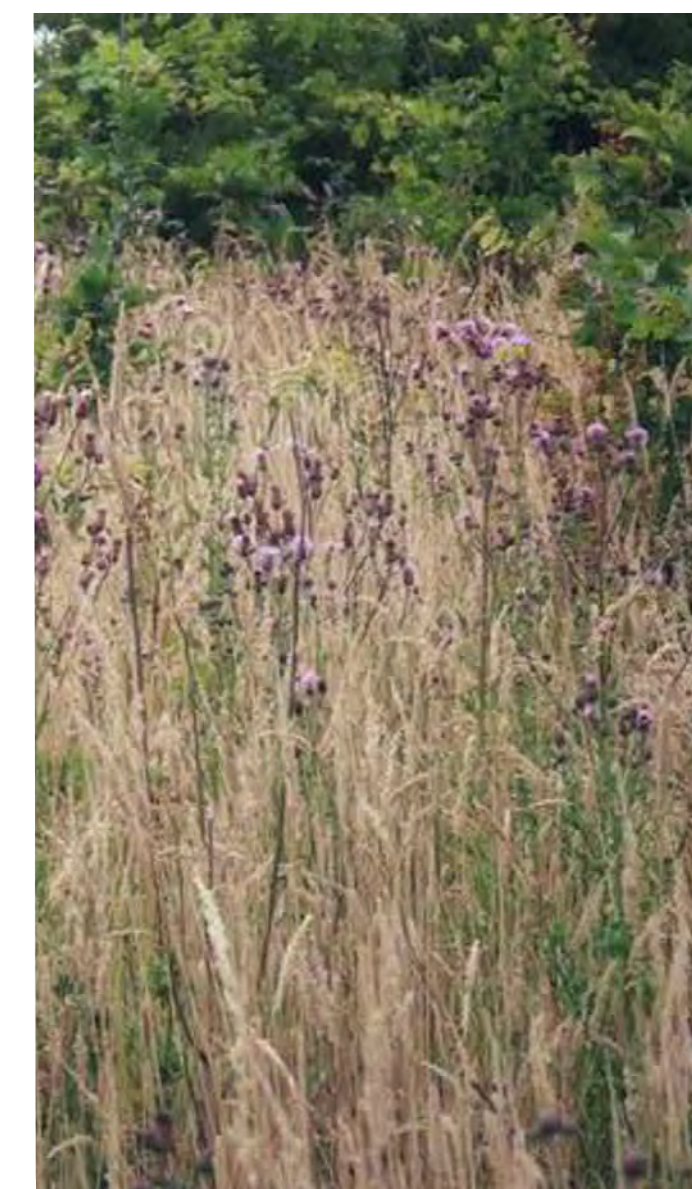
Caryopteris x Clandonensis



Yucca Glauca



Elymus mollis



Dry meadow seed mix



Lychnis



Sedum x 'Thunderhead'

PLANTING SCHEDULE - TREES

SYMBOL	BOTANICAL / COMMON NAME	NOS.	DESCRIPTION
	Norway Maple <i>Acer Platanoides</i>	6	Large Tree
	Skyline Honey Locust <i>Gleditsia triacanthos var. inermis 'Skycole'</i>	13	Medium Tree
	Eastern redbud <i>Cercis canadensis</i>	10	Small Tree
	Swedish columnar poplar <i>Populus tremula 'erecta'</i>	17	Columnar Tree

PLANT SCHEDULE - SHRUBS & GROUNDCOVER

SYMBOL	BOTANICAL / COMMON NAME	CONT	SPACING
SHRUBS			
	Artemisia tridentata / Big Sagebrush	#2	
	Caryopteris x clandonensis / Bluebeard	#2	
	Ericameria nauseosa / Rubber Rabbitbrush	#2	
DWARF CONIFERS			
	Juniperus chinensis 'Torulosa' / Hollywood Juniper	#3	
	Juniperus sabin / Savin Juniper	#2	
	Pinus mugo 'Pumilio' / Mugo Pine	#2	
GRASSES			
	Chasmanthium latifolium / Wood Oats	#1	
	Elymus mollis / American Dunegrass	#1	
PERENNIALS			
	Eryngium alpinum 'Blue Star' / Sea Holly	#1	
	Perovskia x 'Little Spire' / Russian Sage	#1	
	Sedum x 'Thunderhead' / Thunderhead Sedum	#1	
	Yucca glauca / Narrowleaf Yucca	#2	
GROUND COVERS			
	Arctostaphylos uva-ursi / Kinnikinnick	#1	300 mm
	Juniperus horizontalis 'Andorra' / Andorra Juniper	#1	600 mm
	Thymus pseudolanuginosus / Woolly Thyme	#1	300 mm

