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**CITY OF KELOWNA**  
**MEMORANDUM**

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**Date:** July 26, 2016  
**File No.:** DP16-0152  
**To:** Community Planning (AC)  
**From:** Development Engineering Manager  
**Subject:** 3540 McKinley Beach Road                      Multi-Family Form and Character

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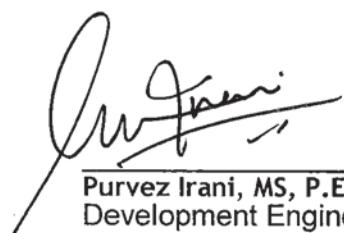
Development Engineering has the following comments and requirements associated with this application to obtain a Development Permit for the form and character of the proposed Multi Family Project.

The proposed development is within Strata Lot 45, Plan EPP53256

Development Engineering has no comment regarding the form and character of the proposed buildings.

Proposed driveway access and turn around must be acceptable to the City fire department.

For servicing requirements refer to file S16-0051



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Purvez Irani, MS, P.Eng, PTOE.  
Development Engineering Manager  
JF

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**CITY OF KELOWNA**  
**MEMORANDUM**

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**Date:** August 8, 2016  
**File No.:** DP16-0192  
**To:** Community Planning (AC)  
**From:** Development Engineering Manager  
**Subject:** 3540 McKinley Beach Road Development Permit for Form and Character

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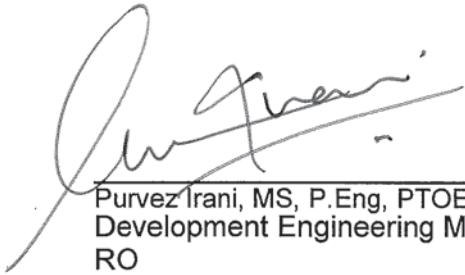
Development Engineering has the following comments and requirements associated with this application to obtain a Development Permit for the form and character of the proposed 64 Unit, 4 ½ story condo Building

The proposed development is within Strata Lot 45, Plan EPP53256

Development Engineering has no comment regarding the form and character of the proposed buildings.

Proposed driveway access and turn around must be acceptable to the City fire department.

For servicing requirements refer to file S16-0051



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Purvez Irani, MS, P.Eng, PTOE.  
Development Engineering Manager  
RO



# DEVELOPMENT APPLICATION / DESIGN RATIONALE



A15-03  
**Granite at McKinley**  
Kelowna, B.C.  
July 05, 2016

*Prepared by:*

*Prepared For:*

Acorn Homes Inc.

To be Submitted to:

City of Kelowna  
Development Services

Architecture  
Interior Design and Planning  
Building Envelope Consulting



**ARCHITECTURE**

**Garry Tomporowski** Architect Ltd  
Kelowna, B.C. 250.979.1668



## ARCHITECTURE

**Garry Tomporowski**  
Architect Ltd  
243 – 1889 Springfield Road  
Kelowna, BC Canada V1Y 5V5  
Phone: 250. 979.1668 Fax: 250.979.4366  
Email: [gtaoffice@shawbiz.ca](mailto:gtaoffice@shawbiz.ca)

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## 1.0 OVERVIEW

The Granite at McKinley Beach Project by Acorn Communities Ltd. boldly presents Kelowna with a masterfully designed and highly articulated luxury living option in the heart of McKinley Beach Resort.

With this project, the Developers of the West Avenue Lofts and Sunset Ranch are extending their expertise into the core of McKinley Landing a project to expand the standards of gracious living in one of Kelowna's newest resort communities.

Acorn Communities Ltd. together with the GTA Ltd. and Outland Design Landscape Architecture have created a Okanagan Modern designed complex consisting of 64 units in a four and a half (4 ½) storey medium rise building which takes its cues from the local terrain.

Very special attention has been paid to the landscaping both in the front edge of the building and rear yards, which help to integrate the project into the sloping site. The building has also been articulated to follow the natural contours of the landscape and take full advantage of the spectacular lake views.

## 2.0 THE PROJECT

Nestled on the slopes of the Okanagan Valley the project has ready access to kilometers of trails, is close to McKinley Beach and marina. It will also be a short walk to the nearby village centre with its shops and winery. The units will be designed for daily living with long term stays the focus. This will be a great place to come and relax any time of year, or live on a full time basis as "snowbirds".

We anticipate that this building will help to set the standard for the future of McKinley beach.

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Immediately below Granite at McKinley are The Edge duplexes and further up the hill is the proposed second phase of the development, - both developed with similar style and panache.

This design meets all of the objectives of the CD18 Area III zoning. As the community develops, more amenities will become available, further supporting the people living in the building without having to drive very far. A number of the COEPD measures have been reviewed and integrated into the design of the project.

GTA has reviewed the *Sustainability Checklist* in preparation of the project and we have included as many options as possible for consideration at this time, and many more will be considered during the Building Permit Drawings stage.

### 3.0 SITE AND PARKING ACCESS

The majority of the parking is provided under the building in secured garages which are accessed from the front of the building with covered spaces available for visitors outside.

The exposed parkade is to be decorated to blend in with the natural terrain, and offers a turnaround enclosed by a central, welcoming animated feature of stone, flowers and water.

### 4.0 THE BUILDING

An example of rustic elegance, Granite at McKinley provides modern living, gracious outdoor living space, large rooftop terraces and common area, with ample storage and parking. The building finishes and colors draw from the natural setting. Each unit is positioned to take full advantage of the elevation above Lake Okanagan allowing for spectacular views. Through careful planning the building can be built in two phases to allow one half to be occupied while the second is underway, preventing the all too common vacant construction site.

All suites have generous balconies or terraces to encourage people to enjoy the Okanagan climate. . These areas will also be serviced with gas hook-ups for barbecues. The rooftop terraces will have hot and cold water for clean-up and domestic use and the potential for hot tubs. The leading edges of the parkade roof will be designed to accommodate growing mediums and rooftop plantings are encouraged to allow for decorative plantings helping the building to blend further with its surroundings. The exposed face of the parkade will be buffered with intermediate plants in trenches and short, stepped retaining walls for planting to reduce the overall mass of the wall.

The unique single loaded corridor design, offers each suite full views of the lake, surrounding natural habitat and the distant mountain vistas. We have skillfully developed a transition area between the two halves of the buildings to break up the mass and provide visual interest, all while remaining in bounds of the total design concept.

The well articulated landscape plan, integrated with the building finishes will have the building rising out of the earth, appearing as a natural progression.

### 5.0 SUMMARY

The Developers and design team felt that the combination of a high class design coupled with leading edge technology and modern building materials will provide for a solid building project. As a

group, we feel that this will become the iconic Okanagan Resort Community, developed in quintessential style.

**END**

# DEVELOPMENT PERMIT



## APPROVED ISSUANCE OF DEVELOPMENT PERMIT

File Number DP16-0152  
Issued To: Acorn Resorts GP Ltd., Inc. No. BC0888222  
Site Address: 3450 McKinley Beach Dr  
Legal Description: Lot 45, Section 29, Township 23, ODYD, Plan EPP53256  
Zoning Classification: CD18 - McKinley Beach Comprehensive Resort Development  
Development Permit Area: Comprehensive Development Permit Area

### SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

### 1. TERMS AND CONDITIONS

THAT Development Permit No. DP16-0152 for Lot 45, Section 29, Township 23, ODYD, Plan EPP53256 located at 3450 McKinley Beach Dr, Kelowna, BC be approved subject to general conformance to the drawings (Schedule "A", "B", & "C") attached to this permit.

### 2. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Permit Holder and be paid to the Permit Holder if the security is returned. The condition of the posting of the security is that should the Permit Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Permit Holder, or should the Permit Holder carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Permit Holder. There is filed accordingly:

- a) Cash in the amount of \$ 58,878.75 OR
- b) A Certified Cheque in the amount of \$ 58,878.75 OR

c) An Irrevocable Letter of Credit in the amount of \$ 58,878.75 .

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

### 3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

**This Permit IS NOT a Building Permit.**

### 4. APPLICANT'S AGREEMENT

I hereby declare that all of the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit and/or Development Variance Permit, the Municipality may withhold the granting of any Occupancy Permit for the occupancy and / or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Divisional Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning Department immediately to avoid any unnecessary delay in processing the application.

I HEREBY UNDERSTAND AND AGREE TO ALL THE TERMS AND CONDITIONS SPECIFIED IN THIS PERMIT.

---

Signature of Owner / Authorized Agent

---

Date

---

Print Name in Bold Letters

---

Telephone No.

**5. APPROVALS**

Issued and approved by Council on the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

---

Ryan Smith, Community Planning Department Manager  
Community Planning & Real Estate

---

Date

The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall be returned to the PERMIT HOLDER





