

Schedule A – CD15 – Airport Business Park Zone - Zoning Bylaw No. 8000 Text Amendment TA21-0013

No.	Section	Relevant Existing	Proposed	Explanation								
1.	Section 18 - Schedule B – Comprehensive Development Zones – CD15 – Airport Business Park	N/A	1.9 Site Specific Uses and Regulations Uses and regulations apply to the CD15 – Airport Business Park on a site-specific bases as follows: <table><tr><td></td><td>Legal Description</td><td>Civic Address</td><td>Regulation</td></tr><tr><td>1</td><td>Lot 17 Section 14 Township 23 ODYD Plan KAP82802</td><td>3510 Spectrum Court</td><td>To allow Automotive and minor recreational vehicle sales/rentals as a permitted principal use</td></tr></table>		Legal Description	Civic Address	Regulation	1	Lot 17 Section 14 Township 23 ODYD Plan KAP82802	3510 Spectrum Court	To allow Automotive and minor recreational vehicle sales/rentals as a permitted principal use	To add a new site-specific section within the CD15 – Airport Business Park zone to allow for Automotive and minor recreational vehicles sales/rentals as a permitted principal use at 3510 Spectrum Court.
	Legal Description	Civic Address	Regulation									
1	Lot 17 Section 14 Township 23 ODYD Plan KAP82802	3510 Spectrum Court	To allow Automotive and minor recreational vehicle sales/rentals as a permitted principal use									

SCHEDULE		A
This forms part of application		
# TA21-0013		
Planner Initials	WM	 City of Kelowna COMMUNITY PLANNING



MEMORANDUM

Date: June 7, 2021

File No.: TA21-0013

To: Urban Planning Management (WM)

From: Development Engineer Manager (RO)

Subject: 3510 Spectrum Ct

Text Amendment

The Development Engineering has no comments or requirements regarding this application for a Text Amendment to the CD15 – Airport Business Park Zone to add the permitted use of automotive sales.

All comments and requirements are addressed in Development Engineering memo for DP under file DP16-0300.

Ryan O'Sullivan
Development Engineering Manager

SK

AUGUST VEHICLE SERVICE FACILITY

PROJECT LEGAL DESCRIPTION:
LOT 17, SEC/ 14, TOWNSHIP 263, ODYD
PLAN KAP82802

PROJECT CIVIC ADDRESS:
3510 SPECTRUM COURT, KELOWNA, BC.

ATTACHMENT

A

This forms part of application
TA21-0013

Planner
Initials

WN

City of Kelowna

COMMUNITY PLANNING



1 SITE LOCATION
NTS



CONSULTANTS

ARCHITECT

BLUEGREEN ARCHITECTURE INC.
100 - 1353 Ellis Street
Kelowna, BC V1Y 1Z9

Contact:
Wendy Rempel, Architect AIBC,
P: 236.420.3550
wrempel@bluegreenarch.com

LANDSCAPE

**OUTLAND DESIGN
LANDSCAPE ARCHITECTURE**
303 - 590 KLO Road,
Kelowna, BC V1Y 7S2

Contact:
Fiona Barton
P: 250.868.9270
fiona@outlanddesign.ca

DRAWING LIST

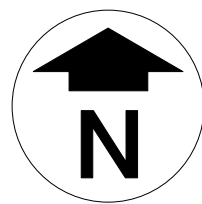
ARCHITECTURAL DRAWINGS

- | | |
|-------|-----------------------------------|
| A0.00 | COVER / PROJECT INFO |
| A0.01 | SITE CONTEXT & PHASE 2 RENDERINGS |
| A1.00 | SITE PLAN & ZONING |
| A2.00 | MAIN FLOOR PLAN |
| A2.01 | 2ND FLOOR / MEZZANINE PLAN |
| A3.00 | BUILDING ELEVATIONS & SIGNAGE |
| A4.00 | BUILDING SECTIONS & RENDERINGS |

LANDSCAPE DRAWINGS

- | | |
|-----|------------------------------------|
| L-1 | CONCEPTUAL LANDSCAPE PLAN |
| L-2 | WATER CONSERVATION/IRRIGATION PLAN |

PROJECT LOCATION



2 EXISTING BUILDING - PHASE 1, 3510 SPECTRUM COURT
SCALE: NTS



3 VIEW LOOKING EAST FROM SPECTRUM COURT
SCALE: NTS

1 PHOTO / PERSPECTIVE KEY
SCALE: NTS



4 VIEW LOOKING SOUTHWEST FROM HWY. 97
SCALE: NTS



5 VIEW LOOKING WEST FROM HWY. 97
SCALE: NTS



6 VIEW LOOKING WEST FROM HWY. 97
SCALE: NTS



7 PHASE 2 PERSPECTIVE OF WEST FACE
SCALE: NTS



8 PHASE 2 PERSPECTIVE OF WEST & SOUTH FACES
SCALE: NTS

PROJECT INFORMATION

LEGAL ADDRESS:
LOT 17, SEC/ 14, Township 263, ODYD
Plan KAP82802

CIVIC ADDRESS:
3510 Spectrum Court, Kelowna, BC.