SCHEDULE C

This forms part of application # DP24-0110

Planner Initials JI



REV.	BY	DESCRIPTION	DATE
3			
2	IM	Issued for DP Resubmission	2024-12-03
1	IM	Issued for Development Permit	2024-06-05

REV.	BY	DESCRIPTION	DATE
REVISIONS TABLE FOR SHEET			

Project:
Glenmore Ridge

Location:
301 Drysdale Boulevard,
Kelowna, B.C.

Drawn: IM	Stamp:
Checked: AM	
Approved: AM	Original Sheet Size: 24"x36"
	Scale: N.T.S

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/ERRATA/CHANGES MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELLED AS SUCH FOR THE CONTRACTOR.

Drawing Title: **PLANTING PALETTE**

VDZ Project #: **DP2024-14**

Drawing #: **L-03**

FORM & CHARACTER – DEVELOPMENT PERMIT GUIDELINES

Chapter 2 - The Design Foundations: apply to all projects and provide the overarching principles for supporting creativity, innovation and design excellence in Kelowna.

- Facilitate Active Mobility
- Use Placemaking to Strengthen Neighbourhood Identity
- Create Lively and Attractive Streets & Public Spaces
- Design Buildings to the Human Scale
- Strive for Design Excellence

The General Residential and Mixed Use Guidelines: provide the key guidelines that all residential and mixed use projects should strive to achieve to support the Design Foundations.

- The General Guidelines are supplemented by typology-specific guidelines (e.g., Townhouses & Infill on page 18-19, High-Rise Residential and Mixed-Use on page 18-42), which provide additional guidance about form and character.

Chapter 2 - Design Foundations

Apply To All Projects

Page 18-8

Section 2.1 - General Residential and Mixed Use Design Guidelines

Page 18-9

Section 2.2 - Achieving High Performance

Page 18-17

Chapter 3
Townhouses & Infill

Page 18-19

Chapter 4
Low & Mid-Rise
Residential &
Mixed Use

Page 18-34

Chapter 5
High-Rise
Residential &
Mixed Use

Page 18-42

*Note: Refer to the Design Foundations and the Guidelines associated with the specific building typology.

ATTACHMENT B

This forms part of application

DP24-0110

Planner
Initials JI

City of
Kelowna
DEVELOPMENT PLANNING



Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
2.1 General residential & mixed use guidelines						
2.1.1 Relationship to the Street	N/A	1	2	3	4	5
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.						x
b. On corner sites, orient building facades and entries to both fronting streets.						x
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.					x	
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.						x
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.					x	
f. Avoid blank, windowless walls along streets or other public open spaces.						x
g. Avoid the use of roll down panels and/or window bars on retail and commercial frontages that face streets or other public open spaces.	x					
h. In general, establish a street wall along public street frontages to create a building height to street width ration of 1:2, with a minimum ration of 11:3 and a maximum ration of 1:1.75. <ul style="list-style-type: none"> Wider streets (e.g. transit corridors) can support greater streetwall heights compared to narrower streets (e.g. local streets); The street wall does not include upper storeys that are setback from the primary frontage; and A 1:1 building height to street width ration is appropriate for a lane of mid-block connection condition provided the street wall height is no greater than 3 storeys. 						x
2.1.2 Scale and Massing	N/A	1	2	3	4	5
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.					x	
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.						x
c. Step back the upper storeys of buildings and arrange the massing and siting of buildings to: <ul style="list-style-type: none"> Minimize the shadowing on adjacent buildings as well as public and open spaces such as sidewalks, plazas, and courtyards; and Allow for sunlight onto outdoor spaces of the majority of ground floor units during the winter solstice. 						x