## SCHEDULE **B**

This forms part of application  
# DP16-0152

Planner  
Initials

AC





## SCHEDULE

**B**

This forms part of application

# DP16-0152

Planner  
Initials

AC







## SCHEDULE **B**

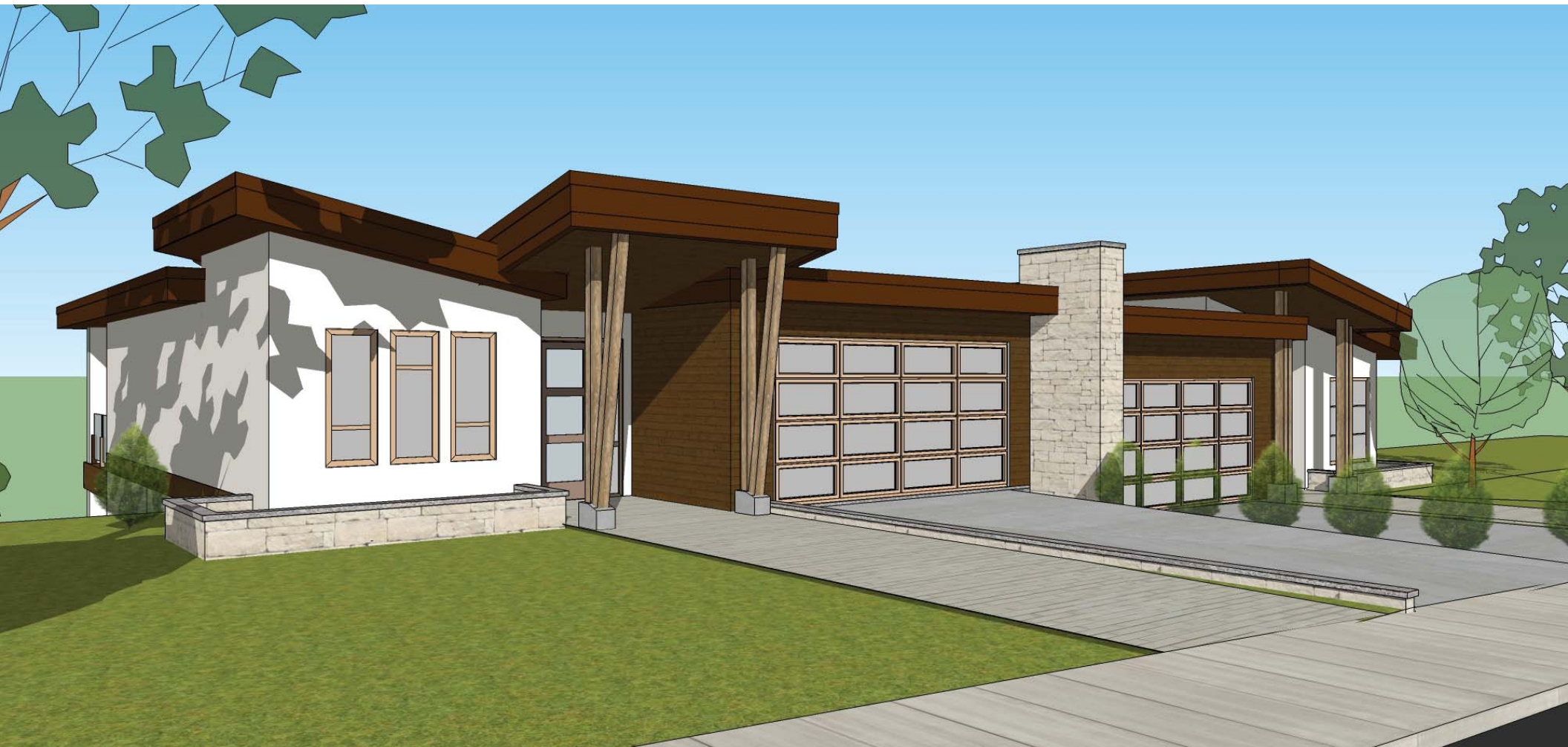
This forms part of application

# **DP16-0152**

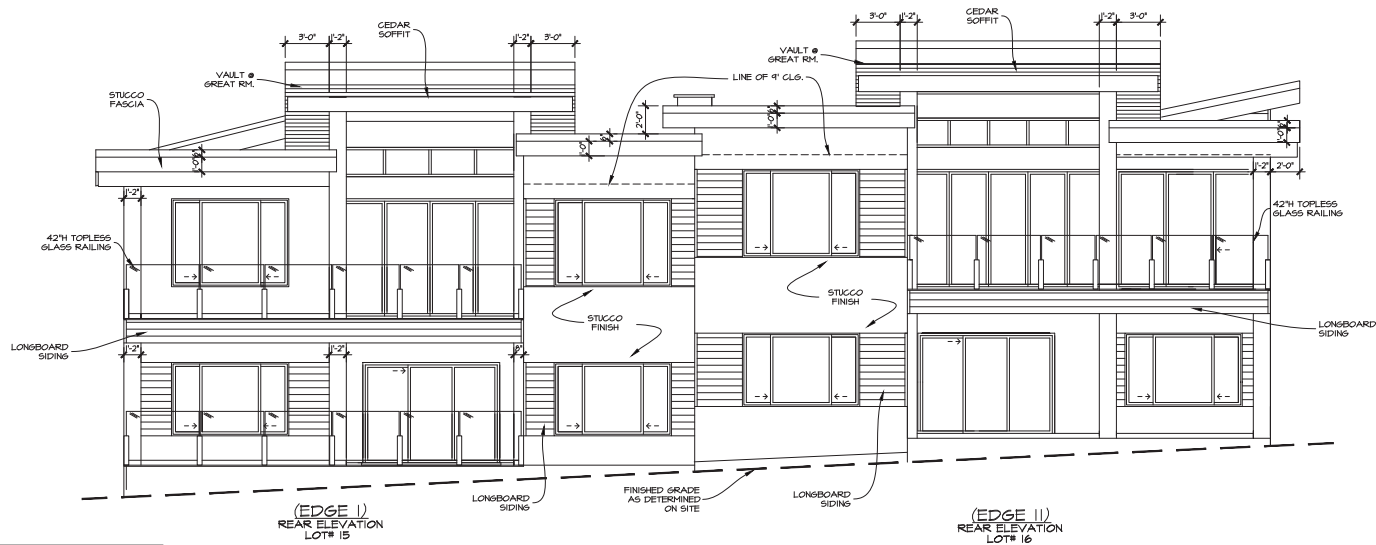
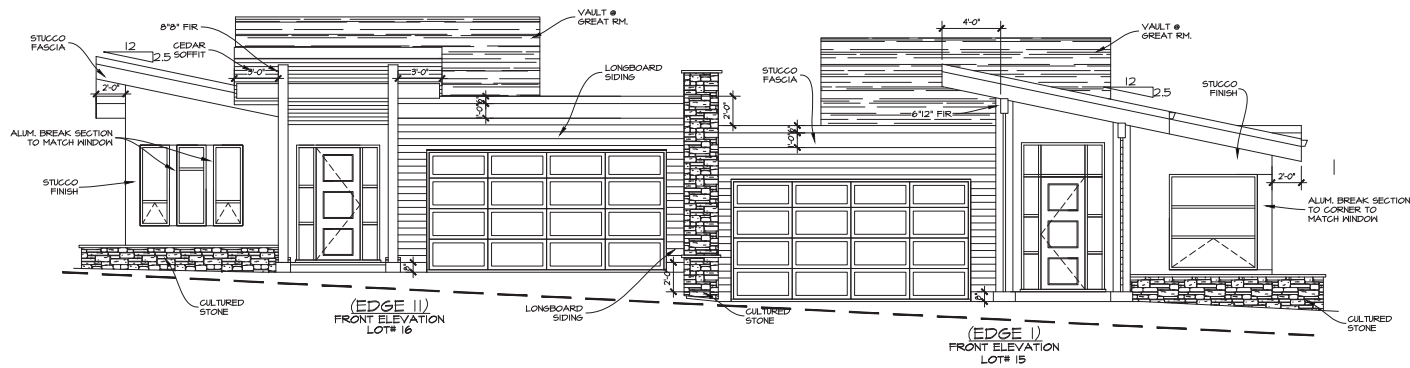
Planner  
Initials

AC





<b>SCHEDULE</b>		<b>B</b>
This forms part of application		
# DP16-0152		
Planner Initials	AC	 City of <b>Kelowna</b> COMMUNITY PLANNING



#### ERRORS AND OMISSIONS

- EVAN GILBERT shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

**Acorn**  
McKinley Beach, Kelowna  
Ph: 491-0095



#### DEVELOPERS APPROVAL

NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

**Acorn Homes**  
**McKinley Beach**  
**491-0095**

**EVAN GILBERT**  
drafting & design  
www.evgilbert.ca  
778.478.7722

PROJECT TITLE

**LOT 15/16**

**EDGE1 / EDGE2**

CUSTOMER: LOT 15: EDGE I SHOWHOME  
LOT 16: EDGE II SHOWHOME

DATE: 09/05/16

DRAWING SCALE: 1/4" = 1'0"

DRAWN BY: EKG

CHECKED BY: RH

APPROVED BY: \_\_\_\_\_

SHEET NAME

**FRONT & REAR  
ELEVATION**

PROGRESS  
**FOR CONSTRUCTION**

REVISION PLAN NUMBER:  
438

SHEET NUMBER SHEET  
A1 1 OF 9

## SCHEDULE A & B

This forms part of application

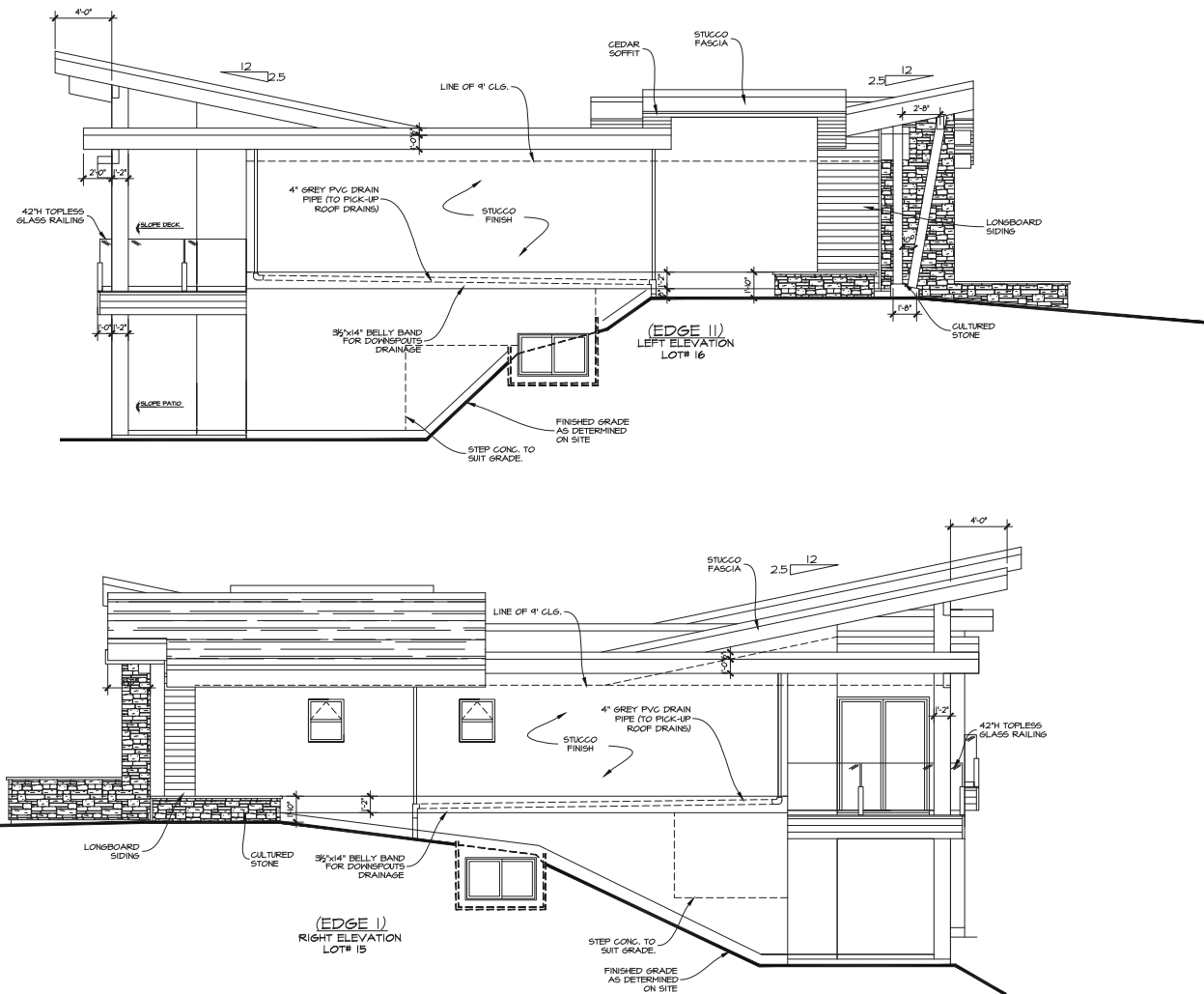
# DP16-0152

Planner  
Initials

AC

City of  
**Kelowna**  
COMMUNITY PLANNING





**ERRORS AND OMISSIONS**

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## SCHEDULE A & B

This forms part of application  
# DP16-0152

Planner  
Initials

AC

City of  
**Kelowna**  
COMMUNITY PLANNING

**Acorn**  
McKinley Beach, Kelowna  
Ph: 491-0095



### DEVELOPERS APPROVAL

NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

**Acorn Homes**  
**McKinley Beach**  
**491-0095**

**EVAN GILBERT**  
drafting & design  
www.evangelbert.com  
778.478.7722

PROJECT TITLE

**LOT 15/16**

**EDGE1 / EDGE2**

CUSTOMER: LOT 15: EDGE 1 SHOWHOME  
LOT 16: EDGE 11 SHOWHOME

DATE: 09/05/16

DRAWING SCALE: 1/4" = 1'0"

DRAWN BY: EKG

CHECKED BY: RH

APPROVED BY: \_\_\_\_\_

SHEET NAME

**LEFT & RIGHT  
ELEVATION**

PROGRESS  
**FOR CONSTRUCTION**

REVISION	PLAN NUMBER:
	438

SHEET NUMBER	SHEET
A2	2 OF 9

THESE DRAWINGS ARE THE PROPERTY OF EVAN GILBERT DRAFTING & DESIGN. NO PART OF THESE DRAWINGS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM EVAN GILBERT DRAFTING & DESIGN.







DEVELOPERS APPROVAL

NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

Acorn Homes  
McKinley Beach  
491-0095

EVAN  
GILBERT  
drafting & design  
778.478.7722

PROJECT TITLE

LOT 15/16

EDGE1 / EDGE2

CUSTOMER: LOT 15: EDGE1 SHOWHOME  
LOT 16: EDGE1 SHOWHOME

DATE: 09/05/16

DRAWING SCALE: 1/4" = 1'-0"

DRAWN BY: EKG

CHECKED BY: RH

APPROVED BY: \_\_\_\_\_

SHEET NAME

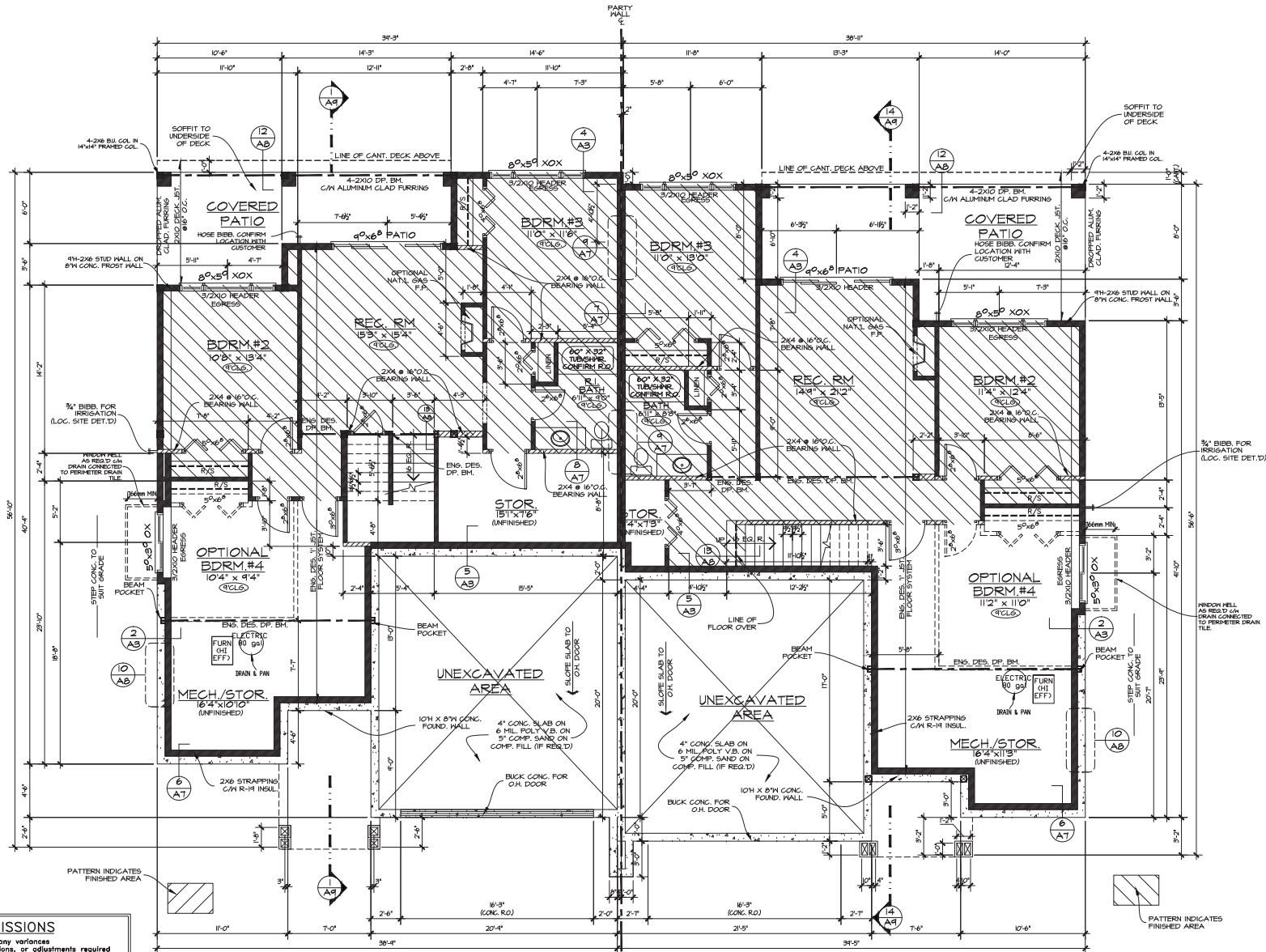
LOWER FLOOR  
PLAN

PROGRESS  
FOR CONSTRUCTION

REVISION PLAN NUMBER:  
438

SHEET NUMBER SHEET  
A4 4 OF 9

\_\_\_\_\_



LOWER FLOOR PLAN (EDGE II)  
TOTAL AREA - 1364 SQ. FT.  
FINISHED AREA - 712 SQ. FT.  
LOT# 16

LOWER FLOOR PLAN (EDGE I)  
TOTAL AREA - 1364 SQ. FT.  
FINISHED AREA - 712 SQ. FT.  
LOT# 15

**SCHEDULE A**

This forms part of application  
# DP16-0152

Planner  
Initials

AC

City of  
Kelowna  
COMMUNITY PLANNING



NOTES:  
- FOUNDATION HEIGHTS MAY VARY AS PER SITE GRADE  
- ALL FOOTINGS TO BE BELOW FROST LINE  
- STEP FOOTINGS 2' MAX. VERT. 12' MIN. HORIZ.