ZONING INFORMATION

ZONING	CD-15	AIRPORT BUSINESS PARK - Industrial Uses	
	MINIMUM	ACTUAL	
MINIMUM LOT WIDTH	40 m	105.68 m	
MINIMUM LOT DEPTH	35 m	85.87 m	
MINIMUM LOT AREA	4000 sm	10320.9 sm	
111,094 SF			
TOTAL GROSS FLOOR AREA - Phase 2			
Main Floor			
Service / Wash (Industrial)	11022 sf	1023.9 sm	
Car Club (Commercial)	5978 sf	555.4 sm	
Subtotal Main Floor	17000 sf	1579.3 sm	
2nd Floor			
Office (Industrial)	1105 sf	102.7 sm	
Car Club (Commercial)	2312 sf	214.8 sm	
Subtotal 2nd Floor	3417 sf	317.4 sm	
Mezzanine (Industrial)	510 sf	47.4 sm	
TOTAL	20927 sf	1944.1 sm	
BUILDING AREAS FOR F.A.R. CALCULATIONS			
Net Floor Area - Existing Building	20817.4 sf	1934.0 sm	
Net Floor Area - Phase 2 (New)	20927.0 sf	1944.1 sm	
TOTAL	41744.4 sf	3878.1 sm	

DEVELOPMENT REGULATIONS - INDUSTRIAL				
FLOOR AREA RATIO (FAR)		MAXIMUM		ACTUAL
Total Net Floor Area / Lot Area		1 : 1.5		0.376
SETBACKS		MINIMUM		ACTUAL
FRONT YARD		6 m	6	m
SIDE YARD WEST (Adj. to commercial or indust.)		0 m	3.25	m West - Exist. Bldg
SIDE YARD EAST (Adj. to commercial or indust.)		0 m	24.6	m South - New Bldg.
SIDE YARD (Adj. to Flanking street)		4.5 m	N/A	m
SETBACK FROM HWY 97 Property Line		7 m	16.98	m
REAR YARD (Adj. to commercial or industrial)		0 m	3.2	m North - Exist. Bldg.
REAR YARD (Adj. to other zones)		6 m	n/a	m
REAR YARD (Adj. to Flanking street)		4.5 m	n/a	m
BUILDING HEIGHT		MAXIMUM		ACTUAL
		4 storeys/18m		2 storeys (9.14m)
LANDSCAPE BUFFERS				
FRONT (Level 2)		3 m	1.5 m	Existing - Phase 1
REAR YARD (Level 3)		3 m	n/a m	Existing - Phase 1
FLANKING (Level 2)		3 m	n/a m	
SIDE YARD (Level 3) - West and South		3 m	3 m	
HIGHWAY 97 BUFFER (Level 4)		3 m	3 m	

