



## CITY OF KELOWNA

## MEMORANDUM

**Date:** June 13, 2016  
**File No.:** Z16-0015  
**To:** Urban Planning Management (LK)  
**From:** Development Engineering Manager (SM)  
**Subject:** 760 Mitchell Rd Lot 13 Plan 25984 Carriage House RU1C

Development Engineering has the following requirements associated with this application.

1. **Domestic Water**

The property is located within the Rutland Water District (RWD) service area. The water system must be capable of supplying the domestic and fire flow demands of the proposed project in accordance with the Subdivision, Development & Servicing Bylaw. The developer is responsible, if necessary, to arrange with RWD staff for any service improvements and the decommissioning of existing services.

2. **Sanitary Sewer**


The subject property is located within the Local Area Service (LAS) No. 23 for South West Rutland. The proposed carriage house will trigger additional cost share for 0.5 SFE of the current payout rate for LAS No. 23 is \$5,895.14 per SFE. The cost for one SFE has previously been paid out for this property and the additional cost for the proposed carriage house is **\$2947.57** valid until March 31, 2017.

3. **Electric Power and Telecommunication Services**

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.

4. **Access and Parking Requirements**

The proposed parking configuration appears acceptable.

  
\_\_\_\_\_  
Steve Muenz, P. Eng.  
Development Engineering Manager



**Rutland**  
WATERWORKS DISTRICT

106 – 200 Dougall Road North  
Kelowna, BC V1X 3K5  
www.rutlandwaterworks.com

p: (250) 765-5218  
f: (250) 765-7763  
e: info@rutlandwaterworks.com

**ATTACHMENT B**

This forms part of application

# DP16-0080  
DVP16-0095



City of  
**Kelowna**  
COMMUNITY PLANNING

LK

## WATER SERVICE CERTIFICATE

TO: **Approving Officer for City**

RWD FILE #: 14-09

FAX # 862-3314

CITY FILE #: DP14-0098

ATTENTION: Deb Champion

Issuance Date: \_\_\_\_\_

25-Feb-16

Owner/Agent: Terrence Dewar

Service Address: 760 Mitchell Rd

Legal Description:

Lot: \_\_\_\_\_

13

Plan: \_\_\_\_\_

25984

**FINAL PROCESSING OF THE APPLICATIONS FOR THE FOLLOWING HAVE BEEN APPROVED BY THE DISTRICT:**

This is to certify that acceptable arrangements have been made with the District to complete the indicated process. This form does not confirm installation of works as of issuance date. Additional costs may be applied for water meters, backflow prevention devices etc.

Zoning Application

\_\_\_\_\_ Subdivision Application

Development Application

\_\_\_\_\_ Strata Application

Building Permit

### CONFIRMATION OF WATER SERVICE INFORMATION:

Capital Costs Paid ( Church exemption ) (PAID)

\_\_\_\_\_ Connection Deposit Paid

\_\_\_\_\_ Upgrading & hydrants

**The existing service is adequate in size, any upgrading required by another authority will be at the owners expense.**

Authorized District Official: \_\_\_\_\_

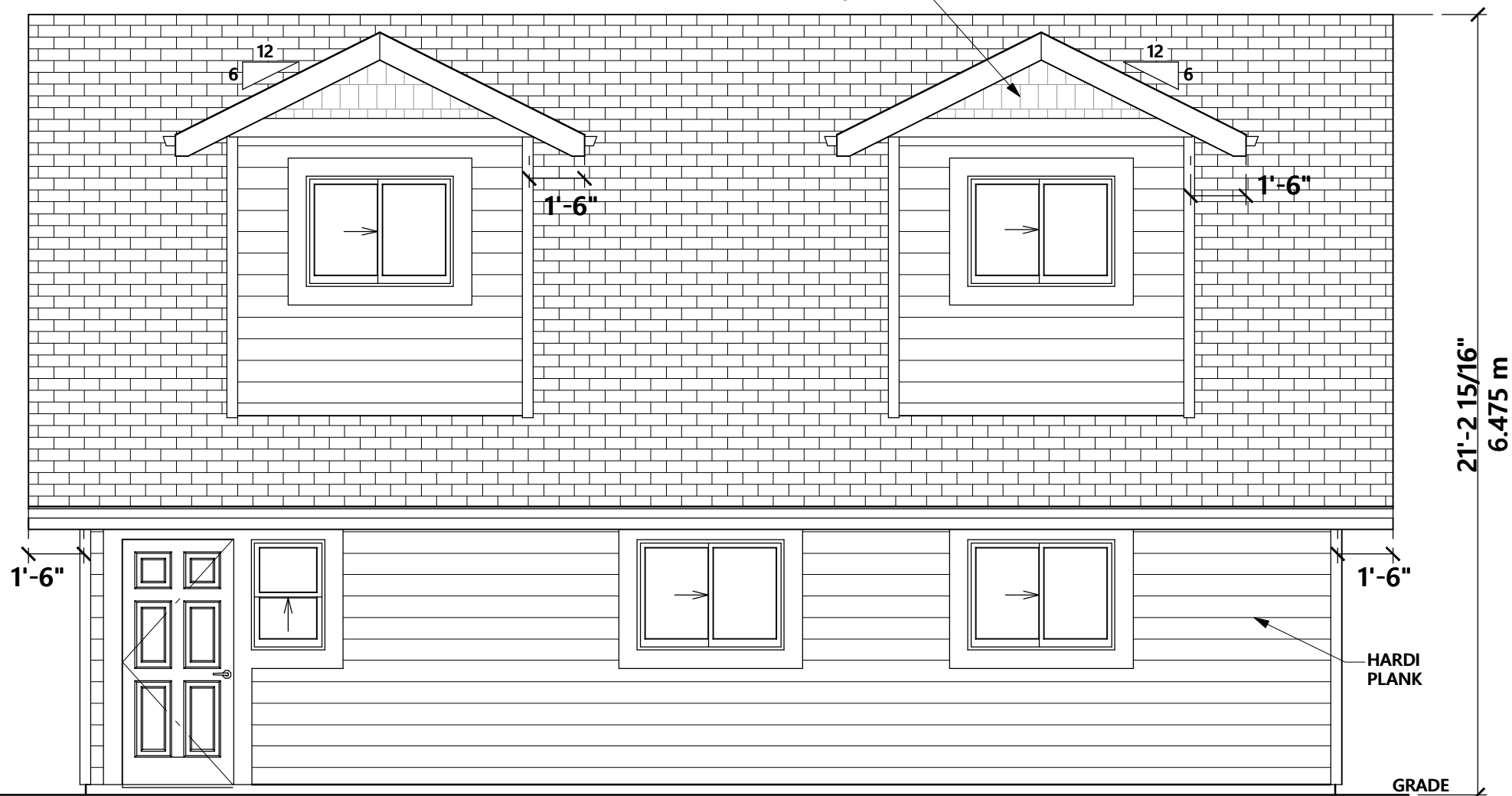
Peter Preston

Title: General Manager

This form indicates that acceptable arrangements have been made with the District. This form does not confirm installation of works as of issuance date.

Only boxes that are checked off are applicable.

HARDI-SHAKE



**FRONT ELEVATION**  
(FACING MITCHELL ROAD)



**RIGHT ELEVATION**



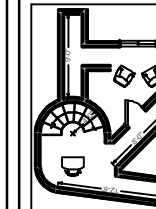
**SCHEDULE B**

This forms part of application

# DP16-0080  
DVP16-0095



Planner Initials **LK**



*R-tistry Home Design*  
design@rtistryhomedesign.com  
PH: 778-753-1051

ISSUED PLANS:	
1	SUITE ADDITION FEB 25-16
2	PLOT PLAN REVISIONS APRIL 6-16

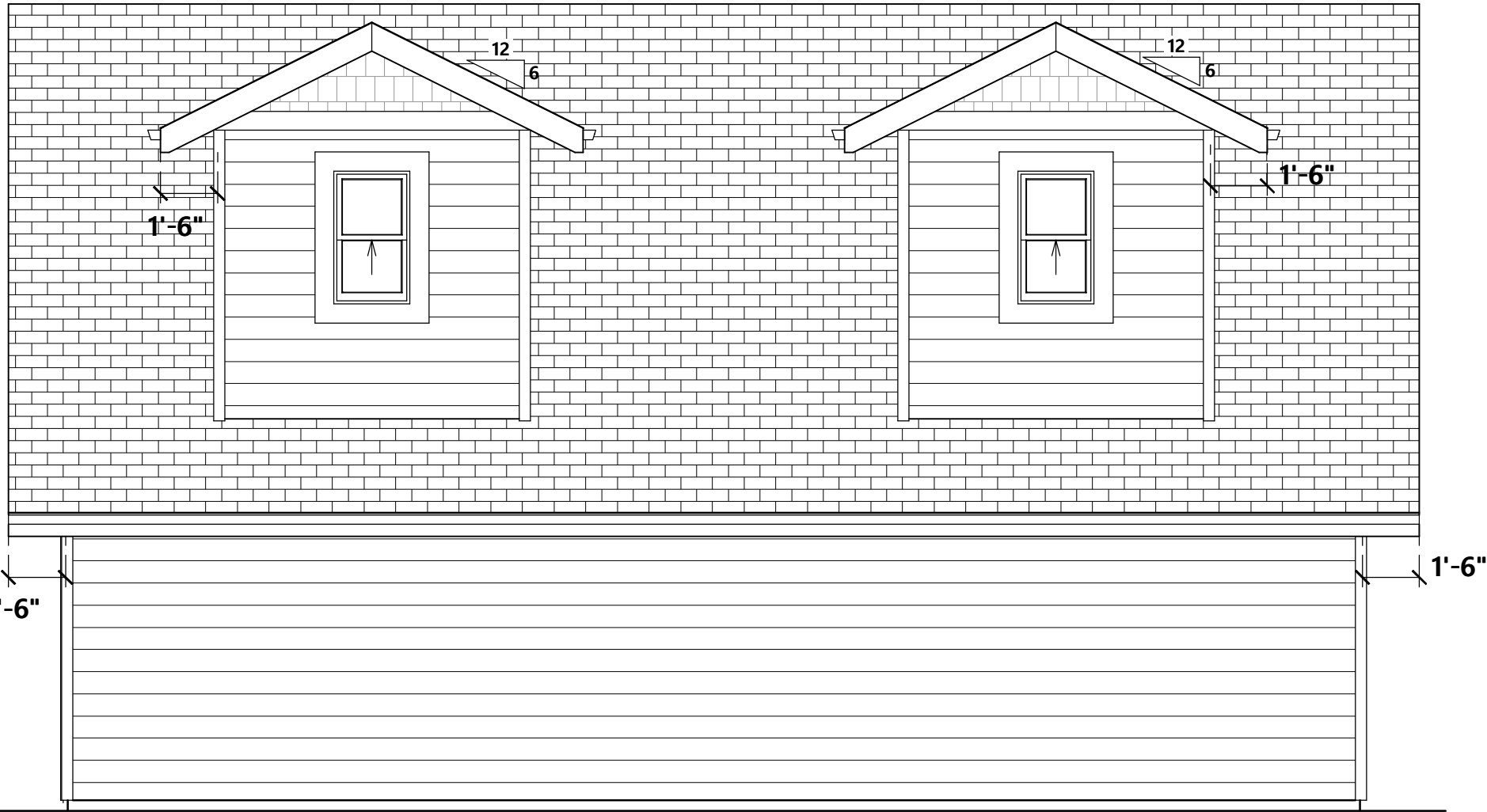
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**PROJECT TITLE:**  
760 MITCHELL RD.  
KELOWNA  
DETACHED GARAGE