NOTE:  
- CEMENT PROVISION REQUIRED FOR FUTURE SOLAR PANELS ON ROOF AS PER BUILDING CODE. TREES TO BE DEMOLISHED TO CARRY SOLAR PANELS. CONNECTION TO CARRYOVER FOR A SIBERIAN DEPRESSURIZATION SYSTEM REQUIRE INSTALLATION OF A RADON-VENT PIPE WHICH EXTENDS THROUGH AND TERMINATES OUTSIDE THE BUILDING.

NOTE:  
- ALL WINDOW HEAD HEIGHTS TO BE 6'-0" UNLESS NOTED  
- ALL DOORS TO BE 6'-8" HIGH UNLESS NOTED

- STRUCTURAL ENGINEER TO CONFIRM ALL FOOTINGS, FOUNDATION WALLS, BEAMS, HEADERS, COLUMNS, BEARING WALLS, JOISTS, AND ANY OTHER STRUCTURAL COMPONENTS OF THE BUILDING.

ERRORS AND OMISSIONS

- EVAN GILBERT shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.





DEVELOPERS APPROVAL

NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

Acorn Homes  
McKinley Beach  
491-0095

EVAN  
GILBERT  
drafting & design  
778.478.7722

PROJECT TITLE  
LOT 15/16

EDGE1 / EDGE2

CUSTOMER: LOT 15: EDGE1 SHOWHOME  
LOT 16: EDGE11 SHOWHOME

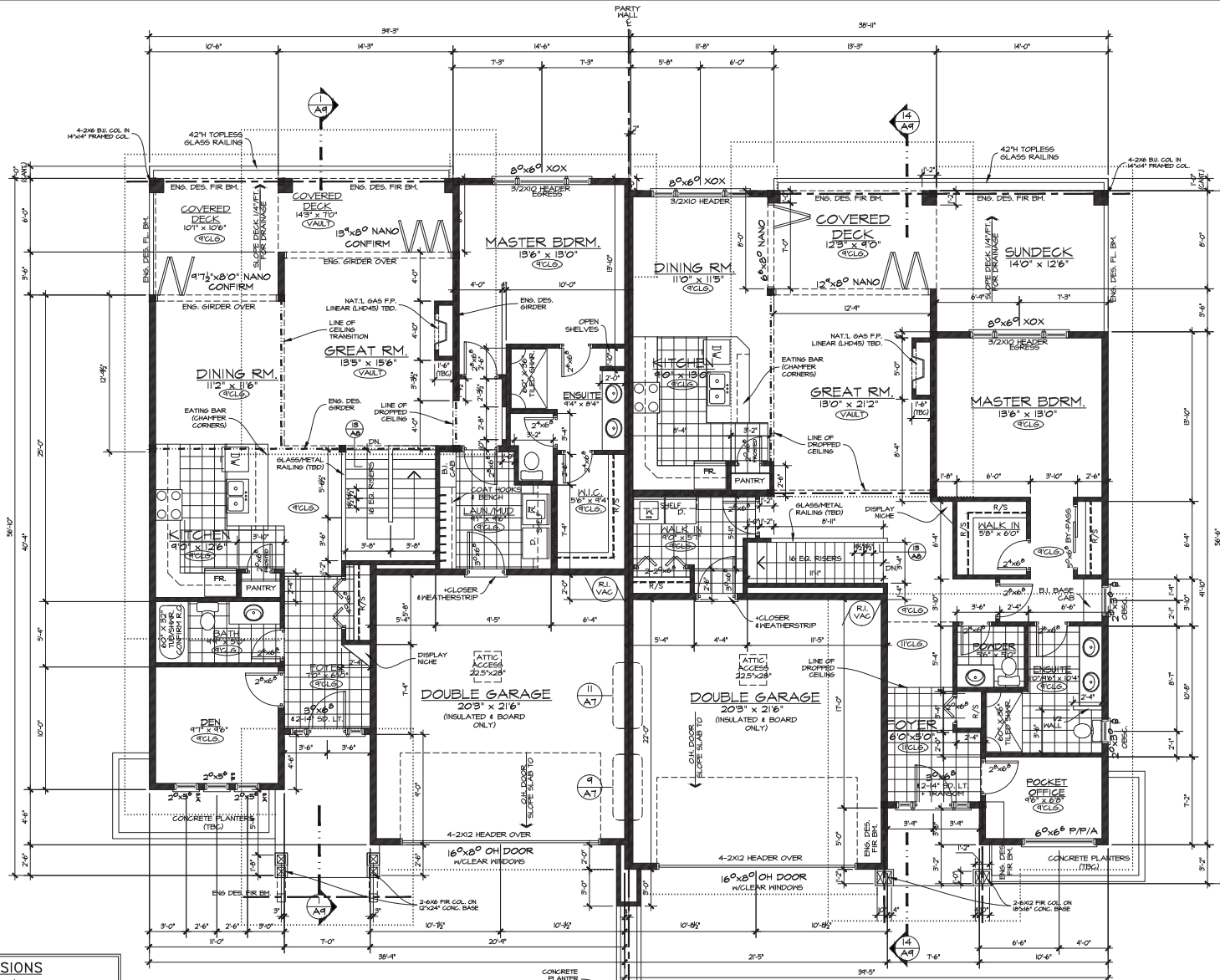
DATE: 09/05/16  
DRAWING SCALE: 1/4" = 1'-0"  
DRAWN BY: EKG  
CHECKED BY: RH  
APPROVED BY: \_\_\_\_\_  
SHEET NAME

MAIN FLOOR  
PLAN

PROGRESS  
FOR CONSTRUCTION

REVISION	PLAN NUMBER
	438
SHEET NUMBER	SHEET
A5	5 OF 9

THIS DRAWING IS THE PROPERTY OF EVAN GILBERT DRAFTING & DESIGN. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM EVAN GILBERT DRAFTING & DESIGN.



MAIN FLOOR PLAN (EDGE 11)  
TOTAL AREA - 1369 SQ. FT.  
LOT# 16

MAIN FLOOR PLAN (EDGE 1)  
TOTAL AREA - 1382 SQ. FT.  
LOT# 15

**SCHEDULE**

This forms part of application  
# DP16-0152

Planner  
Initials AC

City of  
**Kelowna**  
COMMUNITY PLANNING



NOTES:  
- FRAMER TO CONFIRM ALL PLUMBING FIXTURE & FIREPLACE R.O.'S PRIOR TO STARTING CONSTRUCTION.  
- FRAMER TO PROVIDE PROPER BACKING FOR TOWEL BARS, GRAB BARS, CURTAIN RODS, CLOSET RODS, PAPER HOLDERS, AND SIMILAR FIXTURES AS REQ'D. - ELECTRICAL CONTRACTOR TO CONFIRM ELECTRICAL LAYOUT WITH CUSTOMER ON SITE PRIOR TO WIRING. - TRUSS LAYOUT AS PER ENG. DES. TRUSS

ENTRY/SIDEWALK SLAB  
- MIN. 2" CLEAR BETWEEN T.O. CONCRETE SLAB & UNDERSIDE OF ANY EXTERIOR WALL THAT INCORPORATES HIDDEN FRAMING - THICKEN SLAB EDGE TO 6" MIN.

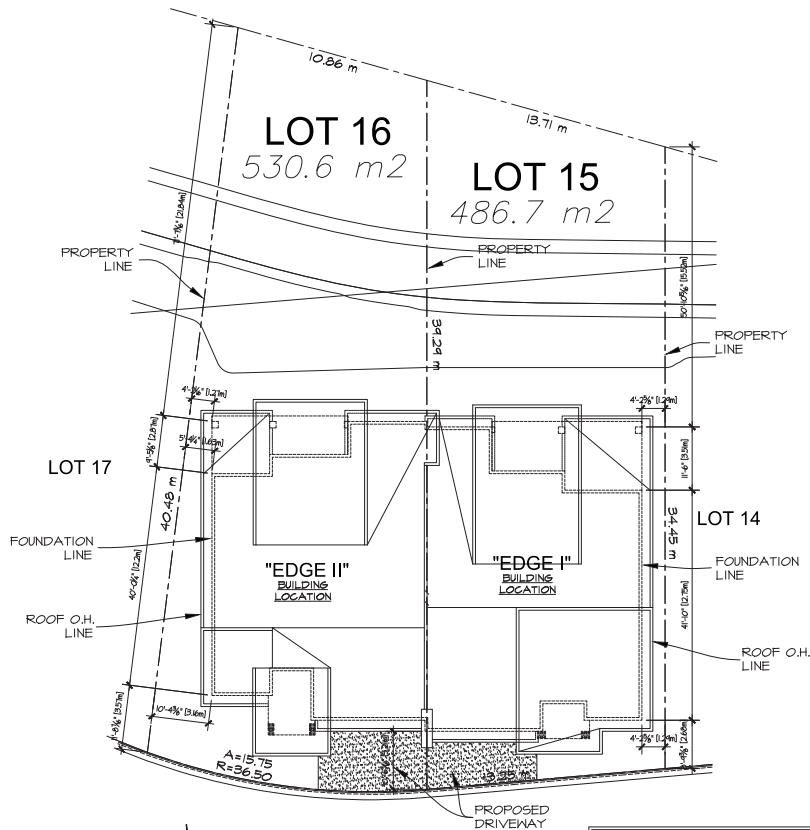
NOTE:  
- CURRENT PROVISION REQUIRED FOR FUTURE SOLAR PANELS ON ROOF AS PER BUILDING CODE. TRUSSES TO BE DESIGNED TO CARRY SOLAR PANELS. CONTRACTOR TO COVER THE ROOF WITH A SHEETPILE DEBRIS PROTECTION SYSTEM. REQUIRE INSTALLATION OF A RADON VENT FINE PITCH EXTERIOR THROUGH AND TERMINATES OUTSIDE THE BUILDING.

NOTE:  
- ALL WINDOW HEAD HEIGHTS TO BE 8'0" UNLESS NOTED  
- ALL DOORS TO BE 6'8" HIGH UNLESS NOTED.

- STRUCTURAL ENGINEER TO CONFIRM ALL FOOTINGS, FOUNDATION WALLS, BEAMS, HEADERS, COLUMNS, BEARING WALLS, JOISTS, AND ANY OTHER STRUCTURAL COMPONENTS OF THE BUILDING.

ERRORS AND OMISSIONS

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**SITE PLAN**  
3/32"=1'-0"

NOTE:  
EXACT BUILDING LOCATION & ELEVATION TO BE DETERMINED ON SITE. CONFIRM ALL SETBACKS AND LOT LINES WITH REGISTERED LOT PLAN PRIOR TO CONSTRUCTION.

#### ERRORS AND OMISSIONS

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## SCHEDULE A

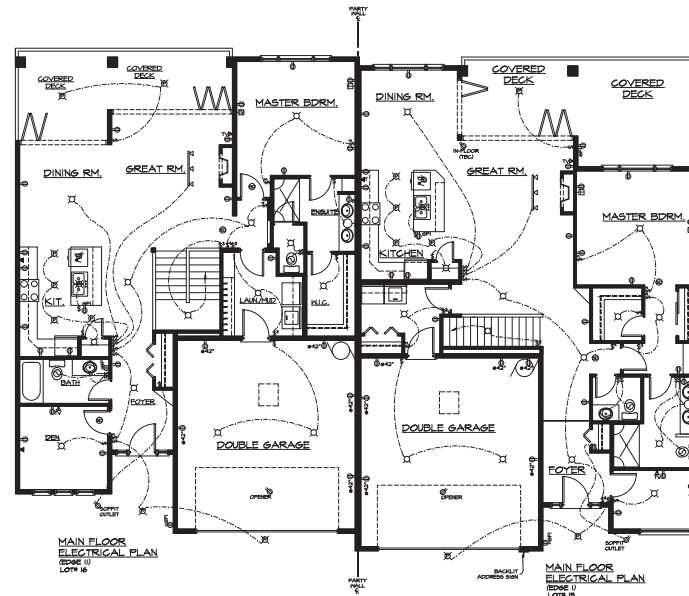
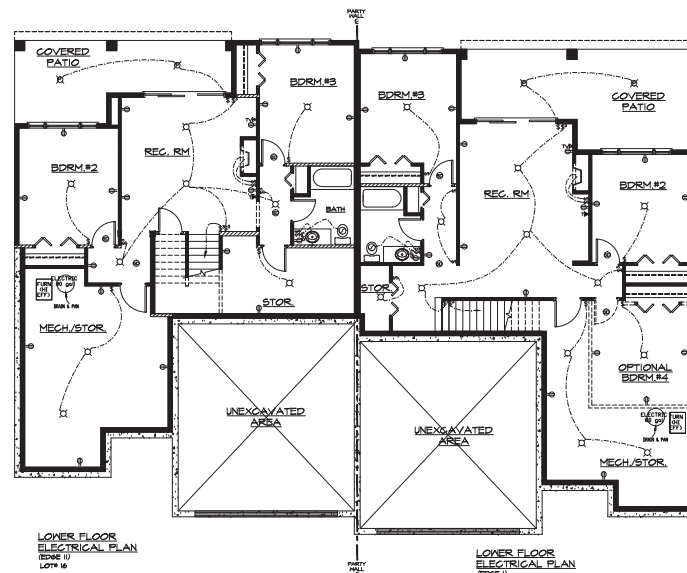
This forms part of application

# DP16-0152



Planner  
Initials

AC



**Acorn**  
McKinley Beach, Kelowna  
Ph: 491-0095



#### DEVELOPERS APPROVAL

NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

**Acorn Homes**  
McKinley Beach  
491-0095

**EVAN GILBERT**  
drafting & design  
www.evangelbert.com  
778.478.7722

#### PROJECT TITLE

**LOT 15/16**

**EDGE I / EDGE II**

CUSTOMER: LOT 15: EDGE I SHOWHOME  
LOT 16: EDGE II SHOWHOME

DATE: 09/05/16  
DRAWING SCALE: NTS  
DRAWN BY: EKG  
CHECKED BY: RH  
APPROVED BY: \_\_\_\_\_  
SHEET NAME

**SITE PLAN & ELECTRICAL**

#### FOR CONSTRUCTION

REVISION	PLAN NUMBER:
	438
SHEET NUMBER	SHEET
A6	6 OF 9

NOTES: 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.