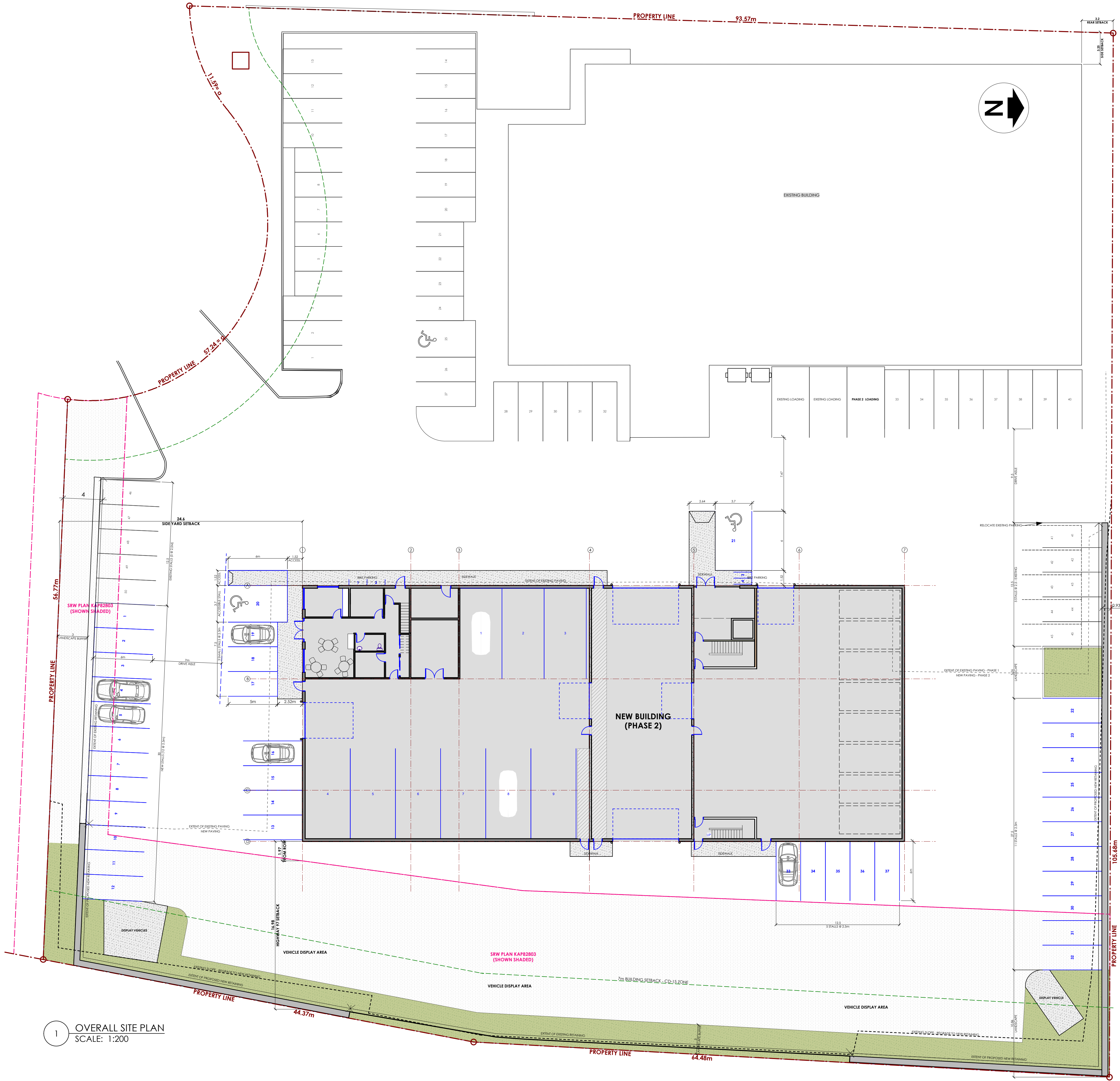
PARKING INFORMATION

PARKING SUMMARY						
	Sq. Ft.	Sq. m				STALLS
						Required Provided
Main Floor						
office	1105	102.65	2.5 STALL	PER	100 sm	2.6
General Industrial	9945	923.89	1 STALL	PER	100 sm	9.2
Showroom/Display	5950	552.76	2.5 STALL	PER	100 sm	13.8
Subtotal	17000					25.6
Mezzanine/2nd Floor						
Car Club	2312	214.78	2.5 STALL	PER	100 sm	5.4
Mezz/Office	1105	102.65	2.5 STALL	PER	100 sm	2.6
Storage	510	47.38	1 STALL	PER	100 sm	0.5
Subtotal	3927.0	364.818				8.4
SUBTOTAL STALLS						34.0
TOTAL STALLS						37

BICYCLE PARKING SUMMARY						
Proposed Bike Parking Calculations						STALLS
GFA (sm)						Required Provided
Industrial						
Long Term Parking	1174.0	@	0.5 STALL	PER	1000 sm	0.6 1
Short-Term Parking		@	0 STALL	PER	500 sm	0.0 0
Commercial						
Long Term Parking (	770.1	@	1 STALL	PER	500 sm	1.5 2
Short-Term Parking		@	2 STALL	PER	Entrances (2)	4.0 4
		OR	1 STALL	PER	750 sm	1.0 n/a

OFF-STREET LOADING SUMMARY					
Phase 2					
GFA (sm)					
Total GFA - Phase 2	1944.12	@	1 STALL	PER	1900 sm
					LOADING STALLS
					Required Provided
					1.02 1

