

Your electronic signature is a representation that you are a British Columbia land surveyor and a subscriber under section 168.6 of the *Land Title Act*, RSBC 1996 c.250. By electronically signing this document, you are also electronically signing the attached plan under section 168.3 of the act.

1. BC LAND SURVEYOR: (Name, address, phone number)

Surveyor General Certification [For Surveyor General Use Only]

2. PLAN IDENTIFICATION: Control Number:
Plan Number:
This original plan number assignment was done under Commission #: LTO Document Reference:

3. CERTIFICATION: Form 9 Explanatory Plan Form 9A

The field survey was completed on: (YYYY/Month/DD) The checklist was filed under ECR#:
The plan was completed and checked on: (YYYY/Month/DD)
I am a British Columbia land surveyor and certify that
this plan was completed and checked on: (YYYY/Month/DD)
that the checklist was filed under ECR#:
and that the plan is correct in accordance with Land Title Office records.

I am a British Columbia land surveyor and certify that the buildings included in this strata plan have not been previously occupied as of (YYYY/Month/DD) None Strata Form S

None Strata Form U1 Strata Form U1/U2

I am a British Columbia land surveyor and certify that the buildings shown on this strata plan are within the external boundaries of the land that is the subject of the strata plan
Certification Date: (YYYY/Month/DD)

I am a British Columbia land surveyor and certify:

1. That the buildings shown on this strata plan are within the external boundaries of the land that is the subject of the strata plan subject to clause 2 of this endorsement
2. That certain parts of the buildings are not within the external boundaries but appropriate and necessary easements of other interests are registered as set out in section 244 (1)(f) of the Strata Property Act.

Registered Charge Number(s):

Certification Date: (YYYY/Month/DD)

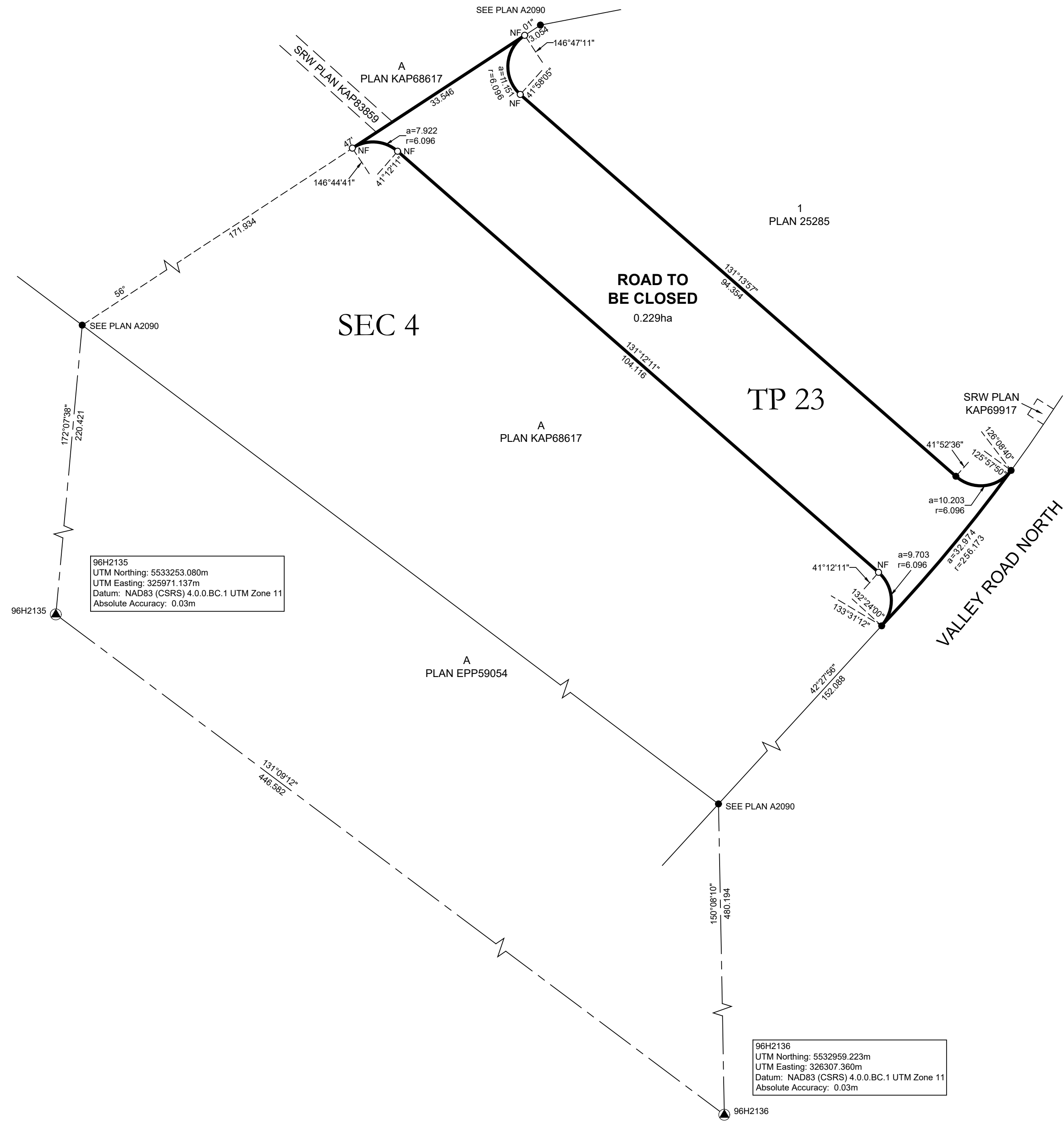
Arterial Highway I am a British Columbia land surveyor and certify that I am authorized by the Minister of Transportation and Infrastructure under section 44.1 of the Transportation Act to show certain lands identified on this plan dedicated as Arterial Highway.