**DATE:**  
4/6/2016

**SCALE:**  
1/4" = 1'

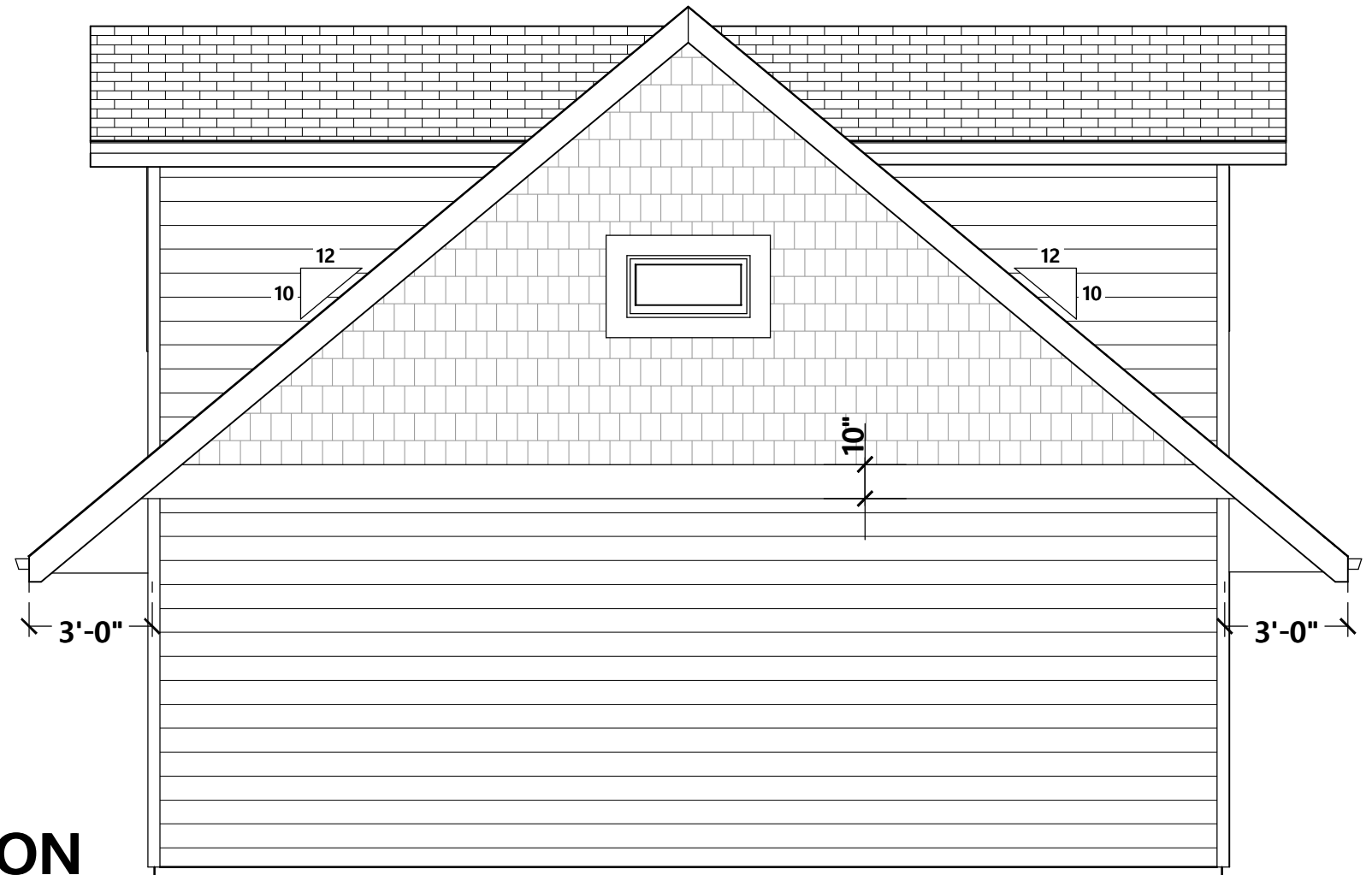
**SHEET:**  
1/13



## REAR ELEVATION

### STANDARD NOTES

1. ALL WORK SHALL CONFORM TO THE CURRENT BUILDING CODES ADOPTED BY AUTHORITIES HAVING JURISDICTION OR LOCAL BUILDING CODES AND BYLAWS WHICH MAY TAKE PRECEDENCE.
2. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS.
3. "R-TISTRY HOME DESIGN" SHALL NOT BE RESPONSIBLE FOR ANY VARIANCES FROM THE STRUCTURAL DRAWINGS AND SPECIFICATIONS, OR ADJUSTMENT REQUIRED RESULTING FROM CONDITIONS ENCOUNTERED AT THE JOB SITE AND IS THE SOLE RESPONSIBILITY OF THE OWNER/ BUILDER.
4. CONSTRUCTION LOADS ON THE STRUCTURE CAUSED BY INTERIM STORAGE OF MATERIALS OR USE OF EQUIPMENT, SHALL NOT BE ALLOWED TO EXCEED THE DESIGN LOADINGS.
5. ALL WINDOW AND DOOR SIZES AND OPERATION ARE TO BE CONFIRMED BY OWNER/BUILDER WITH THE MANUFACTURE.



## LEFT ELEVATION

### SCHEDULE B

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Planner  
Initials LK



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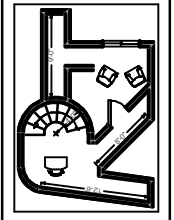
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DATE:  
4/6/2016

SCALE:  
1/4" = 1'

SHEET:  
2/13



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ISSUED PLANS:

NO.	DESCRIPTION	DATE
1	SUITE ADDITION	FEB. 25-16
2	PLOT PLAN REVISIONS	APRIL 6-16

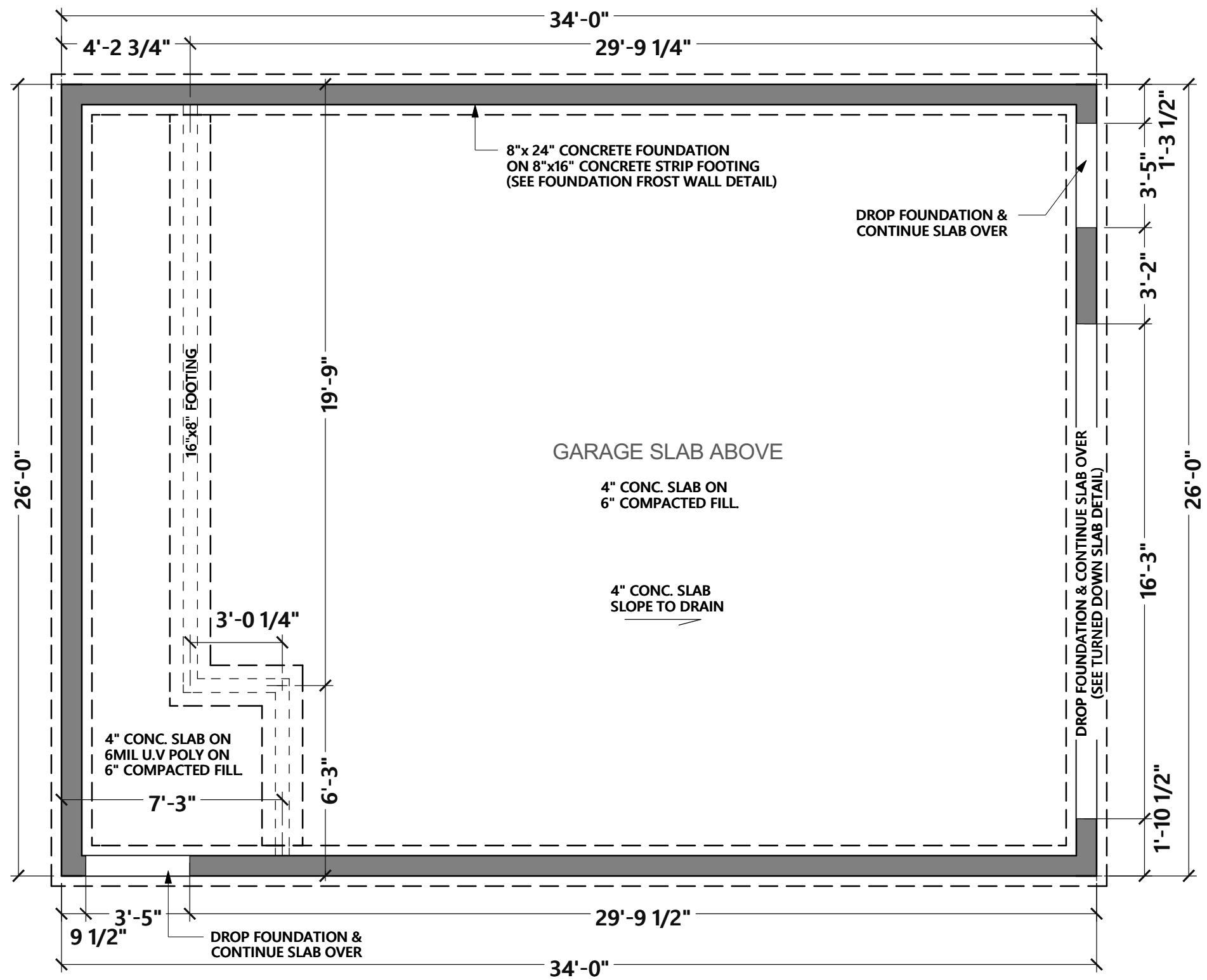
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 KELOWNA  
 DETACHED GARAGE