**DEVELOPERS APPROVAL**

NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

**Acorn Homes**  
**McKinley Beach**  
**491-0095**

**EVAN GILBERT**  
drafting & design  
www.evangelbert.com  
778.478.7722

PROJECT TITLE

**LOT 15/16**

**EDGE1 / EDGE2**

CUSTOMER: LOT 15: EDGE1 SHOWHOME  
LOT 16: EDGE11 SHOWHOME

DATE: 09/05/16

DRAWING SCALE: NTS

DRAWN BY: EKG

CHECKED BY: RH

APPROVED BY: \_\_\_\_\_

SHEET NAME

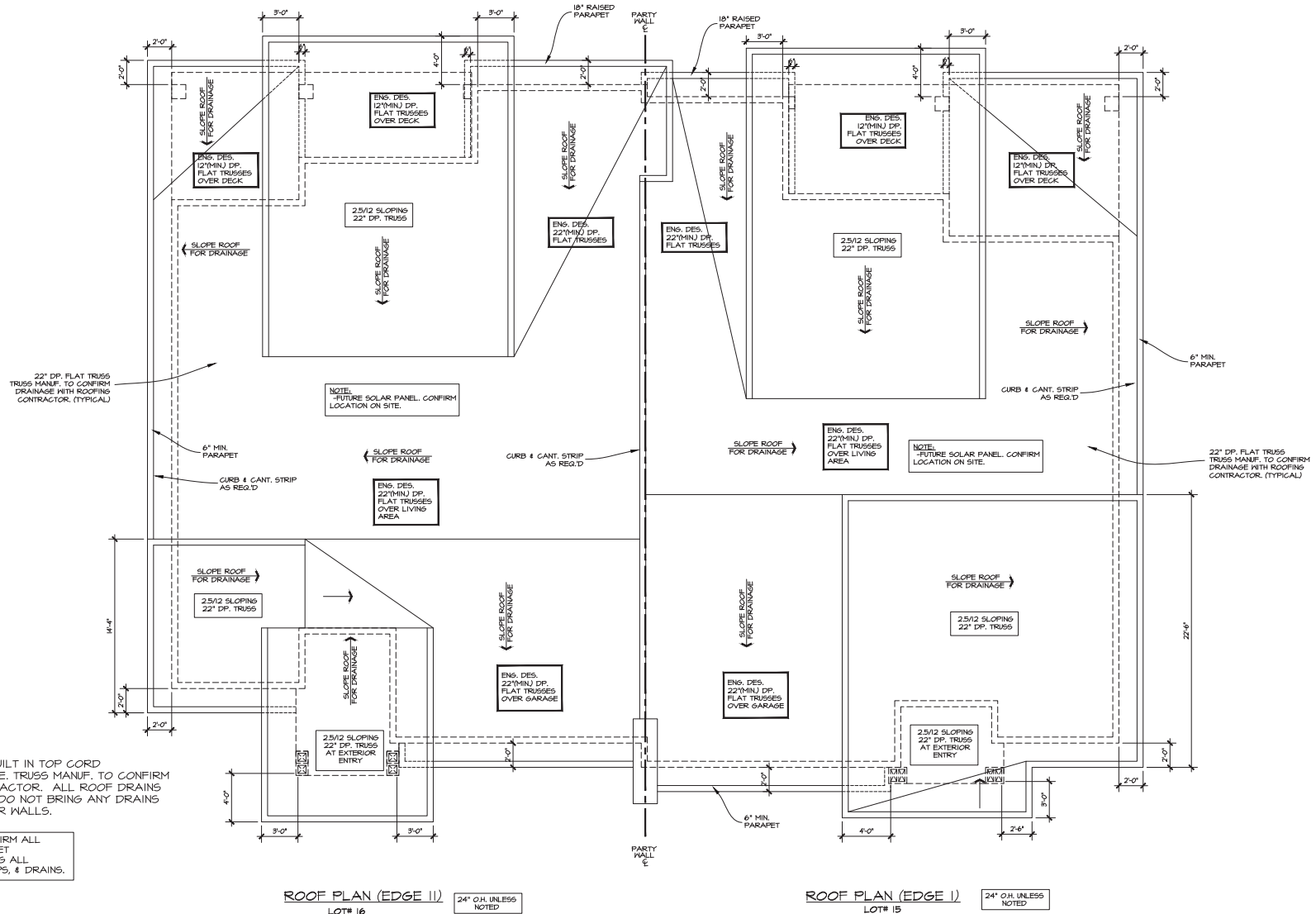
**ROOF PLAN**

PROGRESS  
**FOR CONSTRUCTION**

REVISION PLAN NUMBER:  
438

SHEET NUMBER SHEET  
A8 8 OF 9

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NOTE:  
FLAT TRUSSES C/M BUILT IN TOP CORD  
SLOPE FOR DRAINAGE. TRUSS MANUF. TO CONFIRM  
WITH ROOFING CONTRACTOR. ALL ROOF DRAINS  
TO BE IN ROOF O.H. DO NOT BRING ANY DRAINS  
DOWN INSIDE INTERIOR WALLS.

CONTRACTOR TO CONFIRM ALL  
FLAT ROOF TO PARAPET  
CONNECTIONS INCLUDING ALL  
FLASHINGS, CANT STRIPS, & DRAINS.

**ERRORS AND OMISSIONS**

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- EVAN GILBERT makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

**ROOF PLAN (EDGE 11)**  
LOT# 16

24" O.H. UNLESS NOTED

**ROOF PLAN (EDGE 1)**  
LOT# 15

24" O.H. UNLESS NOTED

**INTERIOR FLOOR CONSTRUCTION**  
 - FINISHED FLOORING  
 - 3/4" UNDERLAY (PREMIUM) @ LINO AREAS  
 - 3/4" T & G, O.S.B. SUB-FLOOR, ENG. FLOOR SYSTEM, SPACING AS PER MANUFACTURER (GLUED, SCREWED & BRIDGED)  
 - 1/2" GYPSUM BOARD TO FINISHED AREAS

**SLAB ON GRADE**  
 - 4" CONCRETE SLAB, 25MPa, 10M REBAR @ 16" o.c.  
 - 6 MIL. POLY. VAPOR BARRIER  
 - 4" GRAVEL BED

**INTERIOR WALL @ LOWER FLOOR**  
 - 2X4'S @ 16" o.c. C/W SILL GASKET OR EQUIV.  
 - 1/2" DRYWALL, FINISHED ROOMS ONLY

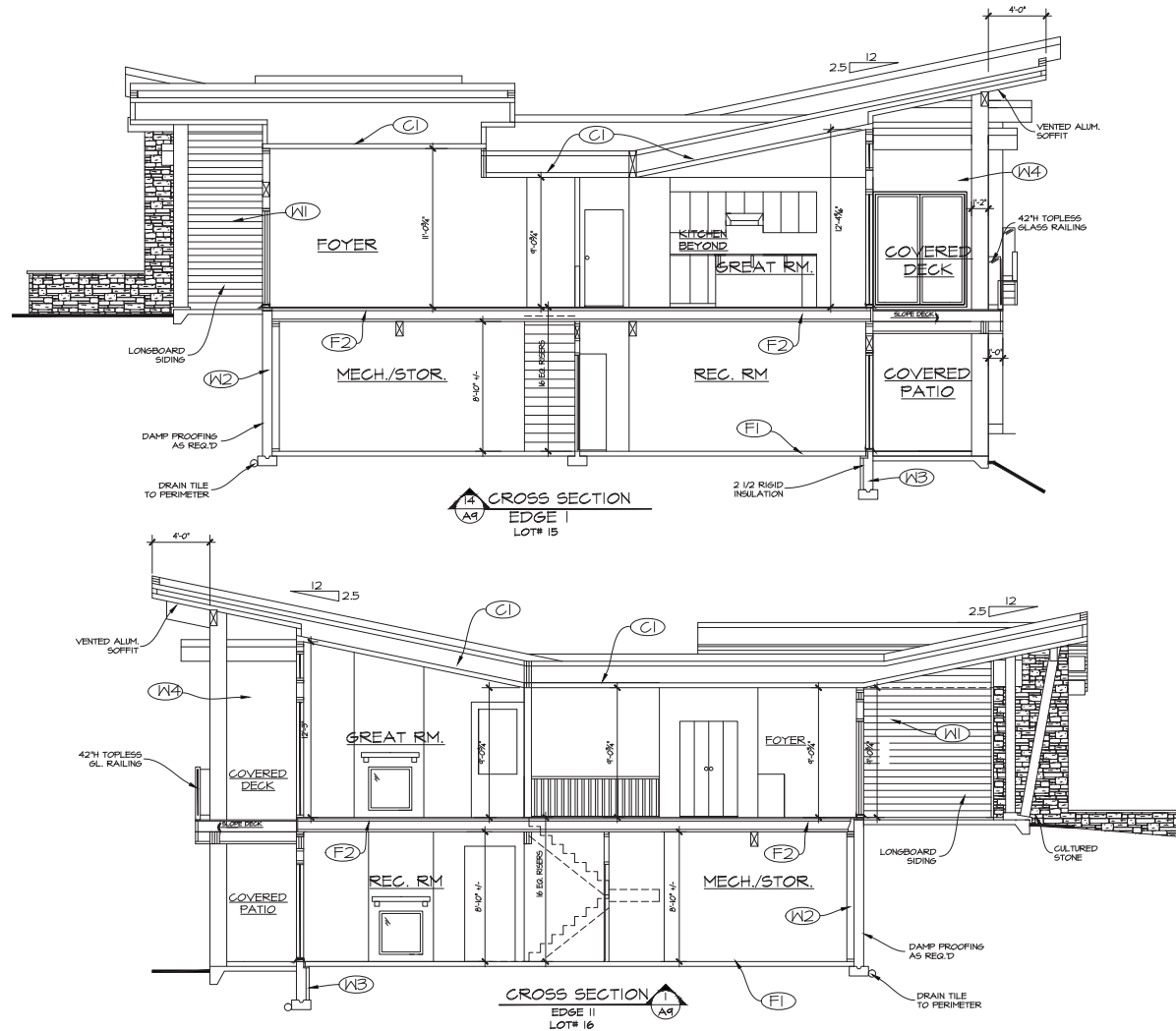
**ROOF CONSTRUCTION**  
 - SHADOW EDGE ASPHALT SHINGLES  
 (SLOPES UNDER 1/2 PEEL & STICK UNDERLAY)  
 - 3/4" OSB SHEATHING  
 - ENGINEERED ROOF TRUSSES @ 24" o.c.  
 (HEEL CUT VARIES)  
 - R40 INSULATION  
 - 6 MIL POLY  
 - 3/8" DRYWALL

**INTERIOR WALL @ MAIN FLOOR**  
 - 1/2" GYPSUM BOARD TO BOTH SIDES OF 2X4 SPRUCE STUDS @ 16" o.c.

**GARAGE SLAB**  
 - 4" CONCRETE SLAB @ 32MPa  
 - 5" COMPACTED SAND  
 NOTE: A MIN. OF 3" SLOPE FROM BACK WALL TO O.H. DOOR  
 - T.O. SLAB TO BE 6" BELOW T.O. FOUNDATION WALL

**NOTE:**  
 RE FOOTING & FOUNDATION ALSO REFER TO ENGINEERS DRAWINGS FOR ALL FOUNDATION WALLS OVER 8'-0" HIGH.

**EXTERIOR WALL CONSTRUCTION**  
 - HORIZONTAL FIBER CEMENT SIDING/ STUCCO/HARDI PLANKS  
 - BUILDING PAPER  
 - 3/4" SHEATHING  
 - R-22 INSULATION  
 - 2x6 @ 24" o.c. (2x6 @ 16" o.c. ON LOWER FLOOR WALL WHEN SUPPORTING LOFT)  
 - 6MIL. POLY, 1/2" DRYWALL



#### GENERAL NOTES

- All work to be in compliance with the current residential standards of the National Building Code of Canada, current electrical and plumbing codes and all local building codes and bylaws which may take precedence.
- All work shall be performed in all respects in good building practice.
- Material dimensions to be followed, C/O NOT made from drawings.
- All floor joists and beams to be 12" x 16" or larger @ 16" o.c.
- All joist and beam ends to be damp-primed with 45 lb. flat, 5 mil. poly or other approved method.
- Plaster to be anchored to concrete with 1/2" dia. anchor bolts of maximum 8" o.c. and at all corners.

- All measurements, grades and levels to be verified on site before installation of exterior cladding.
- Perimeter drainage shall be installed where required by local authorities having jurisdiction and to their approval.
- All concrete to have a minimum compressive strength of 20 mpa or 28 mpa.
- Floor joists spans of more than 17'-0" shall be bridged at mid-span or other C/O maximum. Bridging shall be 2x2" diagonal type steel.
- Flashing to be installed at all penetrations in roof systems and changed to roof plane.
- All dormer/flashing flashing to be verified with owner.
- Flashing to be installed at all changes in horizontal exterior cladding.