Remainder Parcel (Airspace) I am a British Columbia Land Surveyor and certify that no portion of the parcels or dedications created on this plan overlap vertically, that is, lie above or below any portion of the Air Space parcels on Air Space Plan

4. ALTERATION: LTO Document Reference:

This is an alteration to a previous version of this plan identified by control number:

DESCRIPTION OF ALTERATION: SEE SCHEDULE

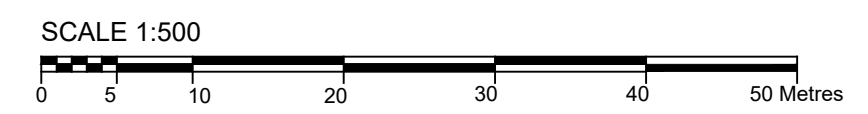


96H2135
 UTM Northing: 5533253.080m
 UTM Easting: 325971.137m
 Datum: NAD83 (CSRS) 4.0.0.BC.1 UTM Zone 11
 Absolute Accuracy: 0.03m

96H2136
 UTM Northing: 5532959.223m
 UTM Easting: 326307.360m
 Datum: NAD83 (CSRS) 4.0.0.BC.1 UTM Zone 11
 Absolute Accuracy: 0.03m

**REFERENCE PLAN TO
 ACCOMPANY BYLAW NO. 12385
 CITY OF KELOWNA TO CLOSE
 ROAD DEDICATED ON PLAN 25285
 SECTION 4 TOWNSHIP 23
 OSOYOOS DIVISION YALE
 DISTRICT**

PURSUANT TO SECTION 120 OF THE LAND TITLE ACT AND
 SECTION 40 OF THE COMMUNITY CHARTER.
 BCGS 82E.093



The intended plot size of this plan is 560mm in width by 432mm in height (C size) when plotted at a scale of 1:500.

- LEGEND**
- Found Standard Iron Post
 - Placed Standard Iron Post
 - ▲ Found Control Monument

Integrated Survey Area No. 4, City of Kelowna NAD83 (CSRS) 4.0.0.BC.1

Grid bearings are derived from GNSS observations and are referred to the central meridian of UTM Zone 11 (117° West Longitude).

The UTM coordinates and estimated absolute accuracy achieved are derived from dual frequency GNSS observations to CANNET Active Control Station BC_Kelowna.

The coordinates and absolute accuracies shown on this plan are a result of an independent and accurate GNSS survey and do not represent official published coordinates.

This plan shows horizontal ground-level distances, unless otherwise specified. To compute grid distances, multiply ground-level distance by the average combined factor of 0.999905. The average combined factor has been determined based on an ellipsoidal elevation of 425 metres.

This plan lies within the Regional District of Central Okanagan.

This plan lies within the Agricultural Land Reserve.

The field survey represented by this plan was completed on the 26th day of May, 2022.

Alexander C. Dzielski, BCLS 1035

VECTOR
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