**DATE:**  
 4/6/2016

**SCALE:**  
 1/4" = 1'

**SHEET:**  
 3/13



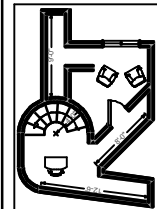
**FOUNDATION PLAN**

**SCHEDULE A**

This forms part of application  
 # DP16-0080  
 DVP16-0095

Planner Initials **LK**

City of Kelowna  
 COMMUNITY PLANNING



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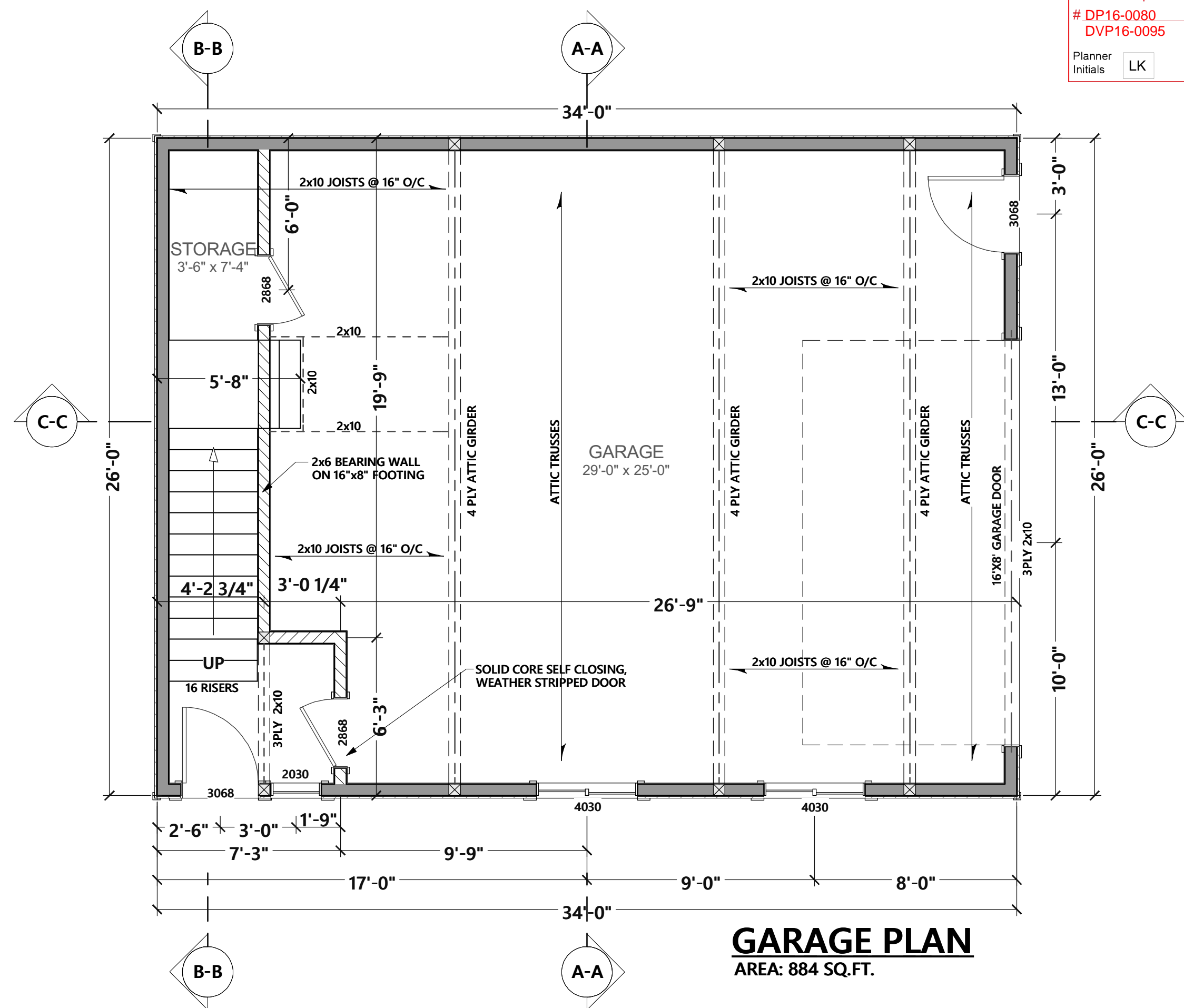
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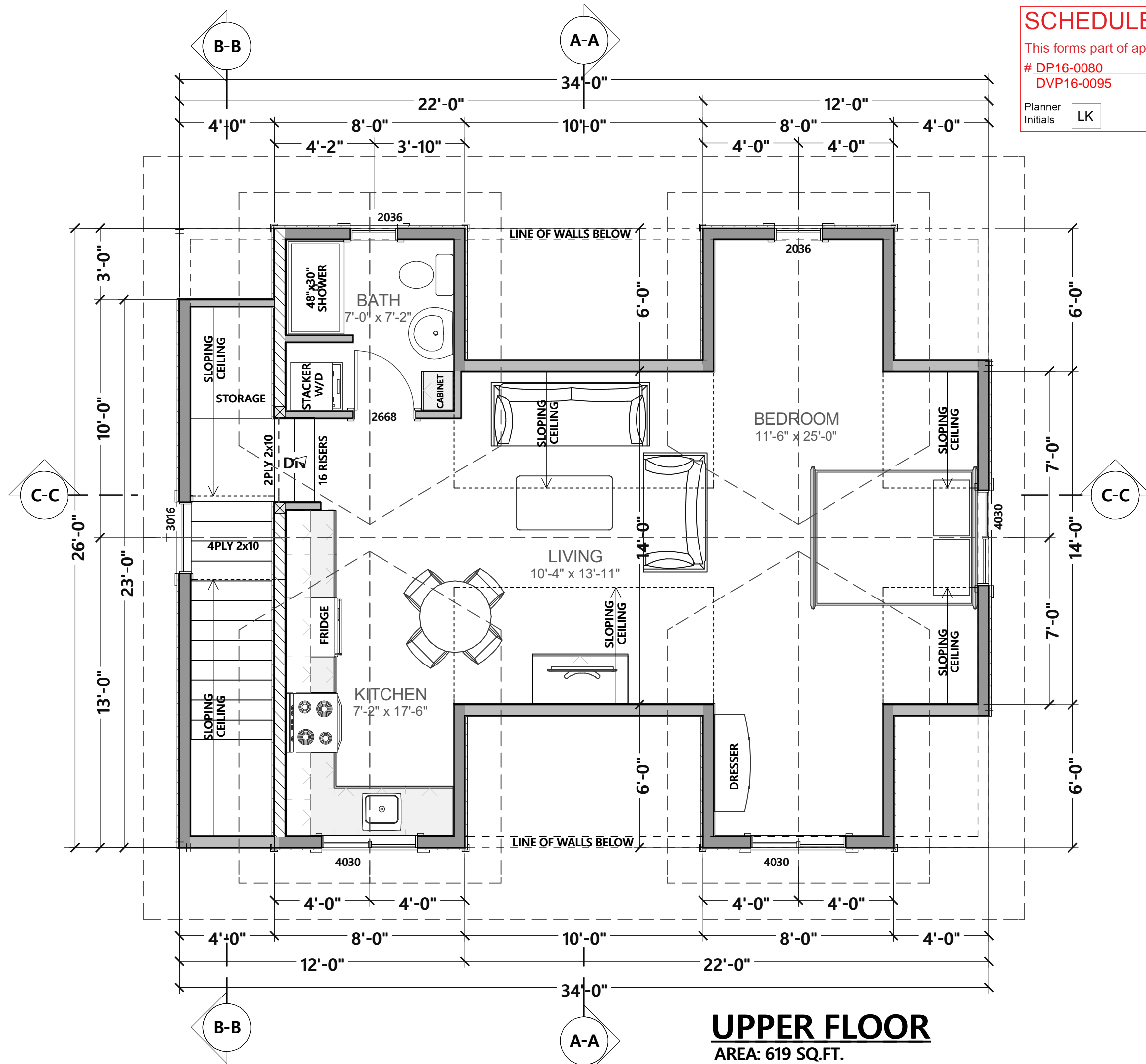
SCALE:  
 1/4" = 1'

SHEET:  
**4/13**



**GARAGE PLAN**  
 AREA: 884 SQ.FT.



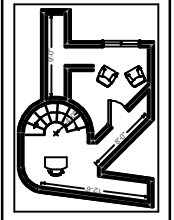


**SCHEDULE A**

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COMMUNITY PLANNING



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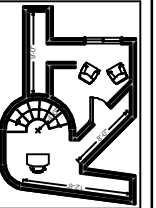
PROJECT TITLE:  
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 KELOWNA  
 DETACHED GARAGE**