NOTE:
REFER TO LANDSCAPE PLAN FOR ALL
LANDSCAPING INFORMATION

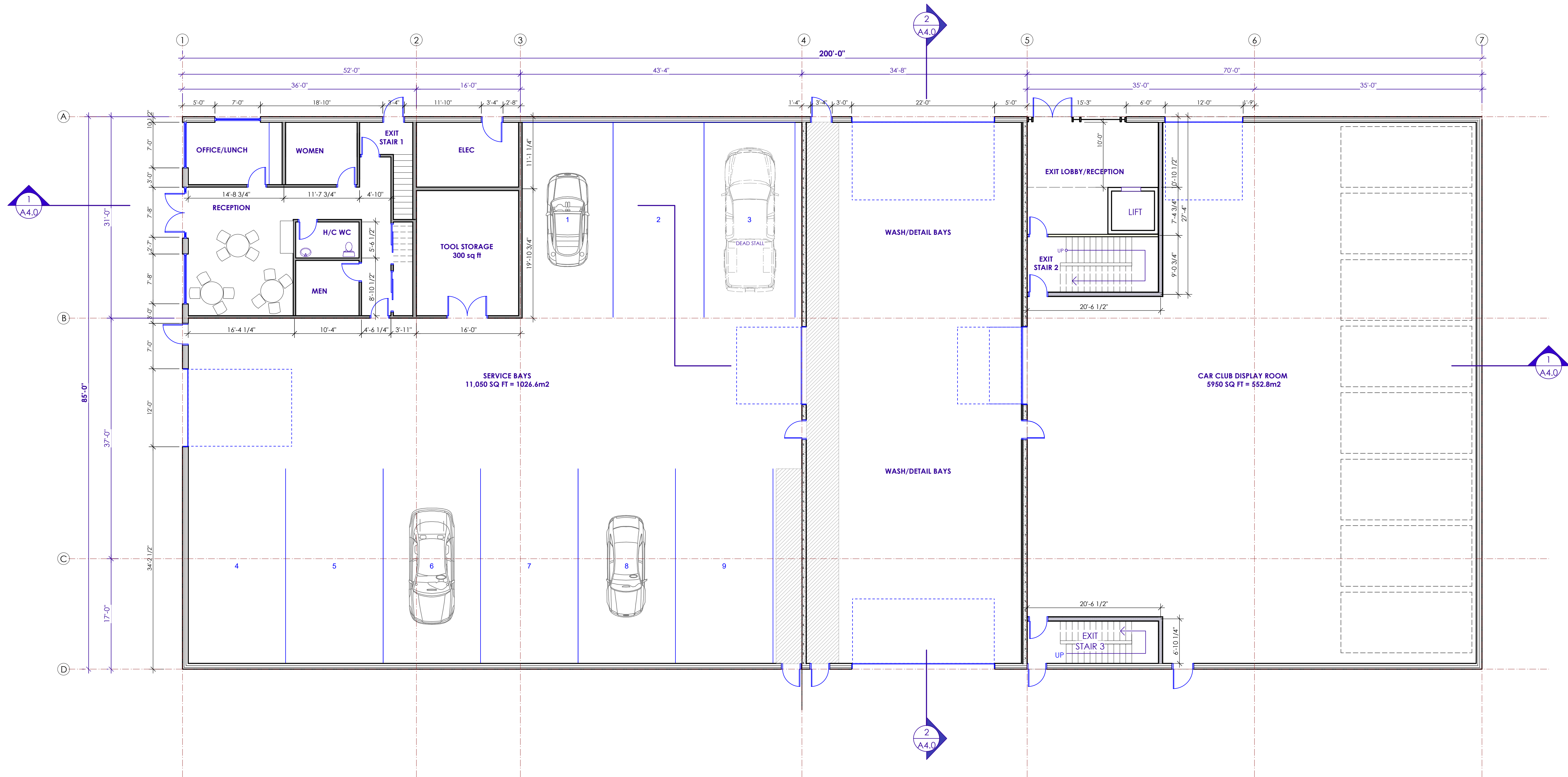


1 OVERALL SITE PLAN
SCALE: 1:200

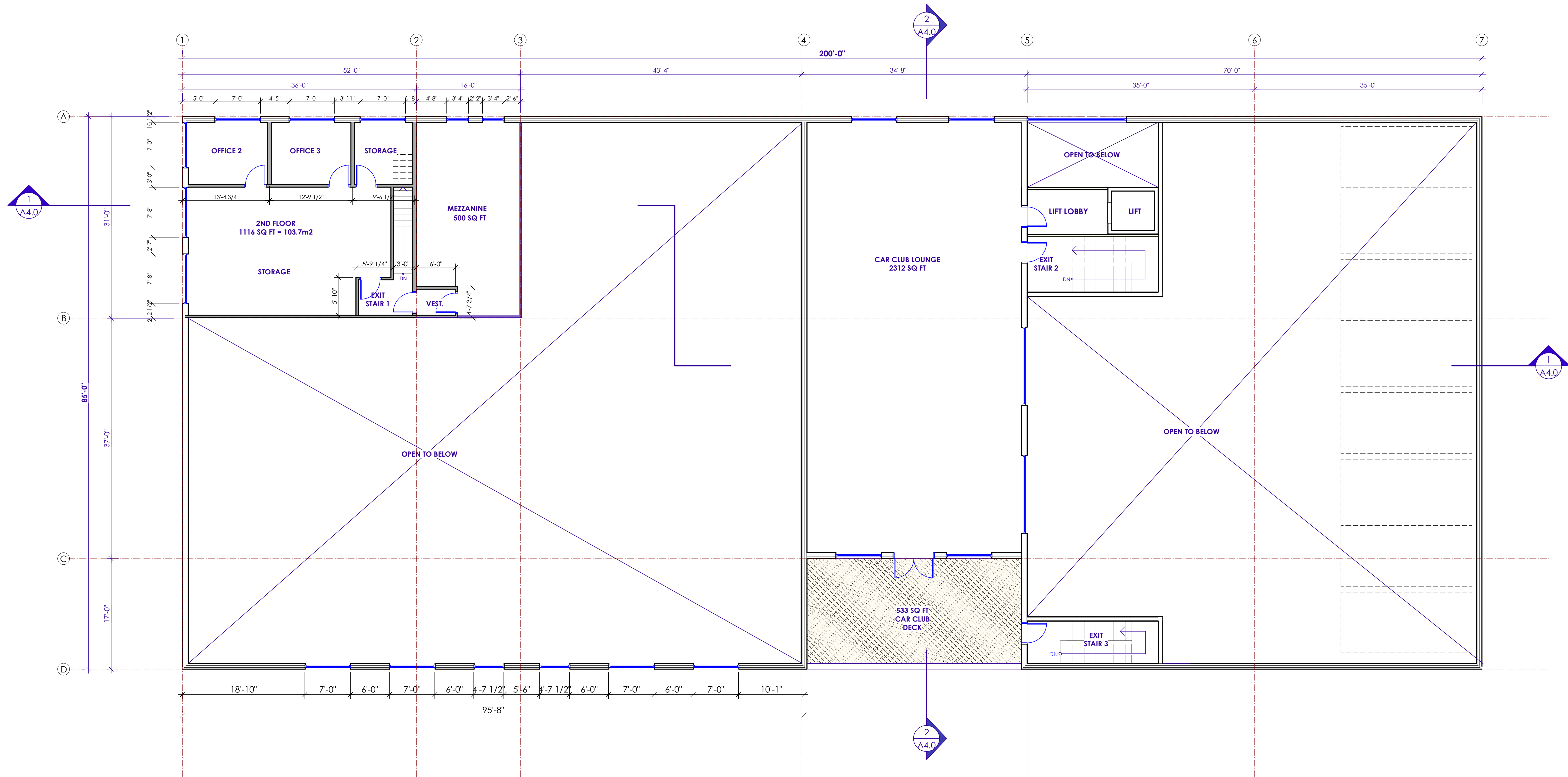