ATTACHMENT B

This forms part of application
DP24-0110

Planner Initials **JL**



City of Kelowna
DEVELOPMENT PLANNING

2.1.3 Site Planning	N/A	1	2	3	4	5
a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.						x
b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.						x
c. Limit the maximum grades on development sites to 30% (3:1)						x
d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: <ul style="list-style-type: none"> Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible; Incorporating terracing to create usable open spaces around the building Using the slope for under-building parking and to screen service and utility areas; Design buildings to access key views; and Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped). 	x					
e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planned future public street, bicycle, and/or pedestrian network.						x
f. Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks.	x					
g. Apply universal accessibility principles to primary building entries, sidewalks, plazas, mid-block connections, lanes, and courtyards through appropriate selection of materials, stairs, and ramps as necessary, and the provision of wayfinding and lighting elements.						x
2.1.4 Site Servicing, Access, and Parking	N/A	1	2	3	4	5
a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view.						x
b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.						x
c. Avoid locating off-street parking between the front façade of a building and the fronting public street.						x
d. In general, accommodate off-street parking in one of the following ways, in order of preference: <ul style="list-style-type: none"> Underground (where the high water table allows) Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage); 						x

ATTACHMENT B

This forms part of application
DP24-0110

Planner Initials **JJ**



City of
Kelowna
DEVELOPMENT PLANNING


<ul style="list-style-type: none"> Garages or at-grade parking integrated into the building (located at the rear of the building); and Surface parking at the rear, with access from the lane or secondary street wherever possible. 						
e. Design parking areas to maximize rainwater infiltration through the use of permeable materials such as paving blocks, permeable concrete, or driveway planting strips.						x
f. In cases where publicly visible parking is unavoidable, screen using strategies such as: <ul style="list-style-type: none"> Landscaping; Trellises; Grillwork with climbing vines; or Other attractive screening with some visual permeability. 	x					
g. Provide bicycle parking at accessible locations on site, including: <ul style="list-style-type: none"> Covered short-term parking in highly visible locations, such as near primary building entrances; and Secure long-term parking within the building or vehicular parking area. 					x	
h. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.						x
i. Consolidate driveway and laneway access points to minimize curb cuts and impacts on the pedestrian realm or common open spaces.						x
j. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping.						x
2.1.5 Streetscapes, Landscapes, and Public Realm Design	N/A	1	2	3	4	5
a. Site buildings to protect mature trees, significant vegetation, and ecological features.	x					
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.						x
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.						x
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.						x
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: <ul style="list-style-type: none"> Locating outdoor spaces where they will receive ample sunlight throughout the year; Using materials and colors that minimize heat absorption; Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and Using building mass, trees and planting to buffer wind. 						x
f. Use landscaping materials that soften development and enhance the public realm.					x	

ATTACHMENT B

This forms part of application
DP24-0110

Planner
Initials

JI



City of
Kelowna
DEVELOPMENT PLANNING

g. Plant native and/or drought tolerant trees and plants suitable for the local climate.							X
h. Select trees for long-term durability, climate and soil suitability, and compatibility with the site's specific urban conditions.							X
i. Design sites and landscapes to maintain the pre-development flows through capture, infiltration, and filtration strategies, such as the use of rain gardens and permeable surfacing.							X
j. Design sites to minimize water use for irrigation by using strategies such as: <ul style="list-style-type: none"> Designing planting areas and tree pits to passively capture rainwater and stormwater run-off; and Using recycled water irrigation systems. 	X						
k. Create multi-functional landscape elements wherever possible, such as planting areas that also capture and filter stormwater or landscape features that users can interact with.	X						
l. Select materials and furnishings that reduce maintenance requirements and use materials and site furnishings that are sustainably sourced, re-purposed or 100% recycled.	X						
m. Use exterior lighting to complement the building and landscape design, while: <ul style="list-style-type: none"> Minimizing light trespass onto adjacent properties; Using full cut-off lighting fixtures to minimize light pollution; and Maintaining lighting levels necessary for safety and visibility. 							X
n. Employ on-site wayfinding strategies that create attractive and appropriate signage for pedestrians, cyclists, and motorists using a 'family' of similar elements.	X						
2.1.6 Building Articulation, Features and Materials	N/A	1	2	3	4	5	
a. Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: <ul style="list-style-type: none"> Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks; Repeating window patterns on each step-back and extension interval; Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval. 							X
b. Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs. <p>Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters;</p>							X

ATTACHMENT B

This forms part of application
DP24-0110

Planner Initials **JL**



City of
Kelowna
DEVELOPMENT PLANNING

ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.						
c. Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.					x	
d. Design buildings such that their form and architectural character reflect the buildings internal function and use.						x
e. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.					x	
f. Provide weather protection such as awnings and canopies at primary building entries.					x	
g. Place weather protection to reflect the building's architecture.					x	
h. Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.						x
i. Provide visible signage identifying building addresses at all entrances.						x