DATE:  
**4/6/2016**

SCALE:  
**1/4" = 1'**

SHEET:  
**5/13**

**UPPER FLOOR**  
 AREA: 619 SQ.FT.



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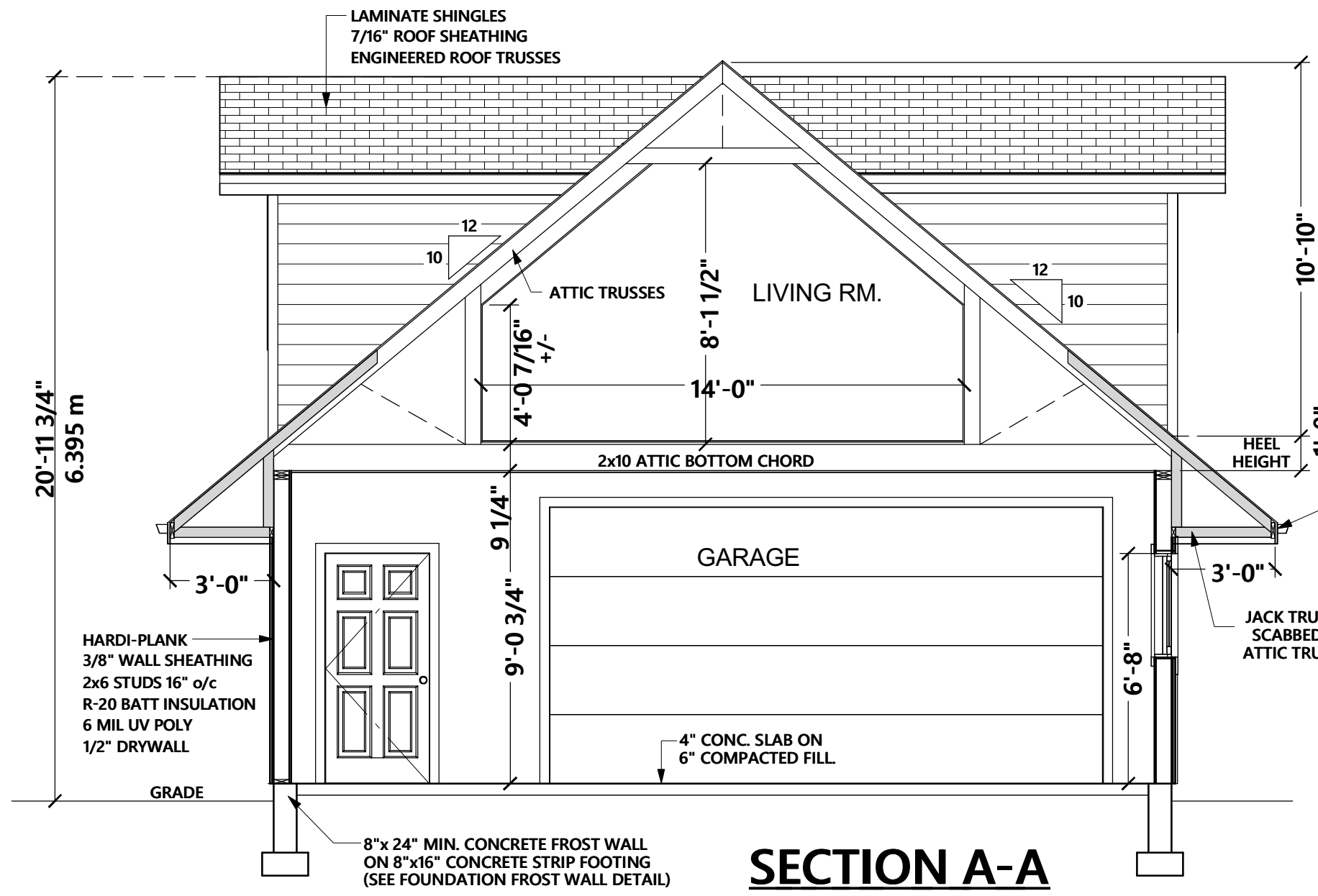
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**SCALE:**  
1/4" = 1'

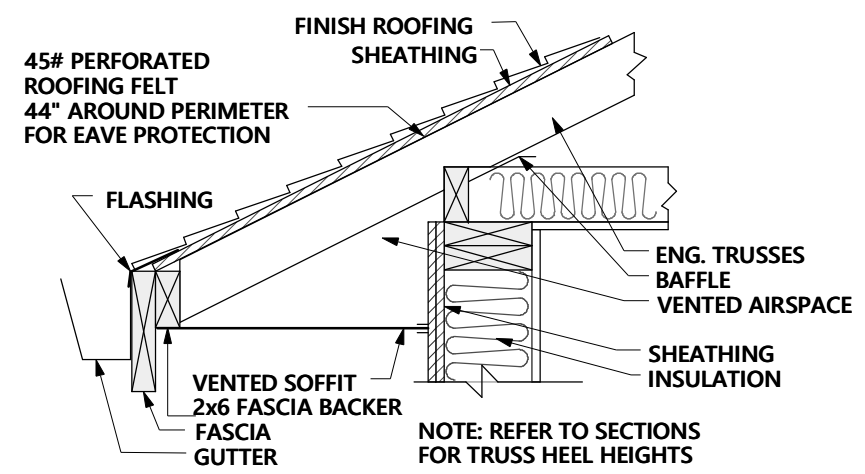
**SHEET:**

**6/13**

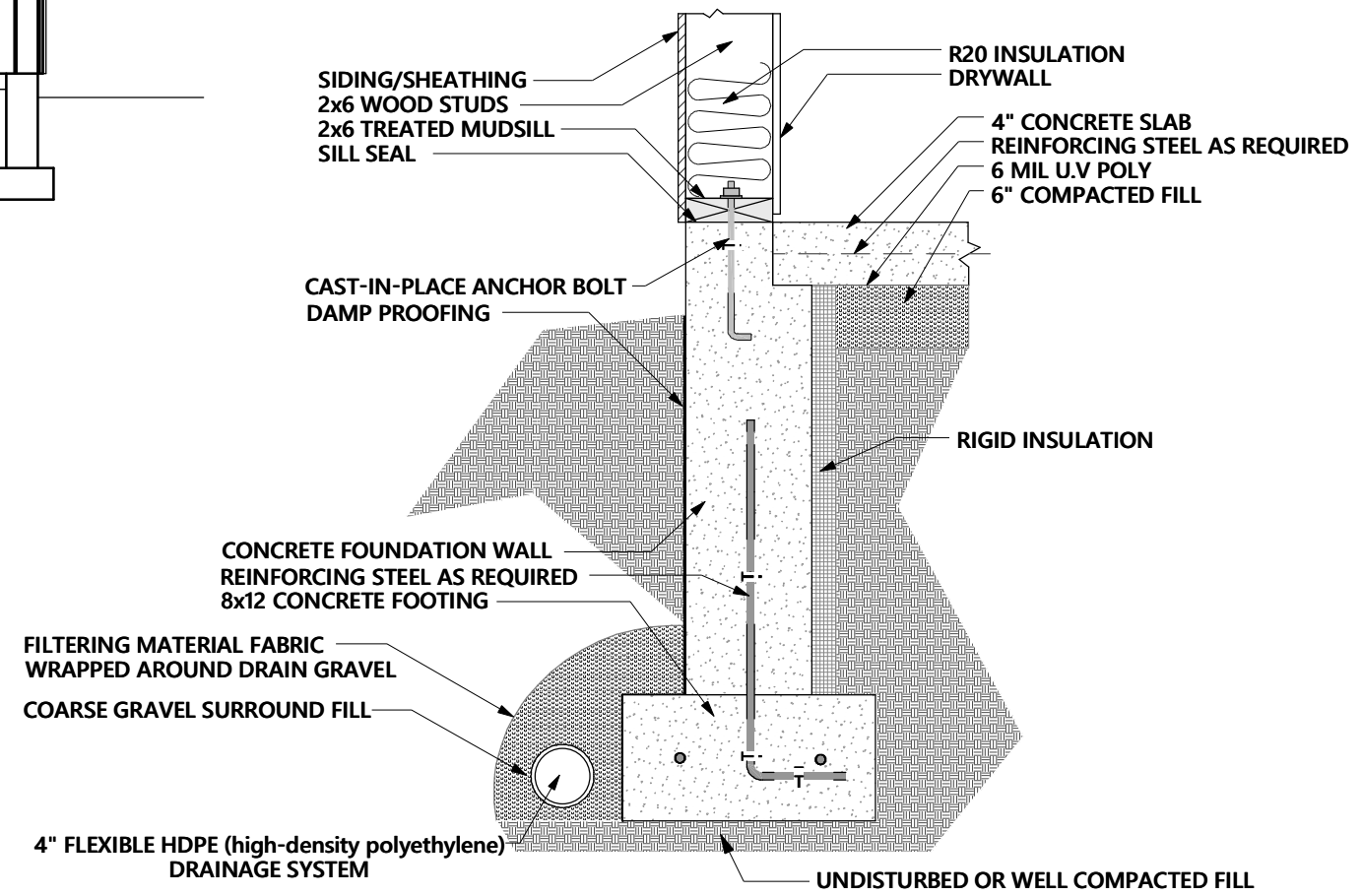


**SECTION A-A**

**ERRORS AND OMISSIONS**  
"R-TISTRY HOME DESIGN" MAKES EVERY EFFORT TO PROVIDE COMPLETE AND ACCURATE HOME PLANS. HOWEVER, WE ASSUME NO LIABILITY FOR ANY ERRORS OR OMISSIONS WHICH MAY EFFECT CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND DETAILS BEFORE PROCEEDING WITH CONSTRUCTION. SHOULD ANY DISCREPANCIES BE FOUND ON THESE PLANS PLEASE ADVISE "R-TISTRY HOME DESIGN" AT YOUR EARLIEST CONVENIENCE. BY DOING SO WE WILL BE ABLE TO MAKE CORRECTIONS TO THE DRAWINGS AND REPLACE ANY PLANS PURCHASED IF NECESSARY. IN THIS WAY WE CAN BETTER SERVE YOU AND PREVENT ERRORS FROM RECURRING.



**ROOF OVERHANG**  
SCALE: 1" = 1'-0"



**FOUNDATION FROST WALL: 24" (MIN)**  
SCALE: 1" = 1'-0"



## CODES AND STANDARDS

All workmanship is to be of a standard equal in all respects to good building practice.

At the time of preparation, this plan was drawn in accordance with the current edition of the B.C. Building Code. It is the responsibility of the owner/builder to insure that changes made to the code are complied with and all amendments are incorporated in the construction of this plan. All work shall conform to local building codes and bylaws which may take precedence.

Prior to proceeding with construction, the owner/builder must verify all information, dimensions and specifications of this plan. Written dimensions always take precedence over scale measurements.

Any variance from structural drawings and specifications or from conditions encountered at the job site, shall be resolved by the owner/builder and such solutions shall be their sole responsibility.

## CONCRETE & FOOTINGS

All concrete to have a minimum compressive strength of 2,900 PSI (20 mPa) at 28 days.

Concrete footings must be placed on undisturbed or compacted soil to an elevation below frost penetration. Footings shown on these drawings have been designed for soil bearing capacity of 2,500 PSF. If a lesser bearing capacity is encountered, it is the responsibility of the owner/builder to have the footings redesigned by qualified persons to suit existing conditions.

All foundation walls 24" (600 mm) and higher should have one horizontal 10 mm reinforcing bar 3" (75 mm) from the top. Corner reinforcing to be lapped minimum 24" (600 mm).

All footings are to have two ½" reinforcing bars. The reinforcing bars are to be situated such that one bar is 3" (75 mm) clear of the side and bottom of the footing on both sides of the footing.

Grades shown on elevations are estimated. Adjust on site as required. Retaining walls other than the foundation walls of the residence are beyond the scope of these drawings unless otherwise noted.

## INSULATION / VENTILATION

Minimum insulation requirements:

Roof/Ceiling – R 44  
Walls – 2 x 6 – R 20  
Garage Ceiling – R 32

Ceiling insulation may be loose fill type or batt type. Wall and floor insulation must be batt type.

Walls and ceilings between residence and attached garage shall be insulated.