AUGUST VEHICLE SERVICE FACILITY

OVERALL SITE PLAN AND ZONING

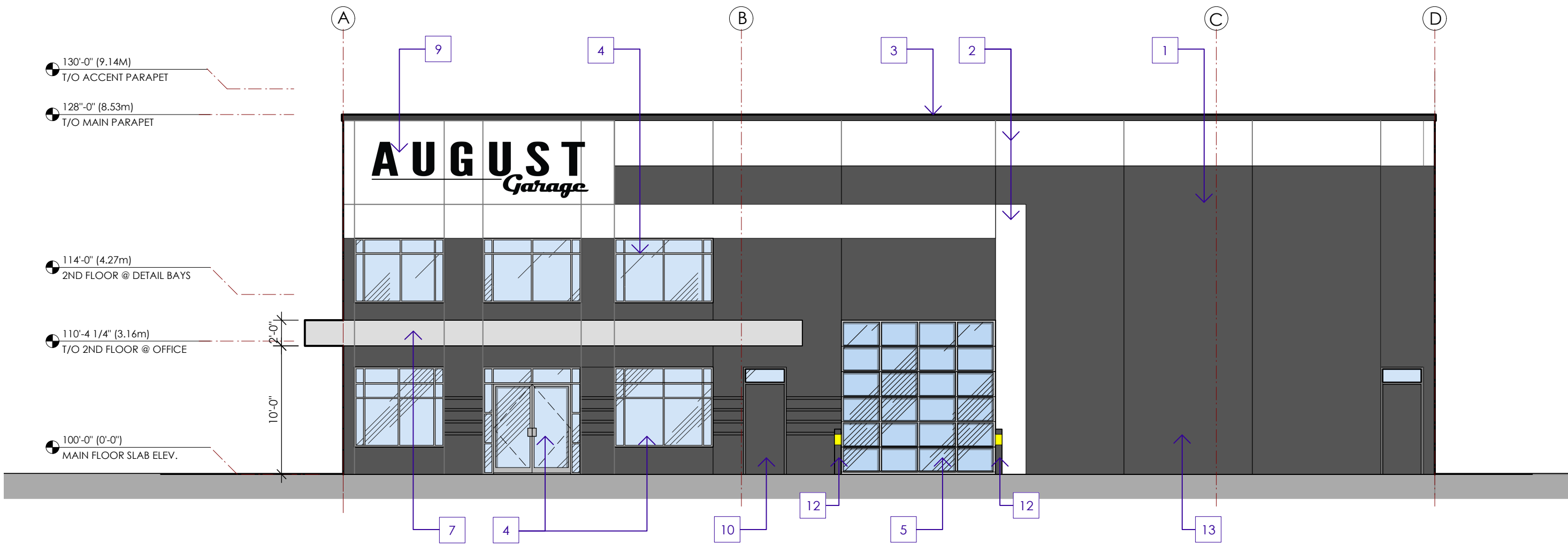
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ISSUED FOR DP
PROJECT 20.833
A1.00