- and over all unprotected openings. Caulking to be installed around all exterior door and window openings.
- Evan Gilbert shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- Evan Gilbert makes every effort to provide complete and accurate construction drawings. However, no assurance is made for any errors or omissions which may arise due to misinterpretation of the drawings and specifications. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

**INTERIOR SWING DOORS**  
 Rough opening is always 82 1/2" High x 2" greater than nominal door size.  
 EXAMPLE: 3/8" x 8'6" x 34" x 82 1/2"  
**INTERIOR BIFOLDS**  
 Rough opening for 2 panel doors are 1/2" greater than nominal door width & 1 1/2" greater than door height.  
 EXAMPLE: 3/8" x 8'6" x 34" x 82 1/2"  
 Rough opening for 4 panel doors are 1" greater than nominal door width and 1 1/2" greater than door height.  
 EXAMPLE: 5/8" x 8'6" x 61" x 81 1/2"

## SCHEDULE A & B

This forms part of application

# DP16-0152

Planner  
Initials

AC

City of  
**Kelowna**  
COMMUNITY PLANNING

**Acorn**  
McKinley Beach, Kelowna  
Ph: 491-0095



#### DEVELOPERS APPROVAL

NAME: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_

Acorn Homes  
McKinley Beach  
491-0095

**EVAN GILBERT**  
drafting & design  
778.478.7722

PROJECT TITLE

**LOT 15/16**

**EDGE I / EDGE 2**

CUSTOMER: LOT 15, EDGE I SHOWHOME  
 LOT 16, EDGE II SHOWHOME

DATE: 09/05/16

DRAWING SCALE: NTS

DRAWN BY: EKG

CHECKED BY: RH

APPROVED BY: \_\_\_\_\_

SHEET NAME

**CROSS SECTIONS & NOTES**

PROGRESS  
FOR CONSTRUCTION

REVISION PLAN NUMBER:  
438

SHEET NUMBER SHEET  
A9 9 OF 9





#### ERRORS AND OMISSIONS

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**Acorn**  
Sunset Ranch, Kelowna  
Ph: 491-0095



#### DEVELOPERS APPROVAL

NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

Acorn Homes  
McKinley Beach  
491-0095

**EVAN GILBERT**  
drafting & design  
www.evangelbert.com  
778.478.7722

PROJECT TITLE

**LOT 17/18**

EDGE1 / EDGE2

CUSTOMER: LOT 17: SHOWHOME  
LOT 18: SHOWHOME

DATE: 09/05/16

DRAWING SCALE: 1/4" = 1'0"

DRAWN BY: EKG

CHECKED BY: RH

APPROVED BY: \_\_\_\_\_

SHEET NAME

FRONT & REAR  
ELEVATION

PROGRESS

FOR CONSTRUCTION

REVISION PLAN NUMBER:

438

SHEET NUMBER SHEET

1 OF 11

## SCHEDULE A & B

This forms part of application

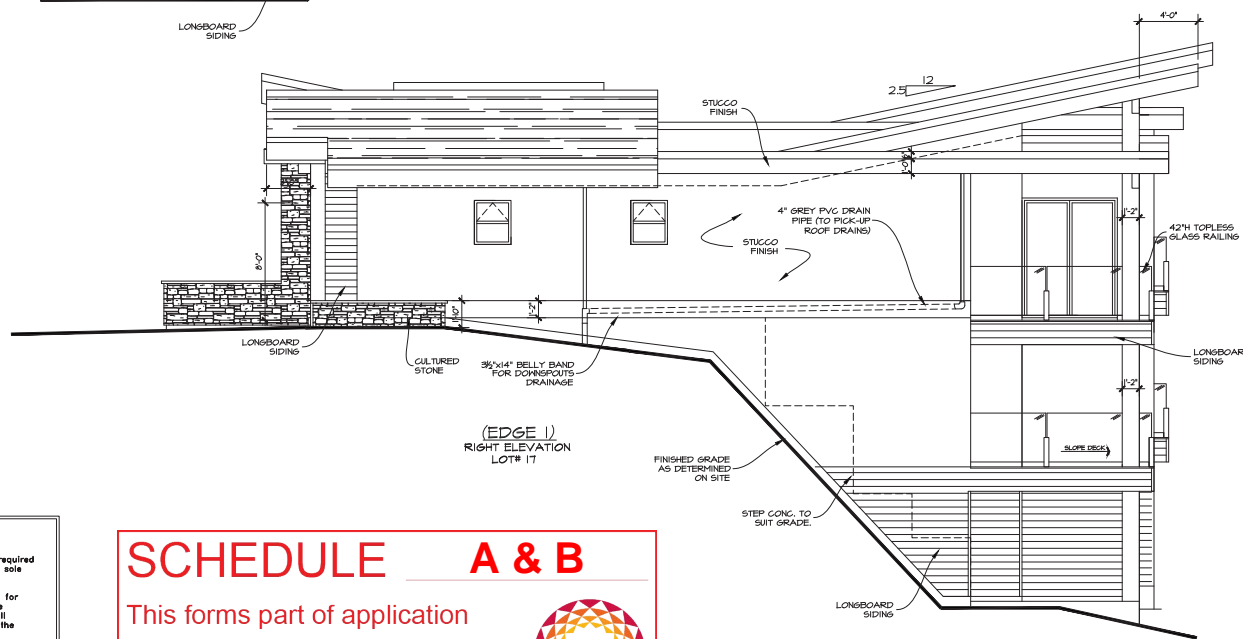
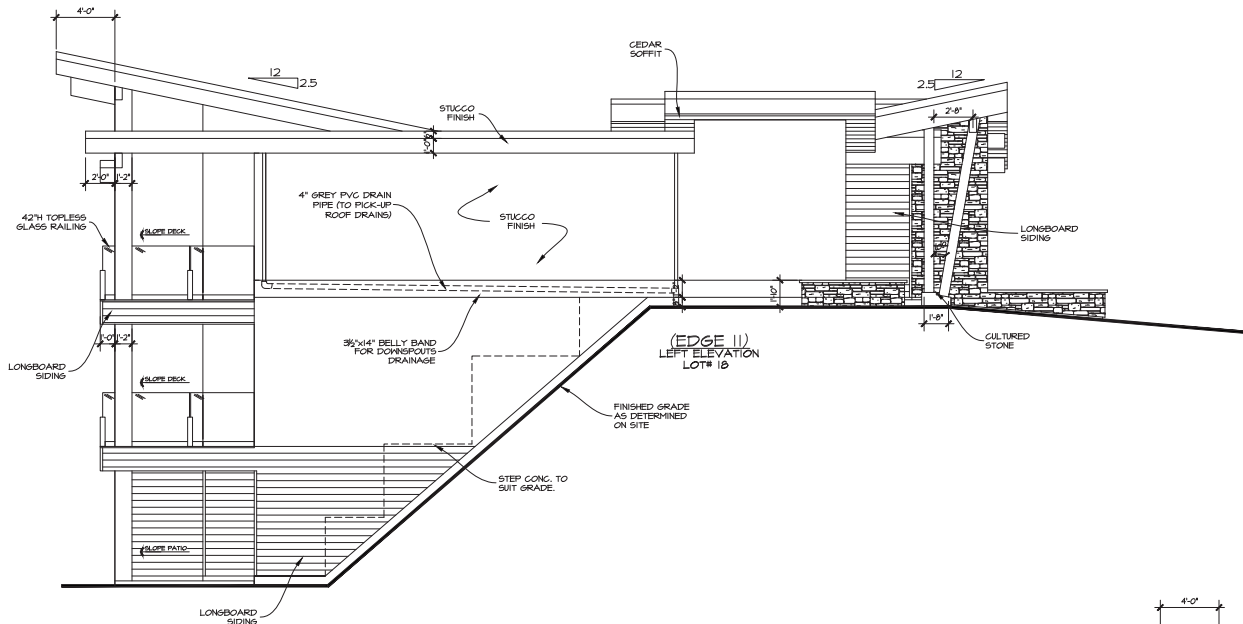
# DP16-0152

Planner  
Initials

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City of  
**Kelowna**  
COMMUNITY PLANNING





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## SCHEDULE A & B

This forms part of application

# DP16-0152

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Sunset Ranch, Kelowna  
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#### DEVELOPERS APPROVAL

NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

**Acorn Homes**  
**McKinley Beach**  
**491-0095**

**EVAN GILBERT**  
drafting & design  
www.evangelbert.ca  
evan@evangelbert.ca 778.478.7722

#### PROJECT TITLE

**LOT 17/18**

#### EDGE1 / EDGE2

CUSTOMER: LOT 17: SHOWHOME  
LOT 18: SHOWHOME

DATE: 09/05/16

DRAWING SCALE: 1/4" = 1'0"

DRAWN BY: EKG

CHECKED BY: RH

APPROVED BY: \_\_\_\_\_

SHEET NAME

**LEFT & RIGHT  
ELEVATION**

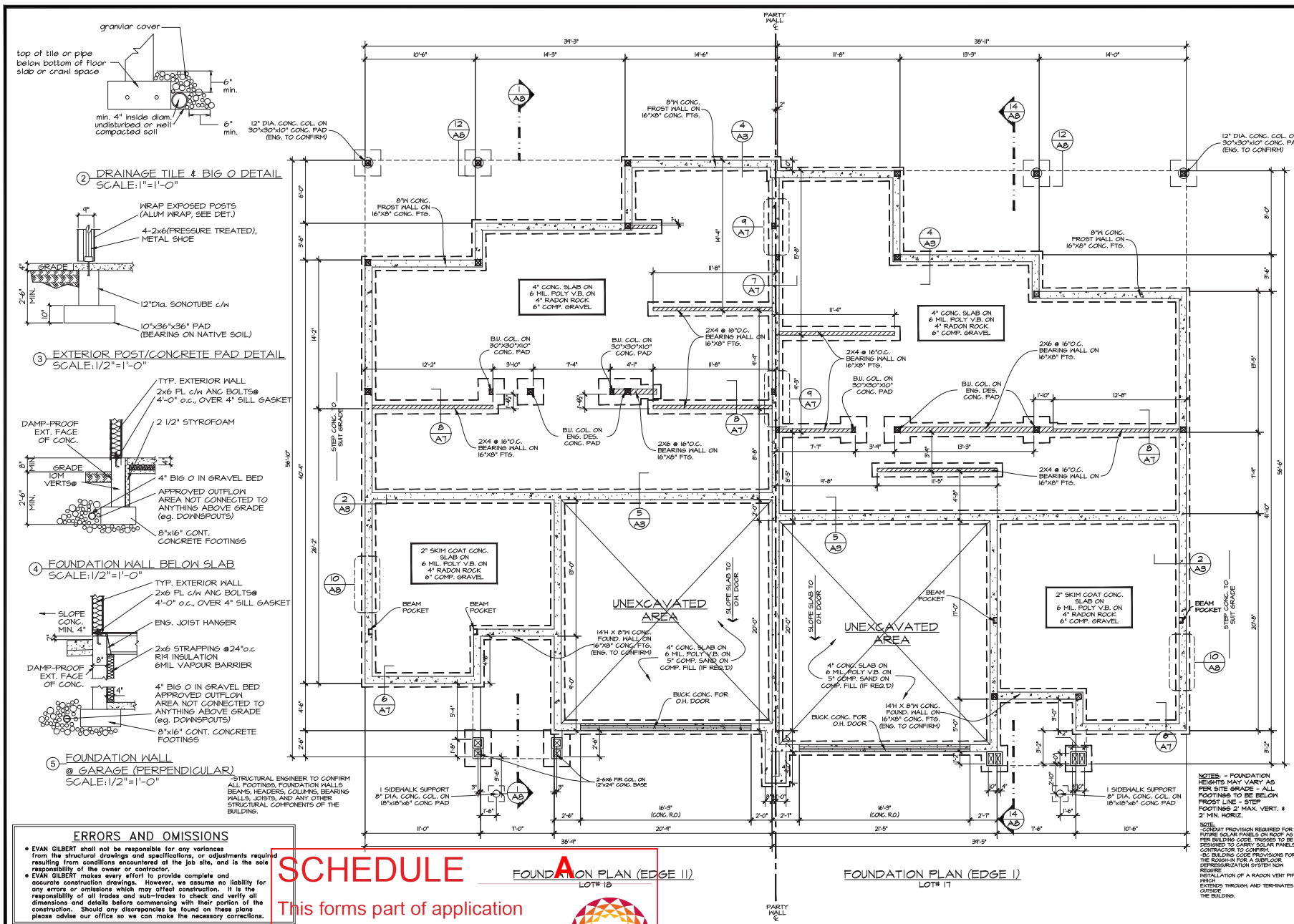
#### FOR CONSTRUCTION

REVISION PLAN NUMBER:

A2 438

SHEET NUMBER SHEET

A2 2 OF 11



**ERRORS AND OMISSIONS**

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# **SCHEDULE A** FOUNDATION PLAN (EDGE 1) FOUNDATION PLAN (EDGE 2)

This forms part of application

# DP16-0152

Planner Initials **AC**



**Acorn**  
Sunset Ranch, Kelowna  
Ph: 491-0095



**DEVELOPERS APPROVAL**

NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

Acorn Homes  
McKinley Beach  
491-0095

**EVAN GILBERT**  
drafting & design  
evan.gilbert@icloud.com  
778.478.7722

PROJECT TITLE

**LOT 17/18**

**EDGE 1 / EDGE 2**

CUSTOMER: LOT 17: SHOWHOME  
LOT 18: SHOWHOME

DATE: 09/05/16

DRAWING SCALE: 1/4" = 1'-0"

DRAWN BY: EKG

CHECKED BY: RH

APPROVED BY: \_\_\_\_\_

SHEET NAME

**FOUNDATION PLAN & DETAILS**

FOR CONSTRUCTION

REVISION	PLAN NUMBER
	438

SHEET NUMBER	SHEET
A3	3 OF 11

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DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

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PROJECT TITLE

LOT 17/18

EDGE1 / EDGE2

CUSTOMER: LOT 17: SHOWHOME  
LOT 18: SHOWHOME

DATE: 09/05/16

DRAWING SCALE: 1/4" = 1'-0"