SECTION 4.0: LOW & MID-RISE RESIDENTIAL MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying & 5 is highly complying)</i>	N/A	1	2	3	4	5
4.1 Low & mid-rise residential & mixed use guidelines						
4.1.1 Relationship to the Street	N/A	1	2	3	4	5
i. Ensure lobbies and main building entries are clearly visible from the fronting street.						x
j. Avoid blank walls at grade wherever possible by: <ul style="list-style-type: none"> Locating enclosed parking garages away from street frontages or public open spaces; Using ground-oriented units or glazing to avoid creating dead frontages; and When unavoidable, screen blank walls with landscaping or incorporate a patio café or special materials to make them more visually interesting. 						x
4.1.2 Scale and Massing	N/A	1	2	3	4	5
a. Residential building facades should have a maximum length of 60 m. A length of 40 m is preferred.						x
b. Residential buildings should have a maximum width of 24 m.						x
c. Buildings over 40 m in length should incorporate a significant horizontal and vertical break in the façade.	x					
d. For commercial facades, incorporate a significant break at intervals of approximately 35 m.	x					
4.1.3 Site Planning	N/A	1	2	3	4	5
a. On sloping sites, floor levels should step to follow natural grade and avoid the creation of blank walls.	x					

ATTACHMENT B

This forms part of application
DP24-0110

Planner Initials **JL**



City of
Kelowna
DEVELOPMENT PLANNING

b. Site buildings to be parallel to the street and to have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior court yards: <ul style="list-style-type: none"> • Building sides that interface with streets, mid-block connections and other open spaces and should positively frame and activate streets and open spaces and support pedestrian activity; and • Building sides that are located away from open spaces (building backs) should be designed for private/shared outdoor spaces and vehicle access. 						
c. Break up large buildings with mid-block connections which should be publicly-accessible wherever possible.	x					
d. Ground floors adjacent to mid-block connections should have entrances and windows facing the mid-block connection.	x					
4.1.4 Site Servicing, Access and Parking	N/A	1	2	3	4	5
a. Vehicular access should be from the lane. Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access may be provided from the street, provided: <ul style="list-style-type: none"> • Access is from a secondary street, where possible, or from the long face of the block; • Impacts on pedestrians and the streetscape is minimised; and • There is no more than one curb cut per property. 						x
b. Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms and should be screened from public view with active retail uses, active residential uses, architectural or landscaped screening elements.	x					
c. Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations: <ul style="list-style-type: none"> • Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and • Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized. 						x
4.1.6 Building Articulation, Features, and Materials	N/A	1	2	3	4	5
a. Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20 m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance and include: <ul style="list-style-type: none"> • Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the façade; • Repeating window pattern intervals that correspond to extensions and step backs (articulation) in the building façade; • Providing a porch, patio, deck, or covered entry for each interval; 						x

ATTACHMENT B

This forms part of application
DP24-0110

Planner Initials **JJ**



City of
Kelowna
DEVELOPMENT PLANNING

<ul style="list-style-type: none"> • Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance; • Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval; • Changing the materials with the change in building plane; and • Provide a lighting fixture, trellis, tree or other landscape feature within each interval. 						
b. Break up the building mass by incorporating elements that define a building's base, middle and top.						x
c. Use an integrated, consistent range of materials and colors and provide variety, by for example, using accent colors.						x
d. Articulate the façade using design elements that are inherent to the buildings as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.					x	
e. Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows, and adding awnings or canopies.						x
f. Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas with particular attention to the following locations: <ul style="list-style-type: none"> • Primary building entrances; • Adjacent to bus zones and street corners where people wait for traffic lights; • Over store fronts and display windows; and • Any other areas where significant waiting or browsing by people occurs. 					x	
g. Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.						x
h. Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern.						x
i. Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length of facades.					x	
j. Provide attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw.						x
k. Avoid the following types of signage: <ul style="list-style-type: none"> • Internally lit plastic box signs; • Pylon (stand alone) signs; and 						x

• Rooftop signs.						
l. Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.						x

ATTACHMENT **B**

This forms part of application
DP24-0110

Planner Initials

City of 
Kelowna
DEVELOPMENT PLANNING

SIEGRIST

GLENMORE RESIDENCES

325 Drysdale Boulevard, Kelowna, BC
011
240605
LETTER DESIGN RATIONALE

We have reviewed the City of Kelowna's development goals and provided this project's design rationale.