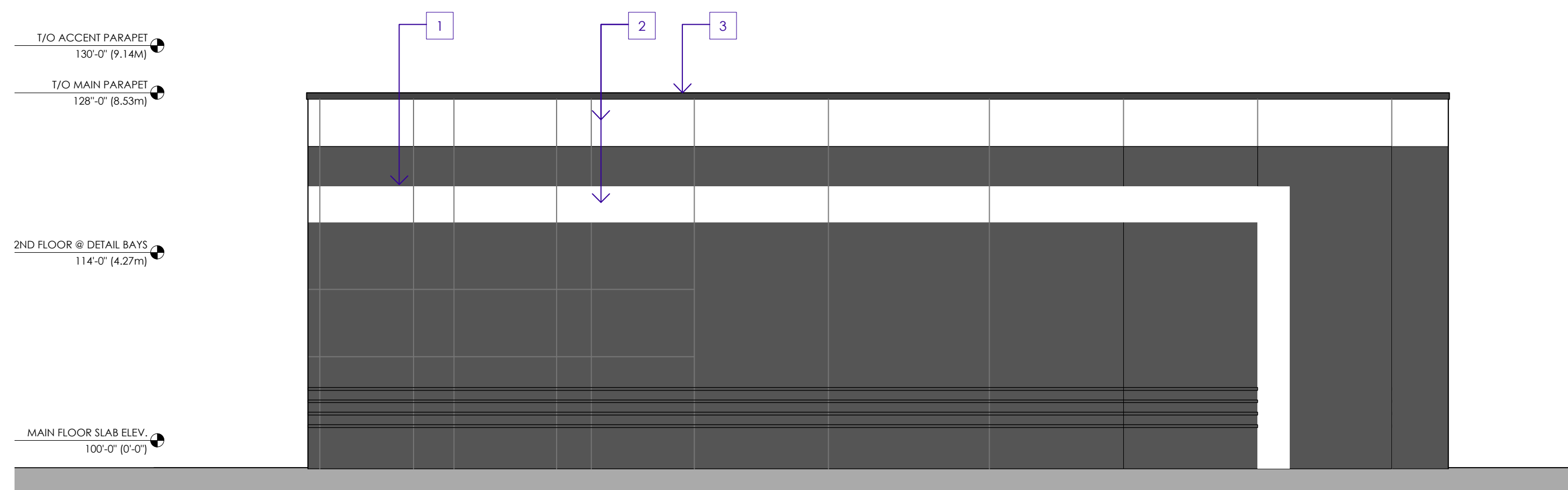
1 MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



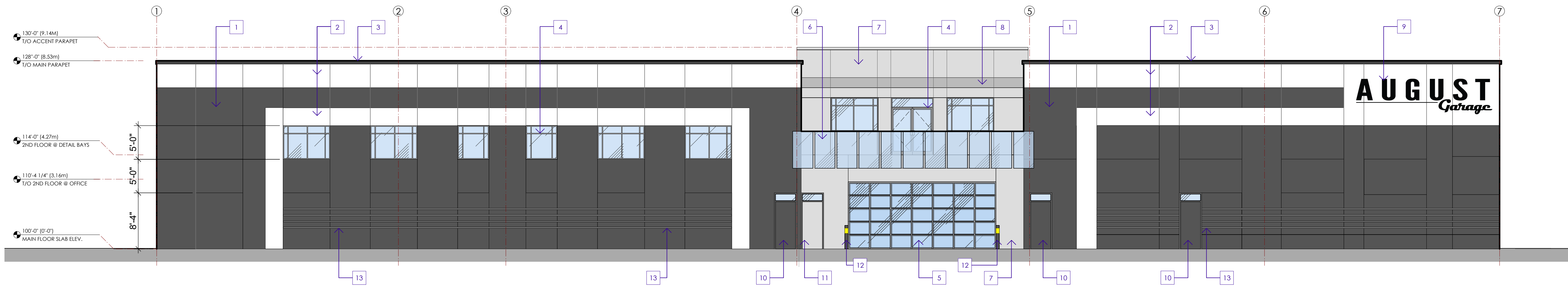
1 2ND FLOOR / MEZZANINE PLAN
SCALE: 1/8" = 1'-0"