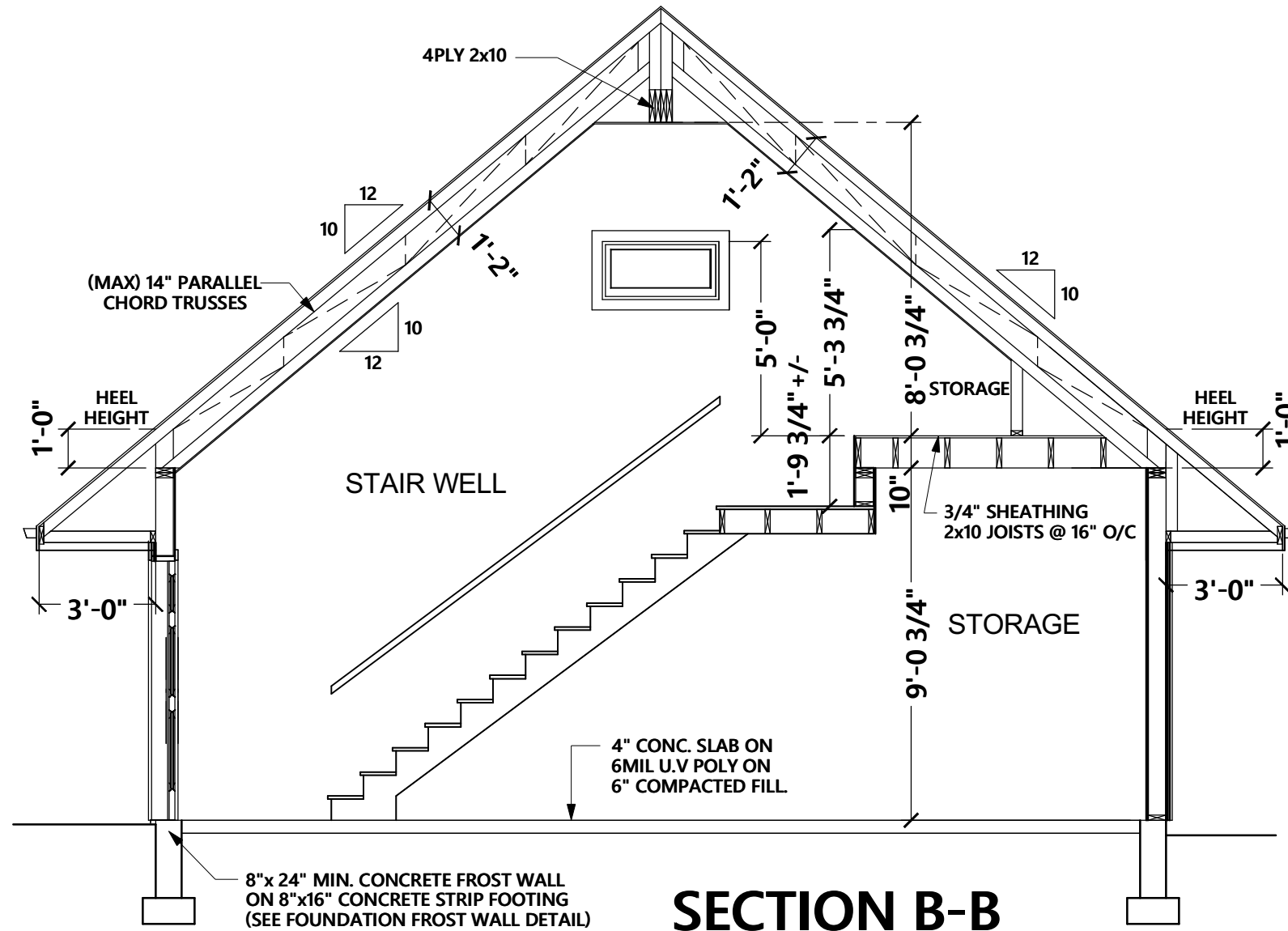
Insulation requirements may vary with heating systems and with local conditions.

All roof spaces shall be ventilated with soffit, roof or gable vents or a combination of these, equally distributed between the top of the roof space and soffits.

## ABOVE GRADE MASONRY

All above grade masonry is to conform to the BC Building Code.

If brick veneer is to be installed, counter flashing shall be installed up to 8" (200 mm) behind the building felt and below the bottom course with vertical joints raked clean. Weep holes 24" (600 mm) o.c..



## SECTION B-B

## CARPENTRY

Framing lumber shall be number two (2) or better Spruce unless otherwise specified on the plan. All beam and lintel sizes shown on the drawings to be reviewed & confirmed by truss manufacturer and contractor. Any beam or lintel sizes provided by truss/floor manufacturer take precedence.

Joists are to be doubled under parallel partitions.

Joists shall be placed to accommodate plumbing, in the event of a discrepancy please contact floor supplier before any alterations or cuts are made.

Wood in contact with concrete shall be dampproofed with 45 lb. felt or a sill plate gasket and pressure treated with a waterborne preservative or other approved method on exterior walls.

Interior framing to be 4" (100 mm) clear of back and sides of firebox and 2" (50 mm) clear of brick chimneys. Frame exterior walls 1" (25 mm) clear from exterior fireplaces.

Plates are to be anchored to concrete with ½" anchor bolts, maximum 6 ft. o.c. or other approved method.

Flush framed wood members shall be anchored with 200 lb. joist hangers unless otherwise specified.

## MISCELLANEOUS

Caulk over and around all exterior openings using non-hardening caulking compound.

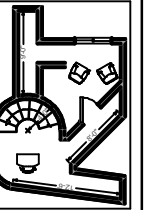
Flash all changes of materials on exterior walls.

Flash over all exterior openings.

All siding or stucco to be a minimum of 8" (200 mm) above finished grade.

All balcony railings to be 3'6" (1070 mm) in height. Maximum spacing between vertical members is 4" (100 mm). Minimum distance between horizontal rails to be 32" (800 mm). Top rail to sustain outward load of 40 lbs. per lineal foot.

Coat and clothes closets shall have at least one rod and shelf with minimum depth of 24" unless otherwise stated. Linen closet shall have 5 adjustable shelves wherever possible. Broom closets shall have on shelf.



R-tistry Home Design  
design@rtistryhomedesign.com  
PH: 778-753-1051

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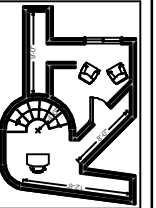
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PROJECT TITLE:  
760 MITCHELL RD.  
KELOWNA  
DETACHED GARAGE

DATE:  
4/6/2016

SCALE:  
1/4" = 1'

SHEET:  
7/13



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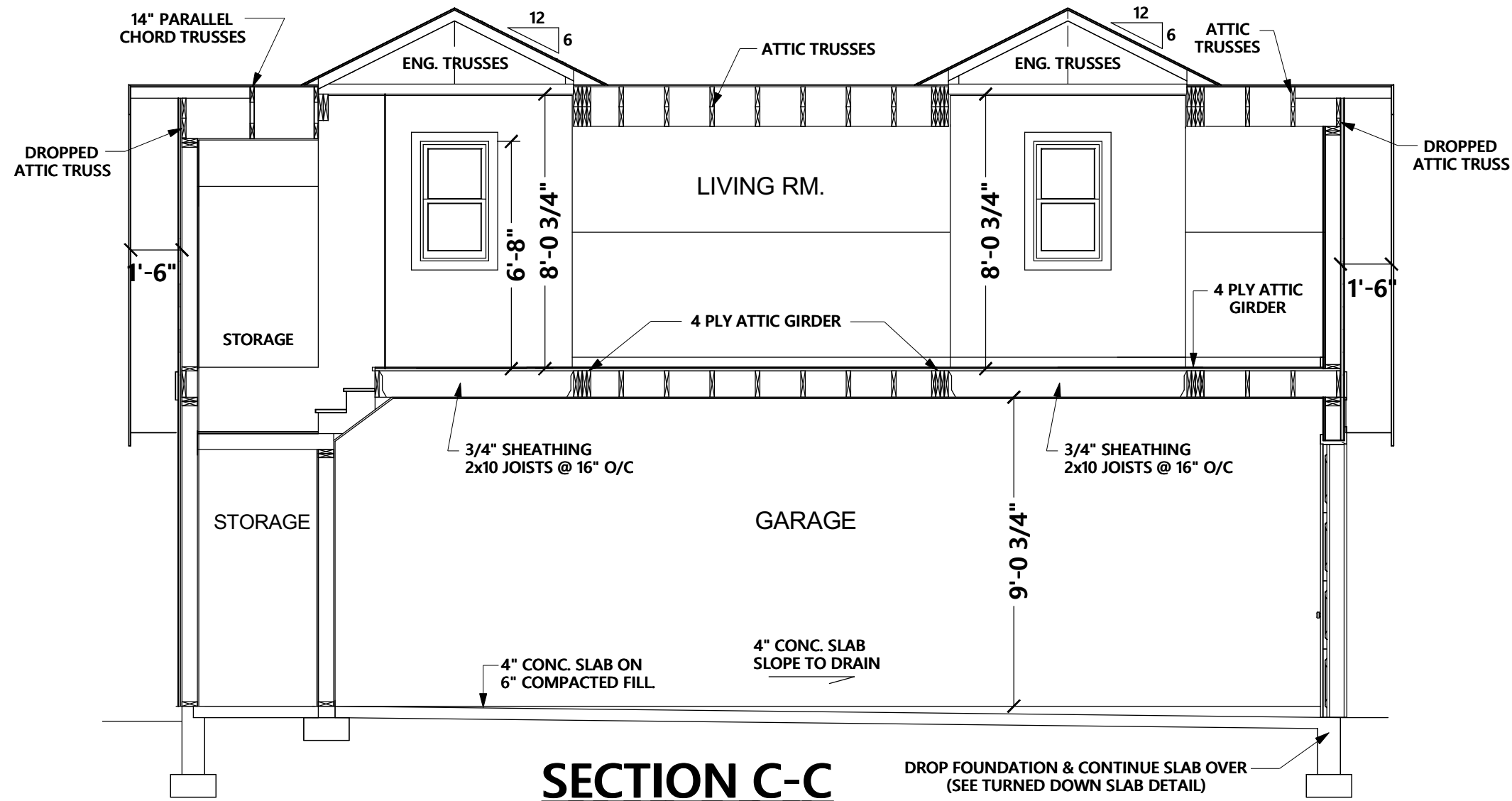
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**SCALE:**  
 1/4" = 1'