DRAWN BY: EKG

CHECKED BY: RH

APPROVED BY: \_\_\_\_\_

SHEET NAME

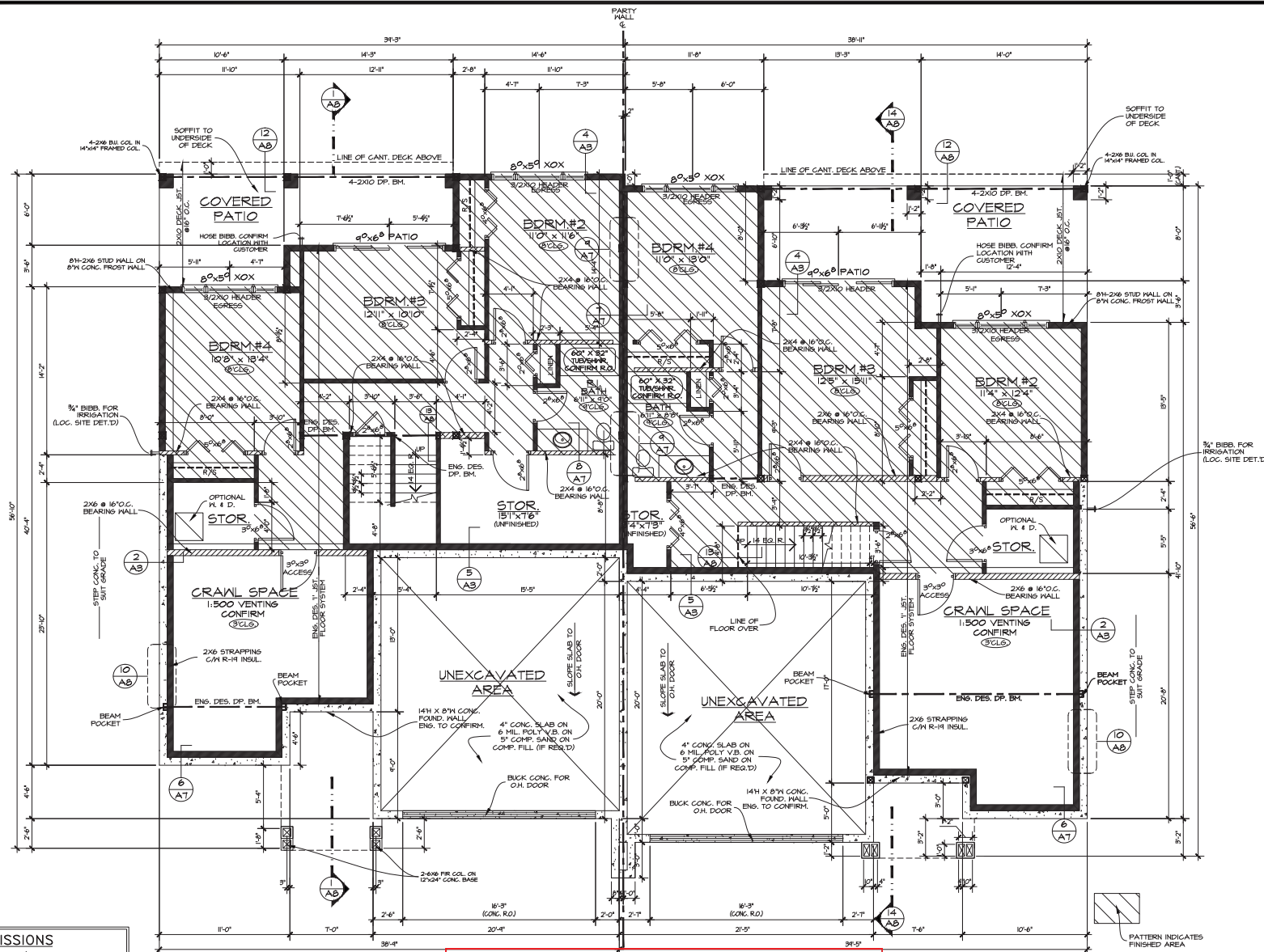
SUB BASEMENT  
FLOOR PLAN

FOR CONSTRUCTION

REVISION PLAN NUMBER:  
438

SHEET NUMBER SHEET  
A4 4 OF 11

DATE: 09/05/16



NOTES:  
- FOUNDATION HEIGHTS MAY VARY AS PER SITE GRADE  
- ALL FOOTINGS TO BE BELOW FROST LINE  
- STEP FOOTINGS 2' MAX. VERT. & 2' MIN. HORIZ.  
NOTE:  
- CREDIT PROVISION REQUIRED FOR INTERIOR R-10 WALLS ON ROOF AS PER BUILDING CODE. TRUSSES TO BE DESIGNED TO CARRY R-10 WALLS. CONTRACTOR TO CONFIRM.  
- SEE BUILDING CODE PROVISIONS FOR THE ROOFING FOR A SUB-COOL DEPRESSURIZATION SYSTEM NOT REQUIRED. INSTALLATION OF A R-10 VENT PIPE WHICH EXTENDS THROUGH AND TERMINATES OUTSIDE THE BUILDING.  
NOTE:  
- ALL WINDOW HEAD HEIGHTS TO BE 6'10" UNLESS NOTED  
- ALL DOORS TO BE 6'8" HIGH UNLESS NOTED

- STRUCTURAL ENGINEER TO CONFIRM ALL FOOTINGS, FOUNDATION WALLS, BEAMS, HEADERS, COLUMNS, BEARING WALLS, JOISTS, AND ANY OTHER STRUCTURAL COMPONENTS OF THE BUILDING.

PATTERN INDICATES FINISHED AREA

**ERRORS AND OMISSIONS**  
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SUB BASEMENT PLAN (EDGE 1)  
TOTAL AREA = 1864 SQ. FT.  
FINISHED AREA = 808 SQ. FT.  
LOT# 18

SUB BASEMENT PLAN (EDGE 2)  
TOTAL AREA = 1882 SQ. FT.  
FINISHED AREA = 814 SQ. FT.  
LOT# 17

**SCHEDULE**

This forms part of application  
# DP16-0152

Planner  
Initials AC

City of  
**Kelowna**  
COMMUNITY PLANNING



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DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

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**McKinley Beach**  
491-0095

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PROJECT TITLE

**LOT 17/18**

**EDGE1 / EDGE2**

CUSTOMER: LOT 17: SHOWHOME  
LOT 18: SHOWHOME

DATE: 09/05/16

DRAWING SCALE: 1/4" = 10"

DRAWN BY: EKG

CHECKED BY: RH

APPROVED BY: \_\_\_\_\_

SHEET NAME

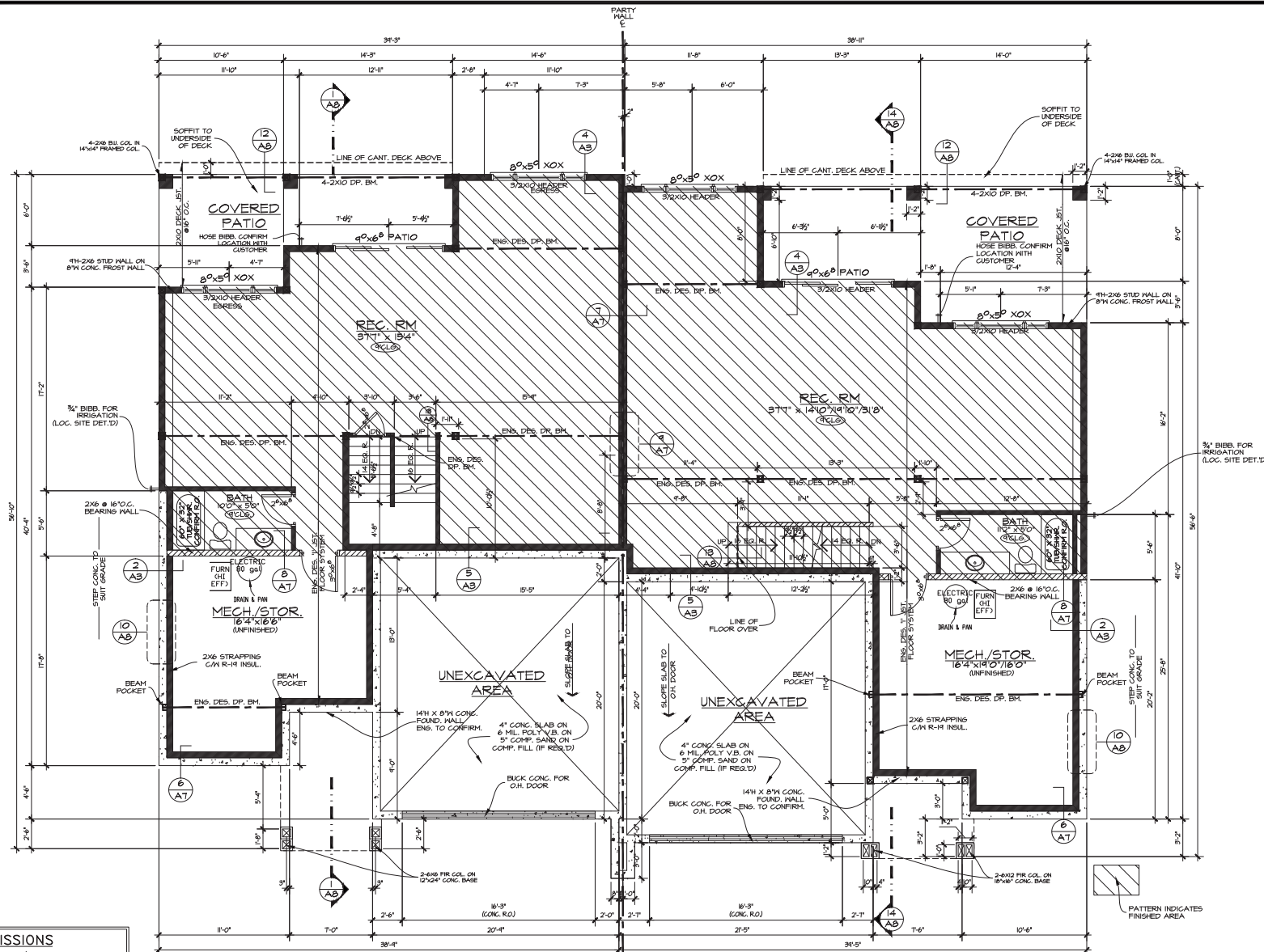
**LOWER FLOOR PLAN**

PROGRESS  
**FOR CONSTRUCTION**

REVISION	PLAN NUMBER
	438

SHEET NUMBER	SHEET
A5	5 OF 11

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**LOWER FLOOR PLAN (EDGE N)**  
TOTAL AREA = 1364 SQ. FT.  
FINISHED AREA = 981 SQ. FT.  
LOT# 18

**LOWER FLOOR PLAN (EDGE 1)**  
TOTAL AREA = 1362 SQ. FT.  
FINISHED AREA = 1018 SQ. FT.  
LOT# 17

**SCHEDULE A**

This forms part of application  
# DP16-0152

Planner  
Initials **AC**

City of  
**Kelowna**  
COMMUNITY PLANNING



**NOTES:**  
- FOUNDATION HEIGHTS MAY VARY AS PER SITE GRADE  
- ALL FOOTINGS TO BE BELOW FROST LINE  
- STEP FOOTINGS 2' MAX. VERT. & 2' MIN. HORIZ.

**NOTE:**  
- CREDIT PROVISION REQUIRED FOR INTERIOR SOLAR PANELS ON ROOF AS PER BUILDING CODE. TRUSSES TO BE DESIGNED TO CARRY SOLAR PANELS. CONTRACTOR TO CONFIRM.  
- SEE BUILDING CODE PROVISIONS FOR THE ROOM-IN FOR A SUPERIOR DEPRESSURIZATION SYSTEM NOT REQUIRE INSTALLATION OF A RADON VENT PIPE WHICH EXTENDS THROUGH AND TERMINATES OUTSIDE THE BUILDING.

**NOTE:**  
- ALL WINDOW HEAD HEIGHTS TO BE 6'10" UNLESS NOTED  
- ALL DOORS TO BE 6'8" HIGH UNLESS NOTED.

- STRUCTURAL ENGINEER TO CONFIRM ALL FOOTINGS, FOUNDATION WALLS, BEAMS, HEADERS, COLUMNS, BEARING WALLS, JOISTS, AND ANY OTHER STRUCTURAL COMPONENTS OF THE BUILDING.

PATTERN INDICATES FINISHED AREA

**ERRORS AND OMISSIONS**  
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# SCHEDULE A

This forms part of application  
# DP16-0152

Planner  
Initials AC



**NOTES:**  
- FRAMER TO CONFIRM ALL PLUMBING FIXTURE & FIREPLACE R.O.'S PRIOR TO STARTING CONSTRUCTION.  
- FRAMER TO PROVIDE PROPER BACKING FOR TONEL BARS, GRAB BARS, CURTAIN RODS, CLOSET RODS, PAPER HOLDERS, AND SIMILAR FIXTURES AS REQ'D.  
- ELECTRICAL CONTRACTOR TO CONFIRM ELECTRICAL LAYOUT WITH CUSTOMER ON SITE PRIOR TO WIRING.  
- TRUSS LAYOUT AS PER ENG. DES. TRUSS

**ENTRY/SIDEWALK SLAB**  
- MIN. 2" CLEAR BETWEEN T.O. CONCRETE SLAB & UNDERSIDE OF ANY EXTERIOR WALL THAT INCORPORATES MOODEN FRAMING  
- THICKEN SLAB EDGE TO 6" MIN.

**NOTE:**  
- CEMENT PROVISION REQUIRED FOR FUTURE SOLAR PANELS ON ROOF AS PER BUILDING CODE. TRUSSES TO BE DESIGNED TO CARRY SOLAR PANELS.  
- BUILDING CODE PROVISIONS FOR THE DESIGN OF A SUBFLOOR DEPRESSURIZATION SYSTEM NON REQUIRE RETAILATION OF A VACUUM VENT PIPE PERCH EXTERIOR THROUGH AND TERMINATES OUTSIDE THE BUILDING.