HOW THE PROJECT RESPONDS TO THE NEIGHBORHOOD PLAN

copied from the current OCP:

Policy 5.1.6 Glenmore Village Centre – support development in the Glenmore area to serve citizens in the neighbourhood in North Kelowna, such as Glenmore, Wicken, and McKinley. Development in the Glenmore Village Centre should share the following characteristics:

- commercial uses located east of Glenmore Road – not applicable
- permit buildings up to 6 storeys
- orientation of buildings along Brandt's Creek towards the creek and trail system – not applicable

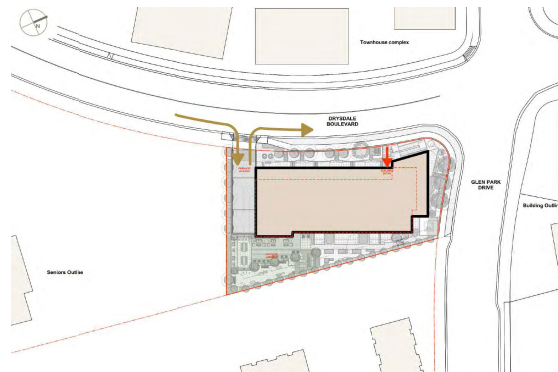


OCP plan for Glenmore Village Centre

This project provides a mix of rental housing types to develop residential areas close to transit and public amenities as a walkable community of commercial and residential uses in the Glenmore area of Kelowna. This newly created residential area has a mix of housing types, including townhomes, apartments, and mixed-use buildings, with adjacent single-family homes. The project has been designed to appear unique and meet measurable sustainability targets.

URBAN CONTEXT / NEIGHBOURHOOD RESPONSE

This project is bordered by residential multifamily dwellings of varying forms. The building is situated on the site to respond directly to the street. The remaining rear areas create a rear landscape amenity in a quieter location overlooked by adjacent residential developments. The parking and garbage use entry was located adjacent to the existing parking lot to the south, as it is away from traffic on the corner to provide safe vehicle and loading activity adjacent to the existing at-grade surface parking for the southern senior's development. Locating the access at this location provides minimal noise interruptions for loading and garbage collection to the neighbourhood. The building's location does not impede or create any view blockages / view corridors or make any negative overlook conditions.

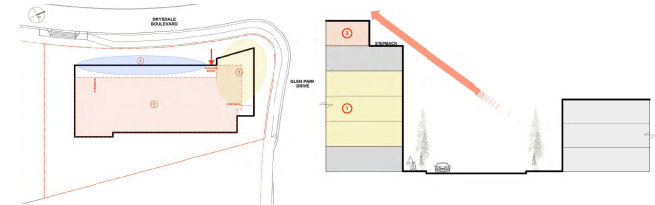


BUILDING FORM

The building is raised on a flat site to respond to the local groundwater heights but maintains building code compliance for the first-level entries. Raising the building slightly creates a semi-private environment, with the patios having good views and not located directly on the street, where they would be subject to noise from the road. This level form with treateded entries and individual landscape walkway connections creates a smaller scale. The building has also been stepped back on the street side on the top floor to reduce the scale further. The shape of the building being differentiated as an angle at the northwest corner also reduces the dominance of the façade. It provides a sense of change as the project responds to a different building form seen further northward. The upper floors will offer significant views in all directions.

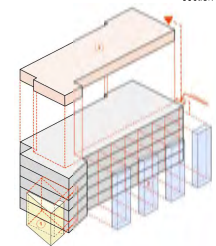
The building is broken down into three parts:

- 1 – the corner element
- 2 – the public side that celebrates being on the street that is not too repetitive has a reduced scale and a stepped building and appears more intimate and street-scaled
- 3 – an upper floor that is recessed substitute does not appear dominant, facing the street