**SHEET:**  
 8/13



## SPECIFICATIONS

### INTERIOR WALLS

2x4 STUDS 16" o/c  
 1/2" DRYWALL BOTH SIDES

### FLOOR SYSTEM

3/4" T&G SHEETING  
 2x10 JOISTS @ 16" O/C

### STAIR CONSTRUCTION

PRE MANUFACTURED  
 STAIR SYSTEM

### FOUNDATION

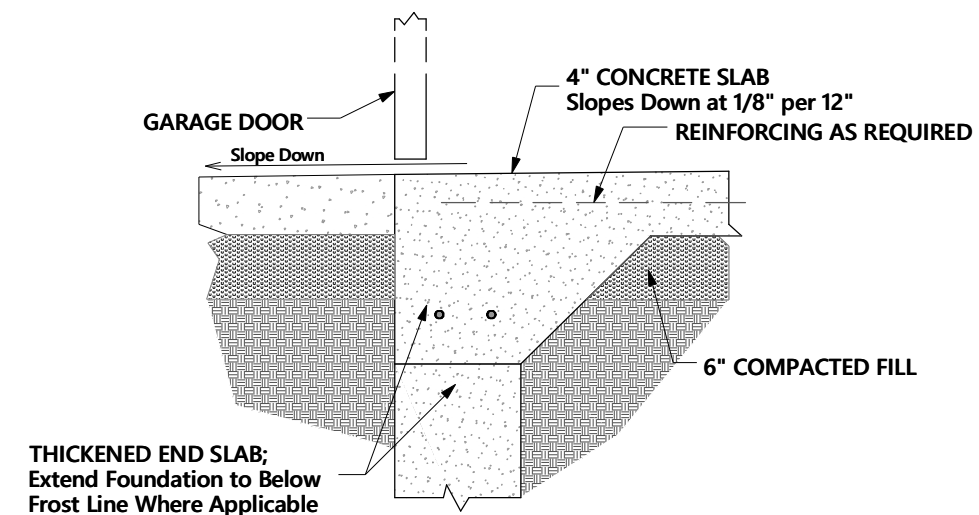
8" CONC. FOUNDATION  
 10MM REBAR  
 R12 STYROFOAM INSULATION  
 8"x16" CONC. FOOTING

### CONCRETE SLAB

4" CONC. SLAB  
 6 MIL UV POLY  
 6" COMPACTED GRAVEL

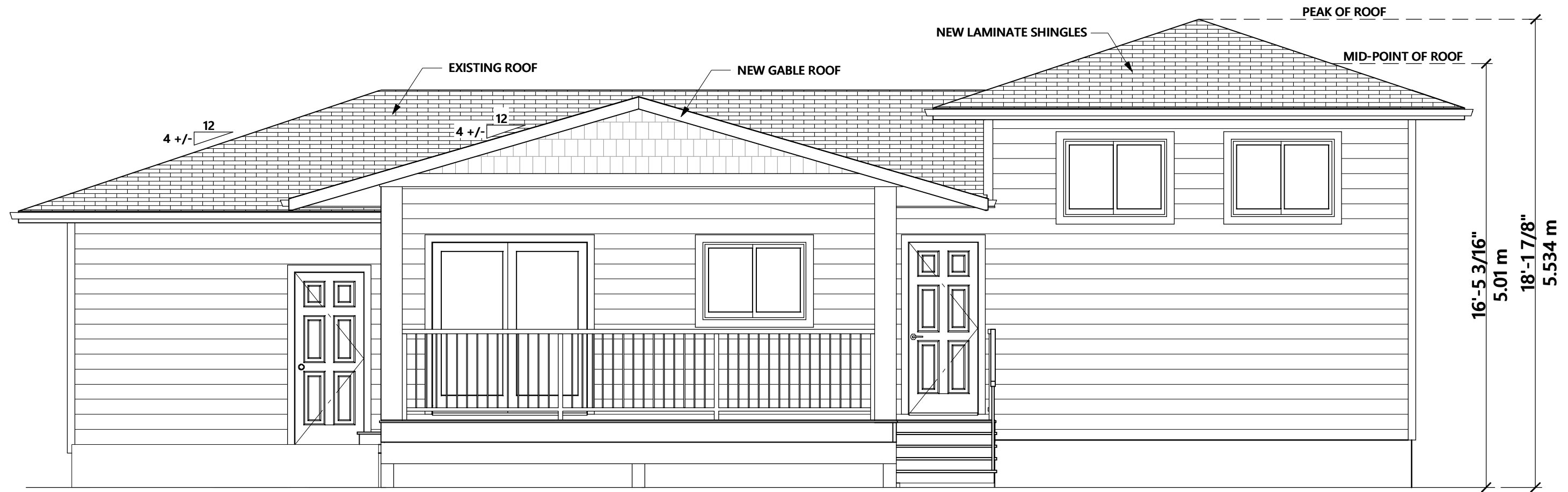
### DRAINAGE TILE

4" DRAIN TILE  
 MINIMUM 6" DRAIN ROCK  
 DRY SHEETING PAPER

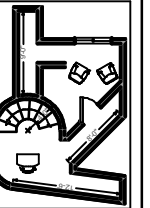


## TURNED DOWN SLAB AT GARAGE OPENING

SCALE: 1" = 1'-0"



**EXISTING HOUSE - REAR ELEVATION**



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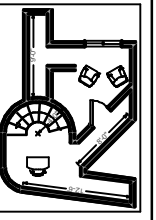
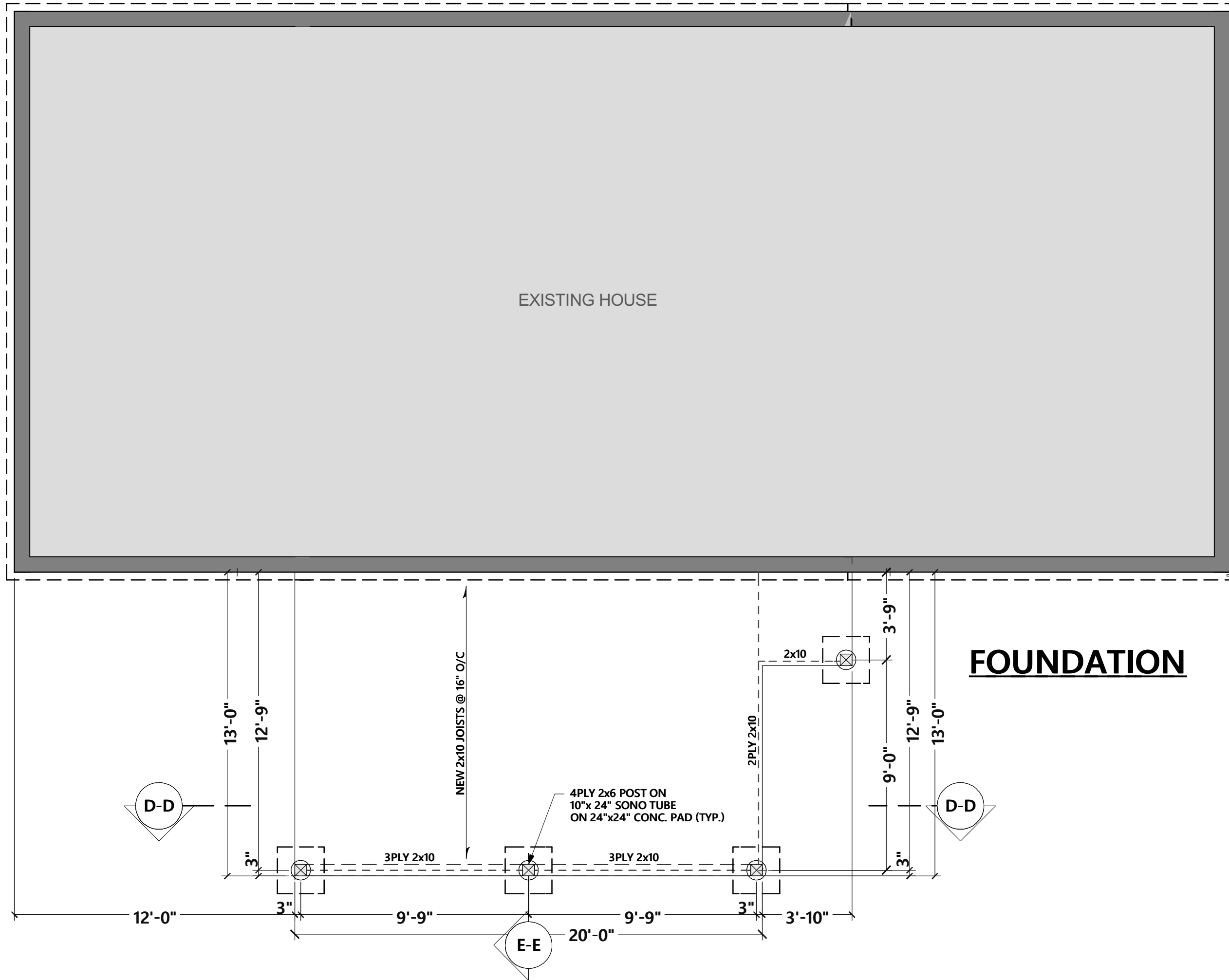
**PROJECT TITLE:**  
 760 MITCHELL RD.  
 KELOWNA  
 HOUSE - DECK ADDITION