**NOTE:**  
- ALL WINDOW HEAD HEIGHTS TO BE 8'0" UNLESS NOTED  
- ALL DOORS TO BE 6'8" HIGH UNLESS NOTED

- STRUCTURAL ENGINEER TO CONFIRM ALL FOOTINGS, FOUNDATION WALLS, BEAMS, HEADERS, COLUMNS, BEARING WALLS, JOISTS AND ANY OTHER STRUCTURAL COMPONENTS OF THE BUILDING.

## ERRORS AND OMISSIONS

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**MAIN FLOOR PLAN (EDGE 11)**  
TOTAL AREA - 1364 SQ. FT.  
LOT# 13

**MAIN FLOOR PLAN (EDGE 1)**  
TOTAL AREA - 1382 SQ. FT.  
LOT# 17

**Acorn**  
Sunset Ranch, Kelowna  
Ph: 491-0095



## DEVELOPERS APPROVAL

NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

**Acorn Homes**  
McKinley Beach  
491-0095

**EVAN GILBERT**  
drafting & design  
www.evangelbert.com  
evan.gilbert@evangelbert.com  
778.478.7722

PROJECT TITLE

**LOT 17/18**

**EDGE 1 / EDGE 2**

CUSTOMER: LOT 17: SHOWHOME  
LOT 18: SHOWHOME

DATE: 09/05/16

DRAWING SCALE: 1/4" = 1'0"

DRAWN BY: EKG

CHECKED BY: RH

APPROVED BY: \_\_\_\_\_

SHEET NAME

**MAIN FLOOR PLAN**

PROGRESS  
FOR CONSTRUCTION

REVISION	PLAN NUMBER
	438

SHEET NUMBER	SHEET
A6	6 OF 11

10/16/2016 10:11:00 AM C:\PROJECTS\LOT 17/18\DWG\MAIN FLOOR PLAN (EDGE 1).DWG  
10/16/2016 10:11:00 AM C:\PROJECTS\LOT 17/18\DWG\MAIN FLOOR PLAN (EDGE 1).DWG

USFWS AND DOCUMENTS BY JAMES B. SMITH, PROJECT NUMBER 8438, ROOM  
H0018, THE FIDELITY.



# SCHEDULE

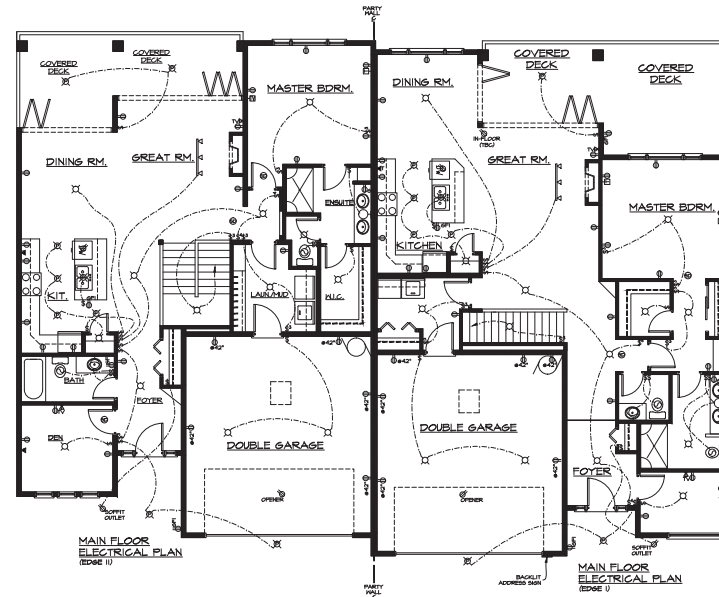
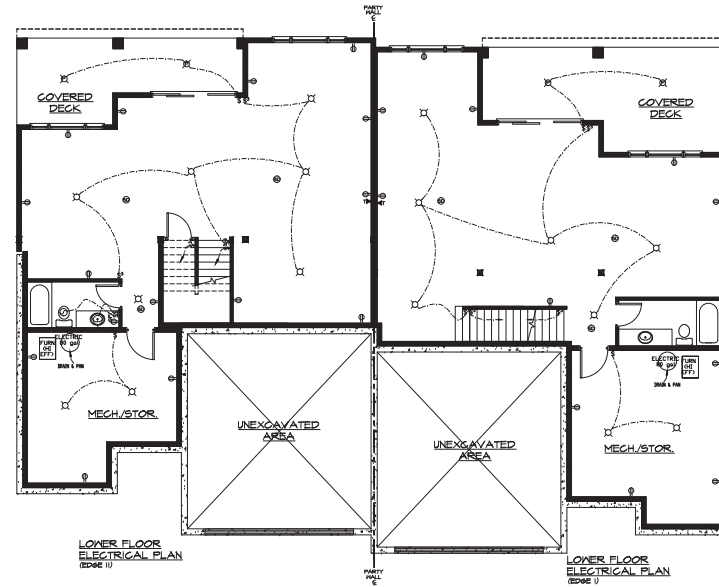
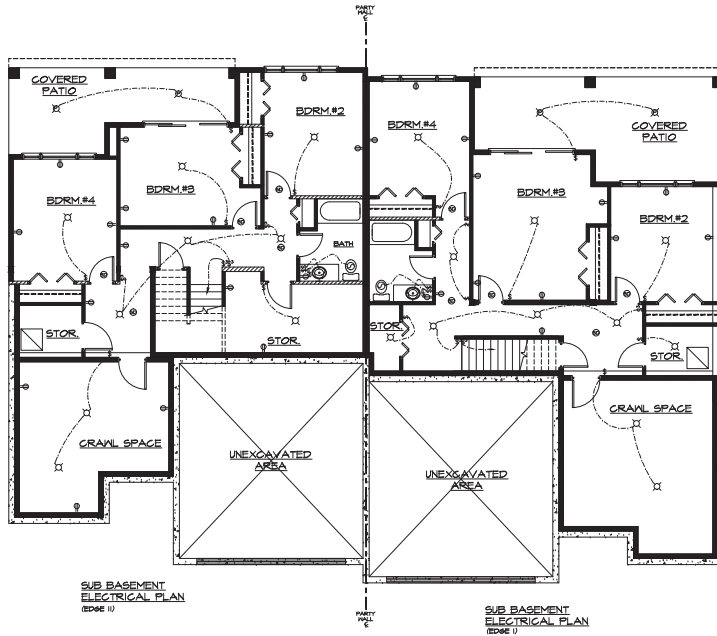
A

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Planner  
Initials

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City of  
**Kelowna**  
COMMUNITY PLANNING



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**Acorn**  
Sunset Ranch, Kelowna  
Ph: 491-0095



## DEVELOPERS APPROVAL

NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

**Acorn Homes**  
**McKinley Beach**  
491-0095

**EVAN GILBERT**  
drafting & design  
www.evangelbert.ca  
778.478.7722

PROJECT TITLE  
**LOT 17/18**

EDGE1 / EDGE2

CUSTOMER: LOT 17: SHOWHOME  
LOT 18: SHOWHOME

DATE: 09/05/16

DRAWING SCALE: NTS

DRAWN BY: EKG

CHECKED BY: RH

APPROVED BY: \_\_\_\_\_

SHEET NAME

**ELECTRICAL PLANS**

PROGRESS  
**FOR CONSTRUCTION**

REVISION PLAN NUMBER:  
438

SHEET NUMBER SHEET  
A8 8 OF 11

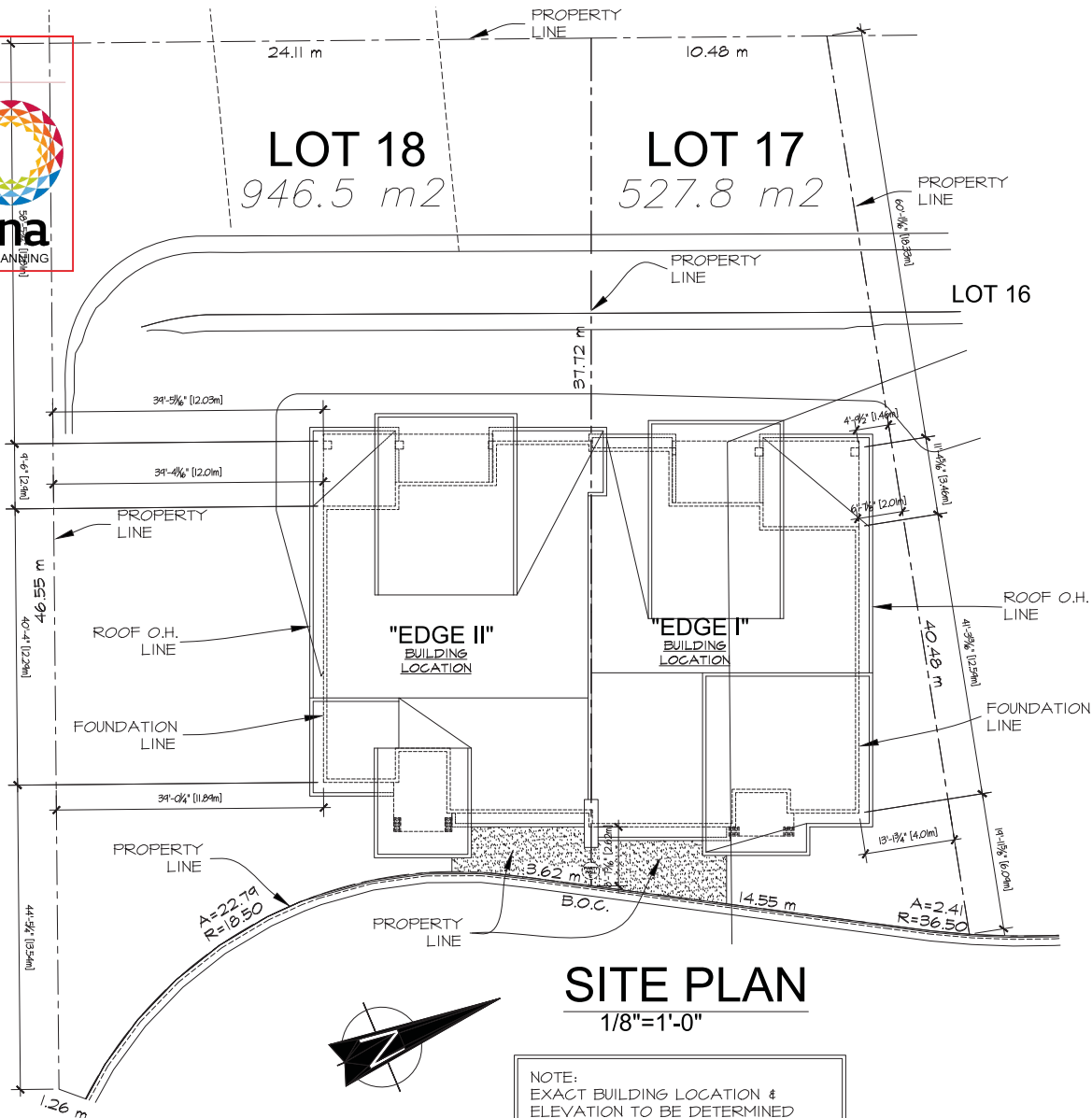
# SCHEDULE

A

This forms part of application

# DP16-0152

Planner  
Initials AC



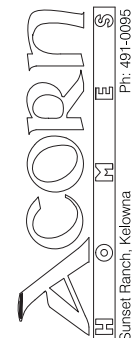
## SITE PLAN

1/8"=1'-0"

NOTE:  
EXACT BUILDING LOCATION &  
ELEVATION TO BE DETERMINED  
ON SITE. CONFIRM ALL SETBACKS  
AND LOT LINES WITH REGISTERED  
LOT PLAN PRIOR TO CONSTRUCTION.

### ERRORS AND OMISSIONS

- EVAN GILBERT shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may affect construction. It is the responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.