plan diagram – building parts

section diagram – stepped building



axonometric view – building parts



elevation diagram – building parts

SIEGRIST

ATTACHMENT C
This forms part of application
DP24-0110

Planner Initials **JL**

City of Kelowna
DEVELOPMENT PLANNING



Design Rationale
011
December 23, 2024
Issue 05 – DP Resubmission

A-0.301

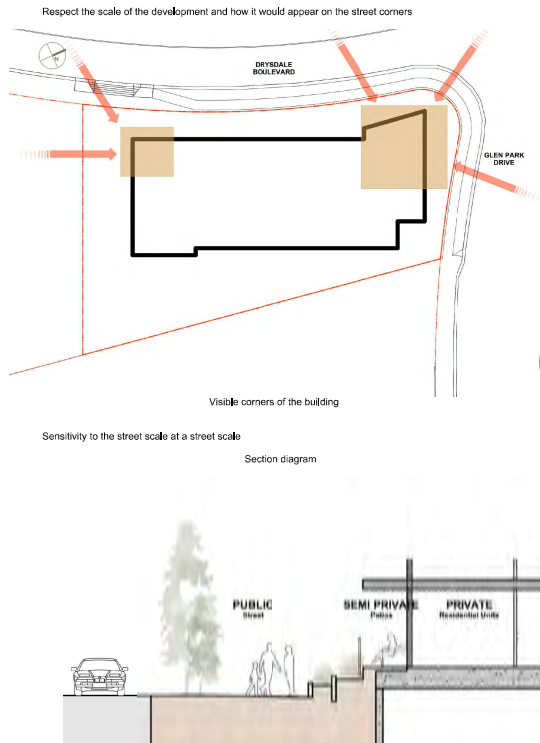
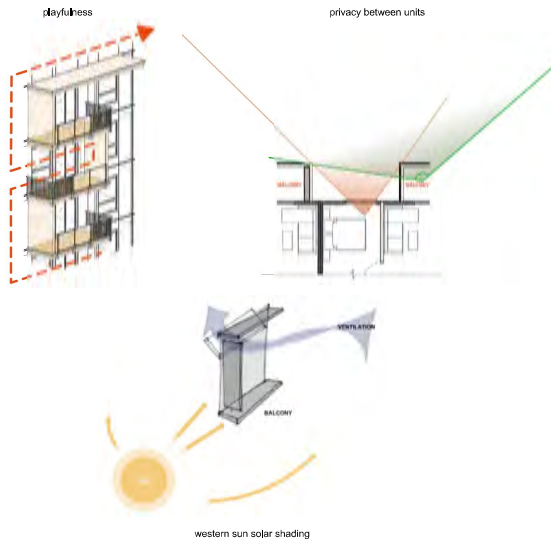
DESIGN ELEMENTS FEATURES

This stepping back helps to reduce the apparent massing from the pedestrian perspective. Feature roof elements at the southeast corner and wall cladding with wood-textured lap siding panels add interest to this elevation along the main driveway entrance. The residential façade incorporates a palette of warm-toned stone and off-white and grey fiber-cement lap siding. Warm-toned stone is used at the building base as a continuous datum line accentuating the pedestrian level. Highly visible from the pedestrian level, soffits will also incorporate warm, light-coloured wood tones.

The use of overhangs provides sun shading and, at the same time, acts as a building feature responding to the heat generated from both the south and western solar exposures.

Various landscape elements, such as seating areas, wooden benches, and planting, have been carefully placed to act as added in the amenity areas to promote outdoor use.

Several design elements have been designed and arranged for this project to respond and be visually interesting yet practical.



MATERIALS AND COLOUR

The materials and colours chosen are all residential to complement housing and are selected to appear friendly. This is characterized by the stained wood soffits and horizontal lapped siding. The materials longevity and maintenance were also considered when they were selected. We used a flatter panel to emphasize the building form and its parts, which suits the appearance of the building. The use of brick creates a solid appearance, anchors the building at the street-level entrances, and solidifies and frames the northwest as a feature to give prominence to the corner. The placement of windows and their surrounding enclosures (balconies) are done to unify the building and let light in where it is deserved, but oriented to be mindful of avoiding overheating. The colours chosen are common to the neighbourhood and used in the BC interior but are selected to be unique. They add another colour palette that is slightly different but not overpowering, adding diversity to this residential neighbourhood.

SUSTAINABILITY

Several measures were undertaken in the design, including:

- Passive shading
- Urban recycling and
- Promoting the growth of landscape trees at the street boulevards
- Energy wall performance to ratings to reduce thermal bridging
- EV charging vehicle locations
- Bike storage

ADAPTABILITY

The development provides different housing types and sizes for a diverse population to meet affordable market housing. The unit variety will allow:

- Flexibility in the unit layouts to allow for remote working, having spaces within the units for desks
- Different unit types to accommodate families at different stages of aging
- The ability to utilize indoor and outdoor amenity space

SIEGRIST

ATTACHMENT C

This forms part of application # DP24-0110

Planner Initials **JL**

City of Kelowna DEVELOPMENT PLANNING

Design Rationale 011
December 23, 2024
Issue 05 - DP Resubmission

A-0.302