**DATE:**  
 4/6/2016

**SCALE:**  
 1/4" = 1'

**SHEET:**  
 9/13

# HOUSE - DECK ADDITION



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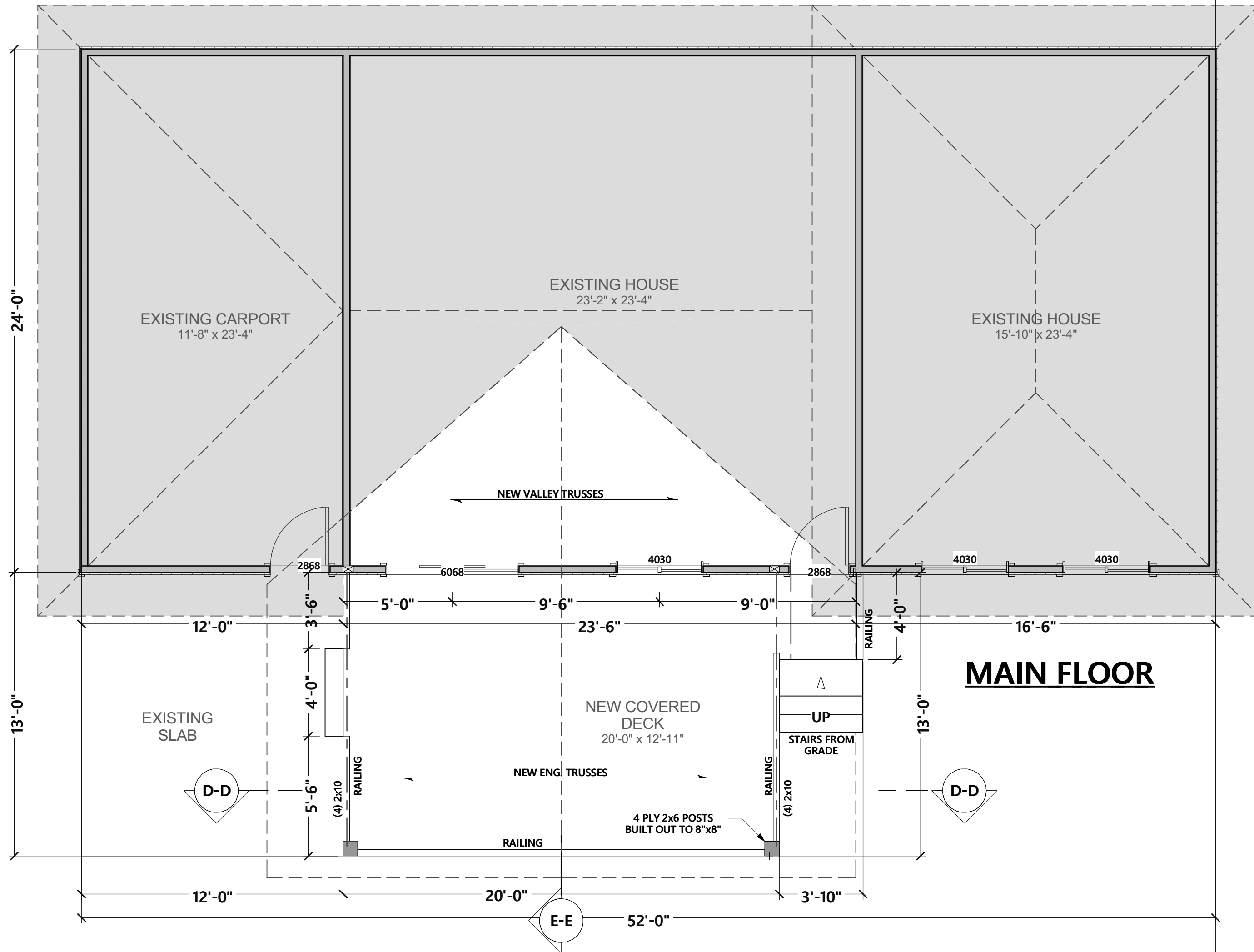
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 HOUSE - DECK ADDITION

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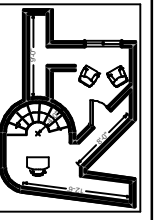
**SCALE:**  
 1/4" = 1'

**SHEET:**  
 10/13

# HOUSE - DECK ADDITION



## MAIN FLOOR



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PH: 778-753-1051

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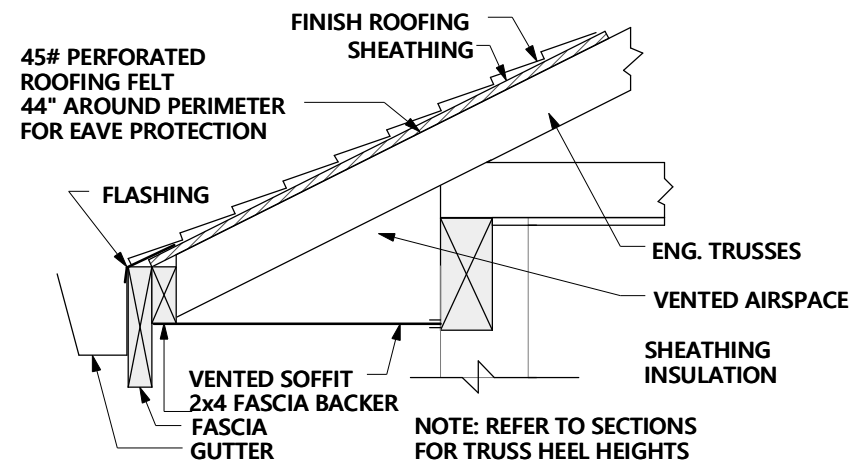
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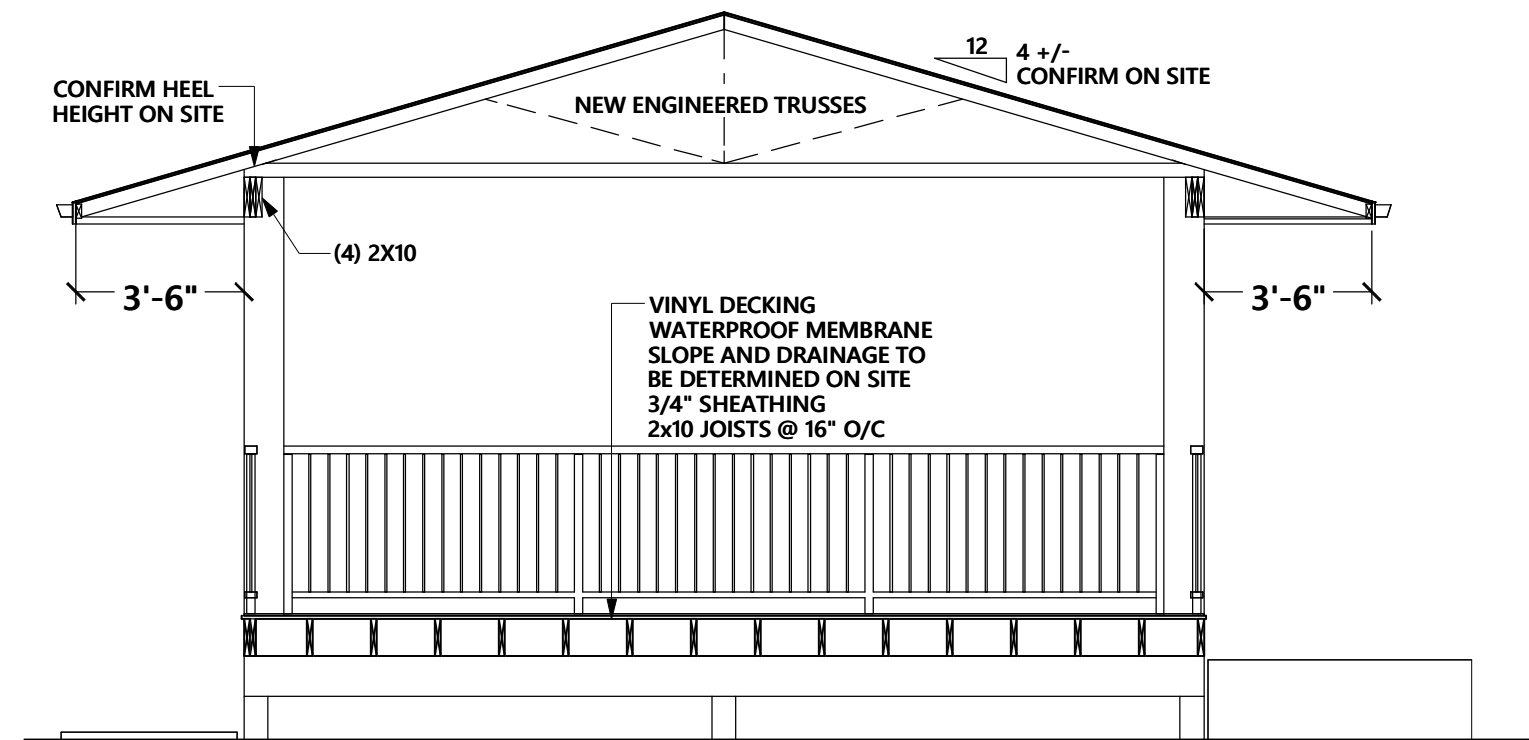
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1/4" = 1'