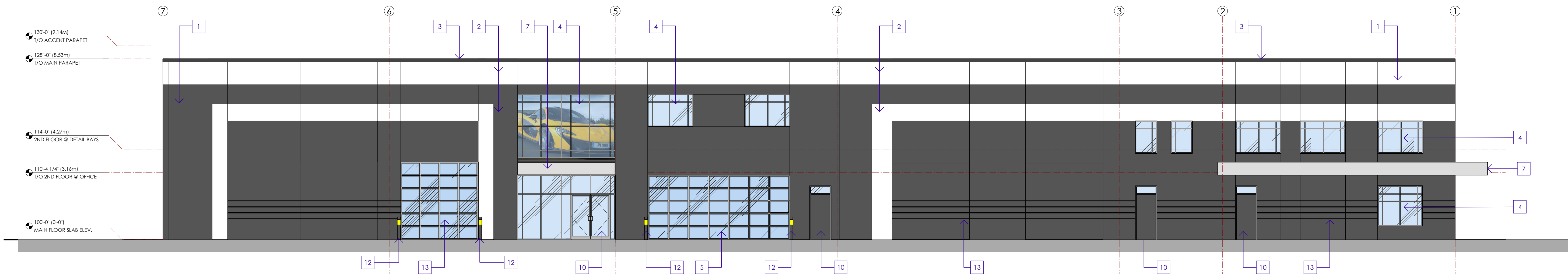
1 SOUTH ELEVATION
1/8" = 1'-0"



2 NORTH ELEVATION
1/8" = 1'-0"



3 EAST ELEVATION (HIGHWAY 97)
1/8" = 1'-0"



4 WEST ELEVATION (HIGHWAY 97)
1/8" = 1'-0"

EXTERIOR FINISH LEGEND:	
1	MAIN COLOR 1 - PAINTED CONCRETE PANEL COLOR: Benjamin Moore "Black Ash" #0657
2	ACCENT COLOR - PAINTED CONCRETE PANEL COLOR: Benjamin Moore "Brilliant White" #0150
3	PRE-FINISHED METAL FLASHING AT PARAPET CASCADE METALS - MATT BLACK
4	STOREFRONT / CURTAINWALL GLAZING COLOR: CLEAR ANNOXIDIZED ALUMINUM
5	PRE-FINISHED INSULATED O/H DOOR COLOR: GREY/SILVER W/ GLAZING PANELS
6	GLASS GUARD CLEAR GLASS
7	METAL PANEL WALL / METAL CANOPY COL: BRILLIANT SILVER METALLIC
8	ACCENT METAL PANEL WALL / METAL CANOPY COL: ANTHRACITE SILVER METALLIC
9	PAINTED SIGNAGE - REFER TO SIGNAGE PERMIT INFORMATION - A3.00
10	PAINTED STEEL MAIN DOOR AND FRAME COLOR: Benjamin Moore "Black Ash" #0657
11	PAINTED STEEL MAIN DOOR AND FRAME COLOR TO MATCH METAL PANEL - ITEM 7
12	PAINTED STEEL BOLLARD
13	CONCRETE REVEALS

WALL SIGN - PERMIT INFORMATION



WALL SIGN - EAST FRONTAGE:
PER SIGN BYLAW 11530
ALLOWABLE AREA: 1sq.m / 1lin. m OF FRONTAGE
ACTUAL LIN. m OF FRONTAGE: 61m (200ft.)
ALLOWABLE WALL SIGN AREA: 61 sq.m
ACTUAL WALL SIGN AREA: 11.7 sq.m

WALL SIGN - SOUTH FRONTAGE:
PER SIGN BYLAW 11530
ALLOWABLE AREA: 1sq.m / 1lin. m OF FRONTAGE
ACTUAL LIN. m OF FRONTAGE: 25.9m (85ft.)
ALLOWABLE WALL SIGN AREA: 25.9 sq.m
ACTUAL WALL SIGN AREA: 11.7 sq. m



**BLUEGREEN
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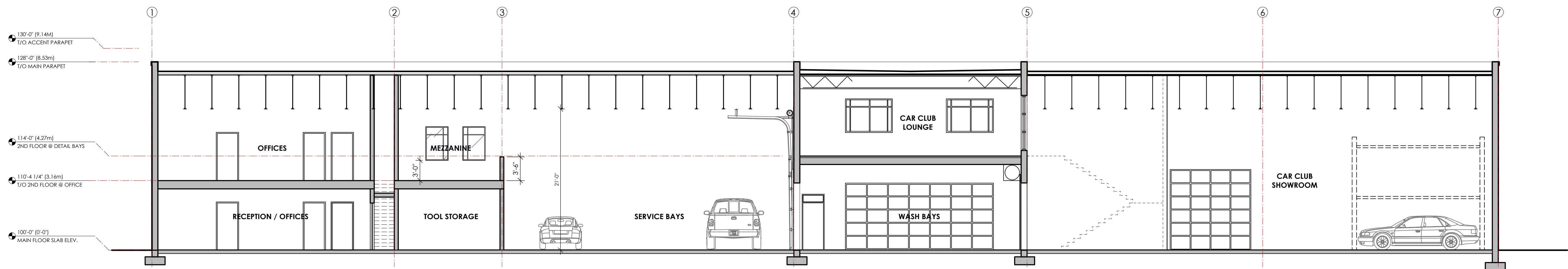
AUGUST VEHICLE SERVICE FACILITY

BUILDING ELEVATIONS & SIGN PERMIT

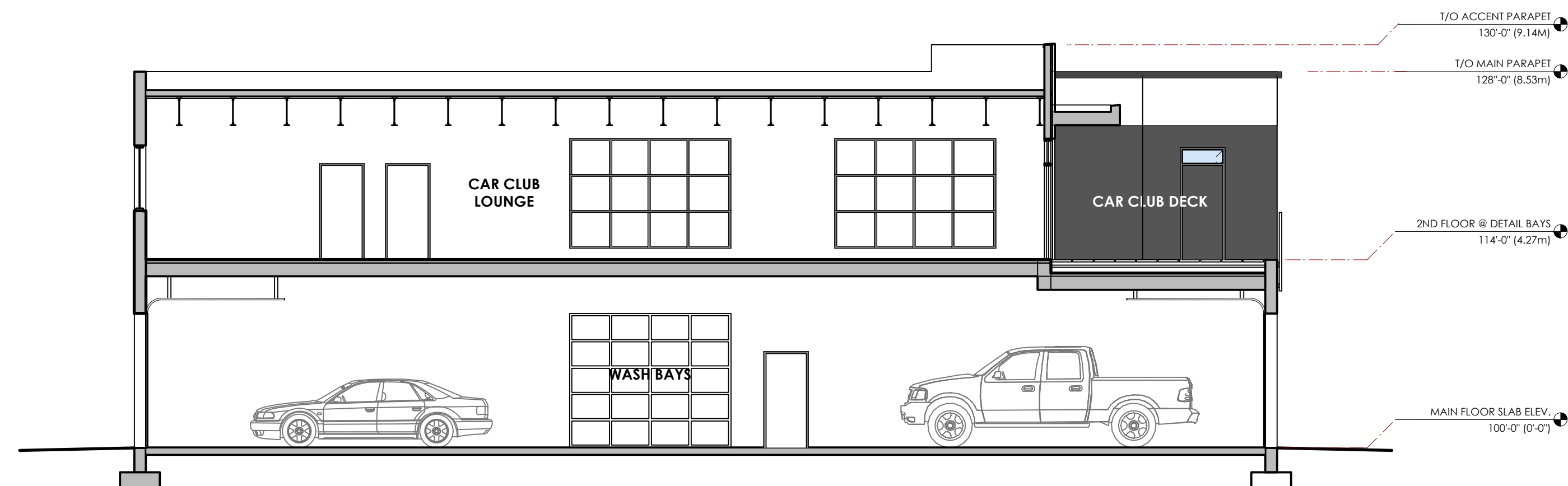
DATE 2021.05.27
SCALE 1/8" = 1'-0"
ISSUED FOR DP

PROJECT 20.833

A3.00



1 BUILDING SECTION
A2.00
1/8" = 1'-0"



2 BUILDING SECTION
A2.00
1/8" = 1'-0"



3 PHASE 2 PERSPECTIVE EAST/NORTH FACES
A0.0
SCALE: NTS



4 PHASE 2 PERSPECTIVE SERVICE ENTRY (SW CORNER)
A0.0
SCALE: NTS