**SHEET:**  
11/13

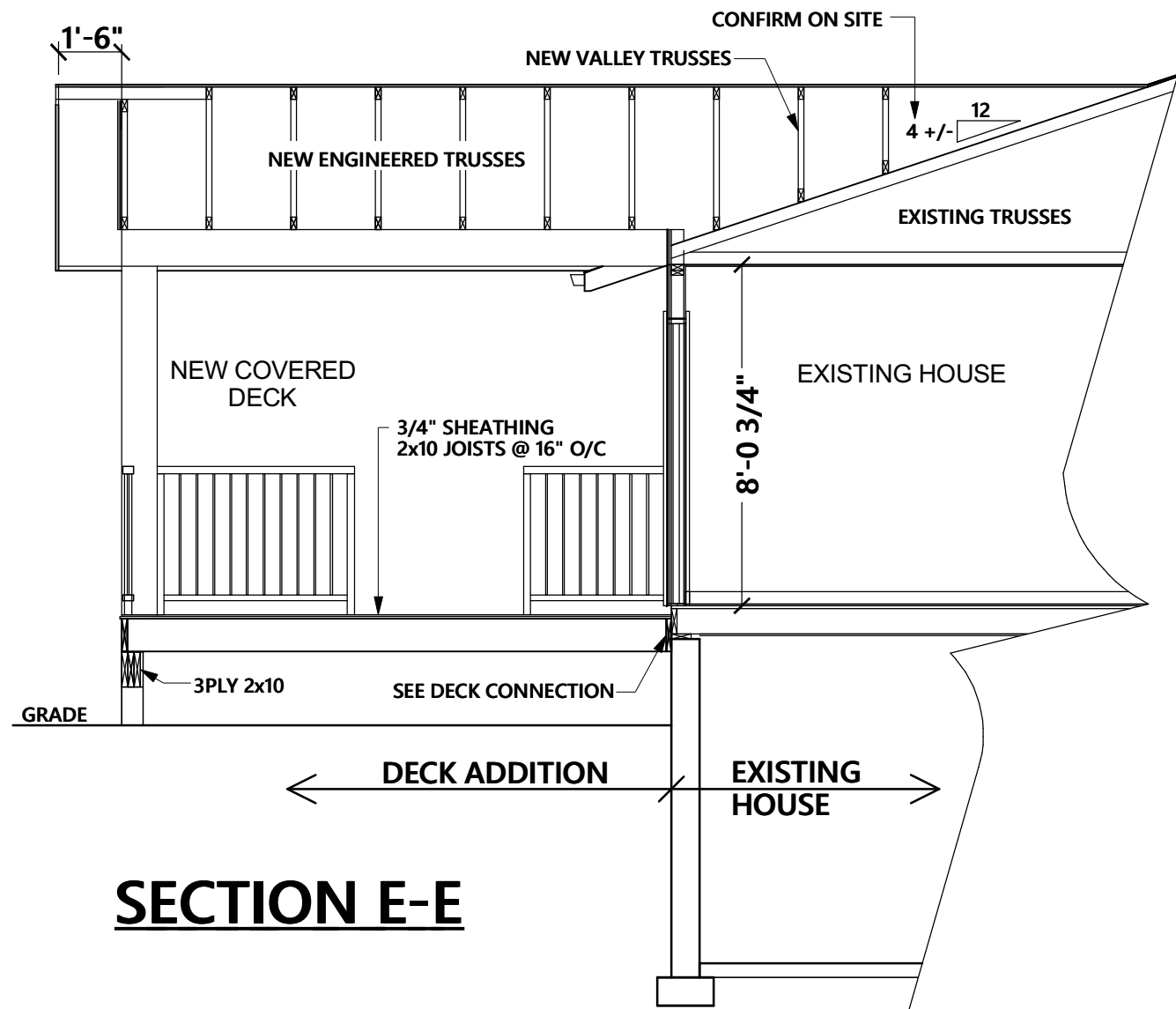


### ROOF OVERHANG

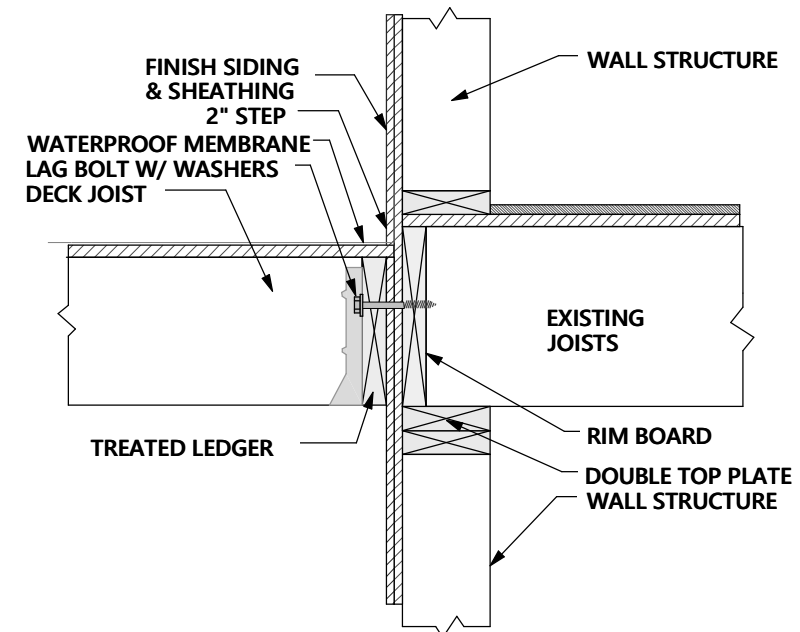
SCALE: 1" = 1'-0"



### SECTION D-D

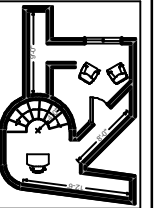


### SECTION E-E



### DECK CONNECTION

SCALE: 1" = 1'-0"



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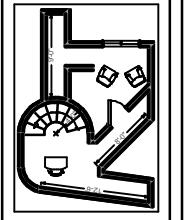
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PERMISSION FROM SAME

**PROJECT TITLE:**  
760 MITCHELL RD.  
KELOWNA  
HOUSE - DECK ADDITION

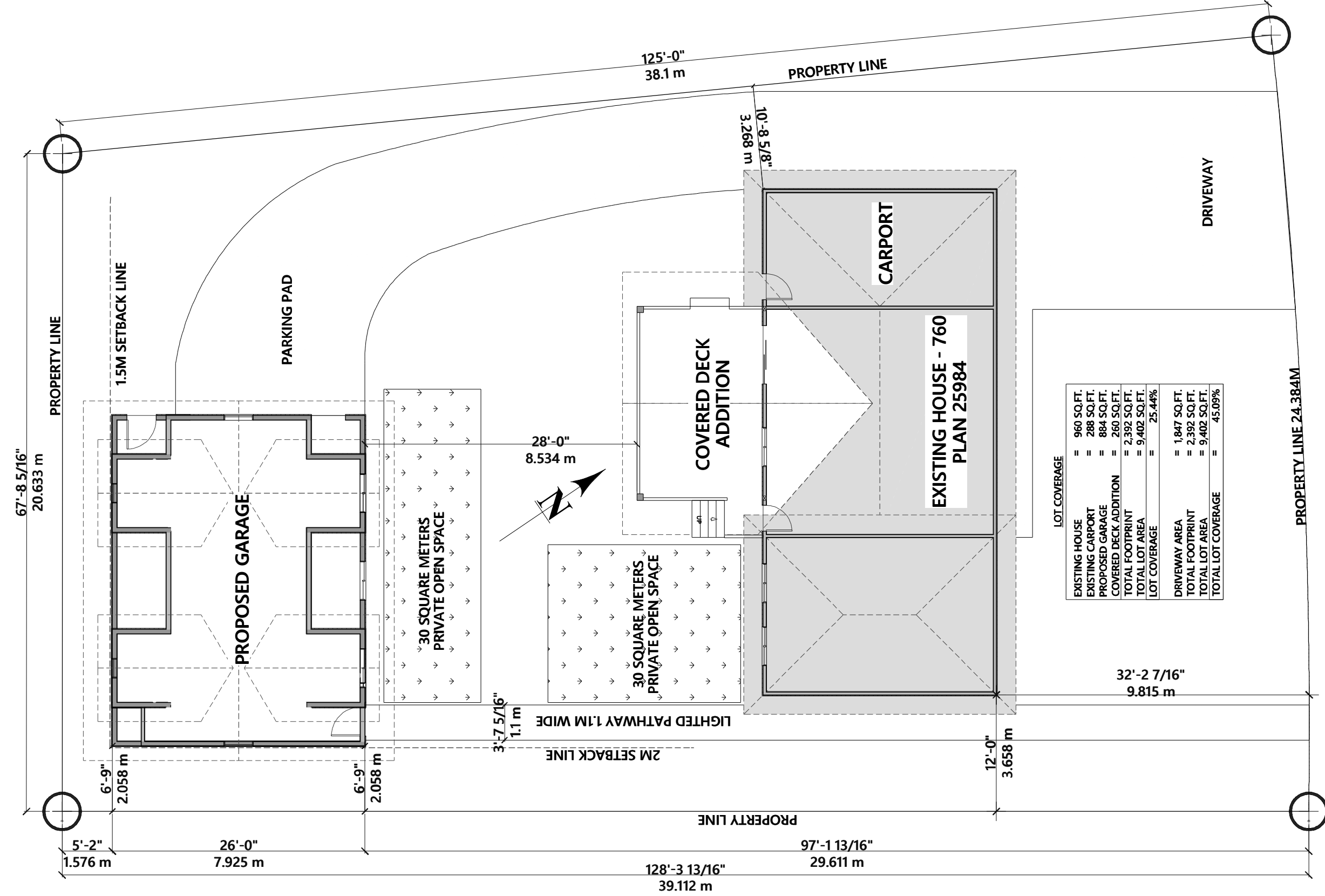
**DATE:**  
4/6/2016

**SCALE:**  
1/4" = 1'

**SHEET:**  
12/13



*R-tistry Home Design*  
 design@rtistryhomedesign.com  
 PH: 778-753-1051



LOT COVERAGE	
EXISTING HOUSE	= 960 SQ.FT.
EXISTING CARPORT	= 288 SQ.FT.
PROPOSED GARAGE	= 884 SQ.FT.
COVERED DECK ADDITION	= 260 SQ.FT.
<b>TOTAL FOOTPRINT</b>	<b>= 2,392 SQ.FT.</b>
<b>TOTAL LOT AREA</b>	<b>= 9,402 SQ.FT.</b>
<b>LOT COVERAGE</b>	<b>= 25.44%</b>
DRIVEWAY AREA	= 1,847 SQ.FT.
<b>TOTAL FOOTPRINT</b>	<b>= 2,392 SQ.FT.</b>
<b>TOTAL LOT AREA</b>	<b>= 9,402 SQ.FT.</b>
<b>TOTAL LOT COVERAGE</b>	<b>= 45.09%</b>

**PLOT PLAN**  
 SCALE: 3/32" = 1'

ISSUED PLANS:	
1	SUITE ADDITION FEB 25-16
2	PLOT PLAN REVISIONS APRIL 6-16

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**PROJECT TITLE:**  
 760 MITCHELL RD.  
 KELOWNA  
 DETACHED GARAGE

**DATE:**  
 4/6/2016

**SCALE:**

**SHEET:**  
 13/13



# DEVELOPMENT PERMIT / DEVELOPMENT VARIANCE PERMIT



## APPROVED ISSUANCE OF DEVELOPMENT PERMIT / DEVELOPMENT VARIANCE PERMIT NO. DP16-0080/DVP16-0095

**Issued To:** Terence Dewar  
**Site Address:** 760 Mitchell Road  
**Legal Description:** Lot 13 Section 22 Township 26 ODYD Plan 25984  
**Zoning Classification:** RU1c - Large Lot Housing with Carriage House  
**Development Permit Area:** Intensive Residential

### SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

### 1. TERMS AND CONDITIONS

THAT Development Permit No. DP16-0080 & DVP16-0095 for Lot 13 Section 22 Township 26 ODYD Plan 25984, located at 760 Mitchell Road, Kelowna, BC to allow the construction of a carriage house be approved subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";

AND THAT variances to the following sections of Zoning Bylaw No. 8000 be granted, as shown on Schedule "A":

**Section 9.5b.1(d): Carriage House - Specific Use Regulations**

To vary the height of a carriage house to be higher than the existing principal dwelling as measured to the mid-point and roof peak of the existing principal dwelling unit.

**Section 9.5b.15: Carriage House - Specific Use Regulations**

To vary the required minimum rear yard from 2.0 m required to 1.58m proposed.

**Section 6.4.2: Projections into Yards - General Development Regulations**

To vary the projection depth of the carriage house eave from 0.60 m maximum to 1.02m proposed.

AND FURTHER THAT this Development Permit / Development Variance Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

**2. PERFORMANCE SECURITY**

None required.

**3. DEVELOPMENT**

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

**This Permit IS NOT a Building Permit.**

**4. APPLICANT'S AGREEMENT**

I hereby declare that all of the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit and/or Development Variance Permit, the Municipality may withhold the granting of any Occupancy Permit for the occupancy and / or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Divisional Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning Department immediately to avoid any unnecessary delay in processing the application.