### DEVELOPERS APPROVAL

NAME: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SIGNATURE: \_\_\_\_\_

Acorn Homes  
McKinley Beach  
491-0095



### PROJECT TITLE

LOT 17/18

EDGE1 / EDGE2

CUSTOMER: LOT 17: SHOWHOME  
LOT 18: SHOWHOME

DATE: 09/05/16

DRAWING SCALE: 1/8" = 1'0"

DRAWN BY: EKG

CHECKED BY: RH

APPROVED BY: \_\_\_\_\_

SHEET NAME

SITE PLAN

PROGRESS  
FOR CONSTRUCTION

REVISION PLAN NUMBER:  
438

SHEET NUMBER SHEET  
A9 9 OF 11



**INTERIOR FLOOR CONSTRUCTION**  
 - FINISHED FLOORING  
 - 3/4" UNDERLAY (PREMIUM) @ LINO AREAS  
 - 3/4" T & G, O.S.B. SUB-FLOOR, ENG. FLOOR SYSTEM, SPACING AS PER MANUFACTURER (GLUED, SCREWED & BRIDGED)  
 - 1/2" GYPSUM BOARD TO FINISHED AREAS

**SLAB ON GRADE**  
 - 4" CONCRETE SLAB, 25MPa, 10M REBAR @16" o.c.  
 - 6 MIL. POLY. VAPOR BARRIER  
 - 4" GRAVEL BED

**INTERIOR WALL @ LOWER FLOOR**  
 - 2X4'S @ 16" o.c. C/M SILL GASKET OR EQUIV.  
 - 1/2" DRYWALL, FINISHED ROOMS ONLY

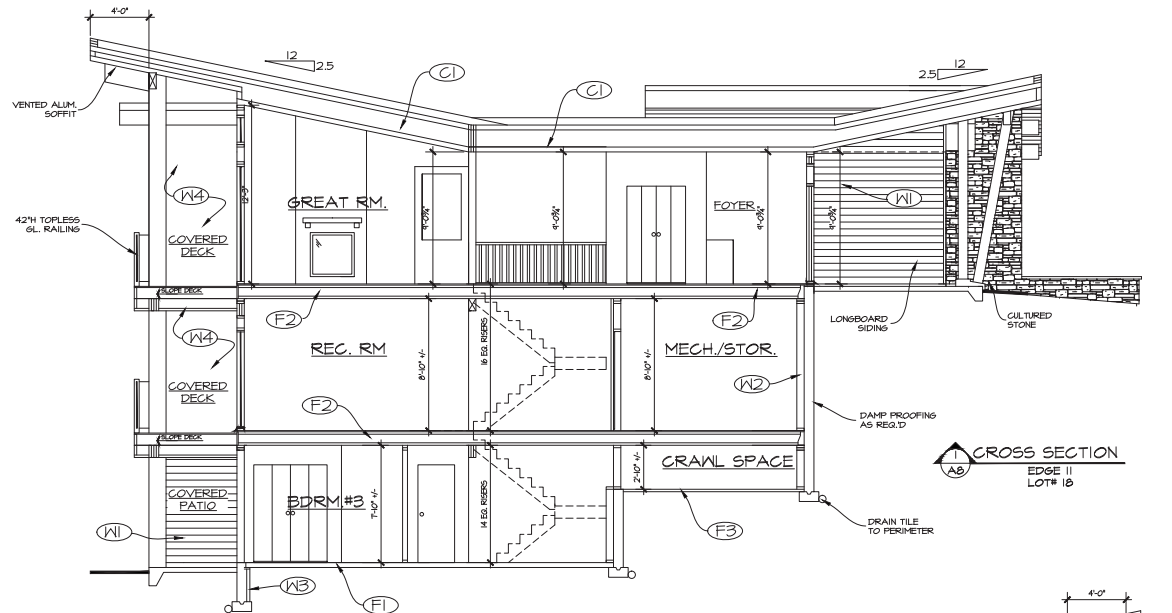
**ROOF CONSTRUCTION**  
 - SHADOW EDGE ASPHALT SHINGLES (SLOPES UNDER 1/2 FEEL & STICK UNDERLAY)  
 - 7/8" OSB SHEATHING  
 - ENGINEERED ROOF TRUSSES @ 24" o.c. (HEEL CUT VARIES)  
 - R-40 INSULATION  
 - 6 MIL. POLY.  
 - 3/8" DRYWALL

**INTERIOR WALL @ MAIN FLOOR**  
 - 1/2" GYPSUM BOARD TO BOTH SIDES OF 2X4 SPRUCE STUDS @16" o.c.

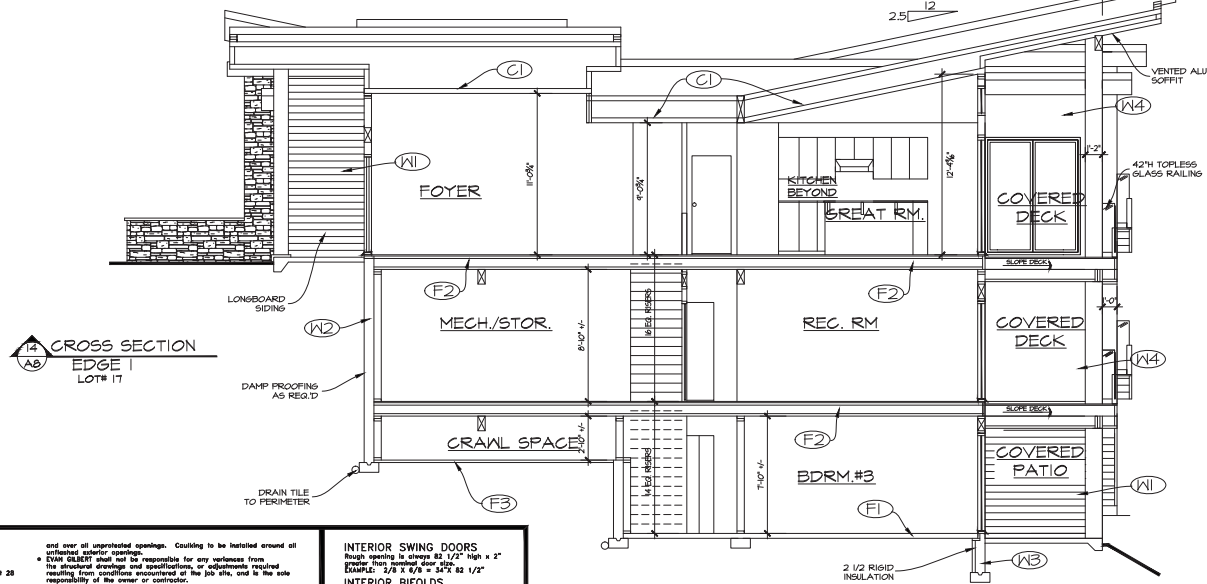
**GARAGE SLAB**  
 - 4" CONCRETE SLAB @32MPa  
 - 5" COMPACTED SAND  
 NOTE: A MIN. OF 3" SLOPE FROM BACK WALL TO O.H. DOOR  
 - T.O. SLAB TO BE 6" BELOW T.O. FOUNDATION WALL

**NOTE:**  
 RE FOOTINGS & FOUNDATION ALSO REFER TO ENGINEERS DRAWINGS FOR ALL FOUNDATION WALLS OVER 8'-0" HIGH.

**EXTERIOR WALL CONSTRUCTION**  
 - HORIZONTAL FIBER CEMENT SIDING/ STUCCO/HARDI SHINGLES  
 - BUILDING PAPER  
 - 3/8" SHEATHING  
 - R-22 INSULATION  
 - 2x6 @ 24" o.c. (2x6 @ 16" o.c. ON LOWER FLOOR WALL WHEN SUPPORTING LOFT)  
 - 6MIL. POLY., 1/2" DRYWALL



**CROSS SECTION**  
 EDGE II  
 LOT# 18



**CROSS SECTION**  
 EDGE I  
 LOT# 17

## SCHEDULE A & B

This forms part of application

# DP16-0152

Planner Initials **AC**

City of  
**Kelowna**  
 COMMUNITY PLANNING

### GENERAL NOTES

- All work to be in compliance with the current residential standards of the National Building Code of Canada, current electrical and plumbing codes and all local building codes and bylaws which may take precedence.
- All work shall be performed in all respects in good building practice.
- Minimum dimensions to be followed: 100 mm (4") from drainage.
- All floor joists and beams to be 12" x 16" or better or as noted.
- Work in contact with concrete to be damp-proofed with 45 lb. felt, 6 mil. poly or other approved method.
- Plates to be anchored to concrete with 1/2" dia. anchor bolts of maximum 8" o.c. and all corners.

- All measurements, grades and levels to be verified on site before commencing construction.
- Perimeter drainage shall be installed where required by local authorities having jurisdiction and to their approval.
- All concrete to have a minimum compressive strength of 20 mpa or 28 days.
- Flue-pipe systems of more than 7'0" shall be protected of mid-span or at 1/2" o.c. maximum. Jacking shall be 7'0" diagonal type cross.
- Flashing to be installed at all penetrations in roof systems and changed to roof plate.
- All electrical/plumbing fixtures to be verified with owner.
- Flashing to be installed at all changes in horizontal exterior claddings.

- and over all unprotected openings. Caulking to be installed around all exterior exterior openings.
- EVAN GILBERT shall not be responsible for any variances from the structural drawings and specifications, or adjustments required resulting from conditions encountered at the job site, and is the sole responsibility of the owner or contractor.
- EVAN GILBERT makes every effort to provide complete and accurate construction drawings. However, we assume no liability for any errors or omissions which may arise due to misinterpretation or responsibility of all trades and sub-trades to check and verify all dimensions and details before commencing with their portion of the construction. Should any discrepancies be found on these plans please advise our office so we can make the necessary corrections.

**INTERIOR SWING DOORS**  
 Rough opening is always 82 1/2" High x 2" greater than nominal door size.  
 Example: 1/8 x 8/8 x 34" x 82 1/2"  
**INTERIOR BIFOLDS**  
 Rough openings for 2 panel doors are 1/2" greater than nominal door width & 1/2" greater than door height.  
 Example: 3/0 x 8/8 x 31 1/2" x 81 1/2"  
 Rough openings for 4 panel doors are 1/2" greater than nominal door width and 1 1/2" greater.  
 Example: 5/0 x 8/8 x 61" x 81 1/2"

**Acorn**  
 Sunset Ranch, Kelowna  
 Ph: 491-0095



### DEVELOPERS APPROVAL

NAME: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 SIGNATURE: \_\_\_\_\_

Acorn Homes  
 McKinley Beach  
 491-0095

**EVAN GILBERT**  
 drafting & design  
 www.evangelbert.com  
 778.478.7722

### PROJECT TITLE

**LOT 17/18**

**EDGE1 / EDGE2**

CUSTOMER: LOT 17 SHOWHOME  
 LOT 18 SHOWHOME

DATE: 09/05/16

DRAWING SCALE: 1/4" = 1'-0"

DRAWN BY: EKG

CHECKED BY: RH

APPROVED BY: \_\_\_\_\_

SHEET NAME

**NOTES & CROSS SECTIONS**

### FOR CONSTRUCTION

REVISION	PLAN NUMBER
	438
SHEET NUMBER	SHEET
A11	11 OF 11

DESIGNED BY: EVAN GILBERT  
 DRAWN BY: EVAN GILBERT  
 CHECKED BY: RH  
 APPROVED BY: \_\_\_\_\_

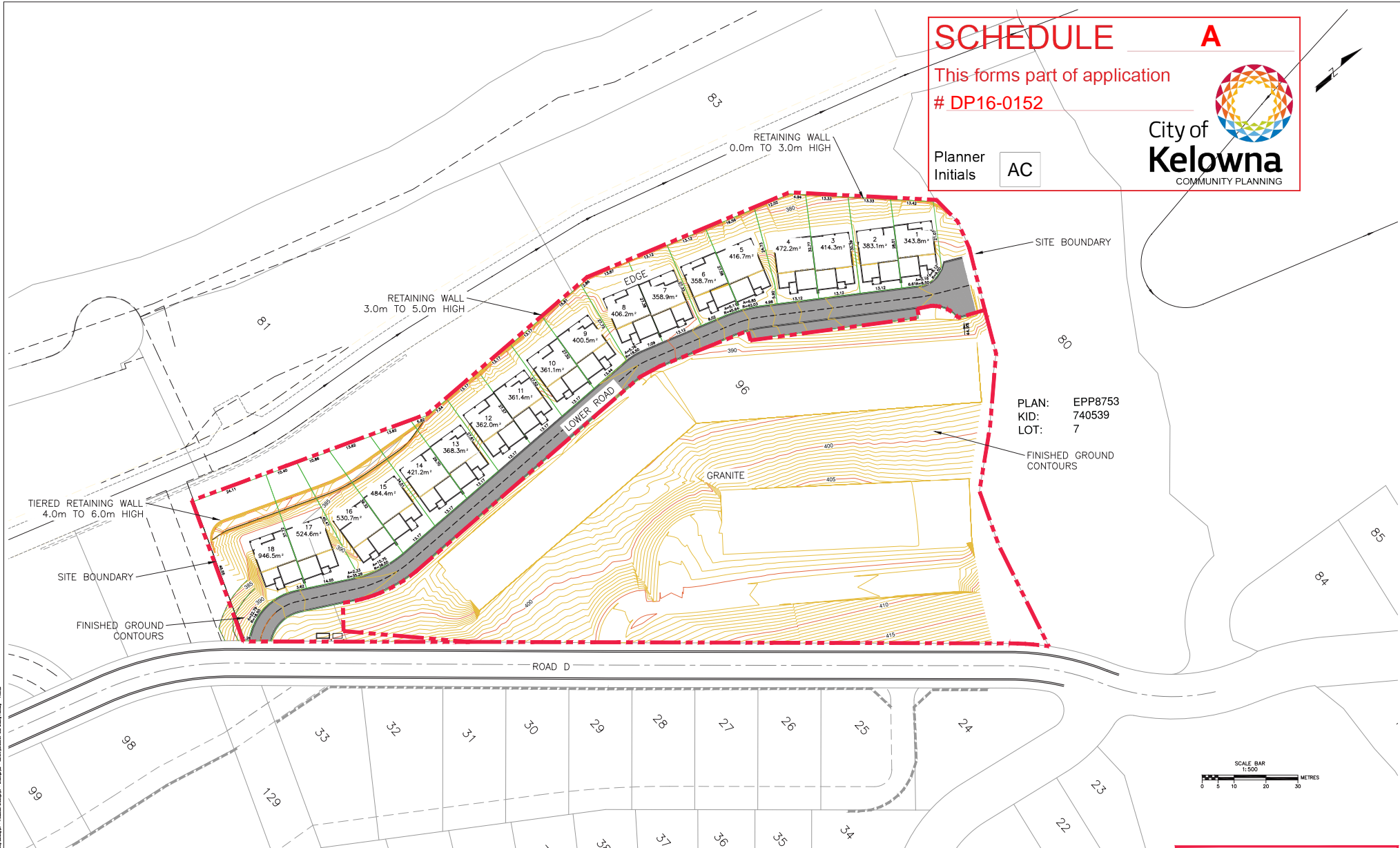


# SCHEDULE A

This forms part of application

# DP16-0152

Planner  
Initials AC



PLAN: EPP8753  
KID: 740539  
LOT: 7



LEGEND

EX. SEWER PIPE	—
EX. SANITARY SEWER PIPE	—
EX. WATER PIPE	—
PROP. STORM SEWER PIPE	—
PROP. SANITARY SEWER PIPE	—
PROP. WATER PIPE	—

MANHOLE	○ M.A.
UTILITY POLE	● U.P.
POWER POLE	● P.P.
LAMP STANDARD	○ L.S.
CATCH BASIN	■ C.B.
HYDRANT	⊗ H.D.
TREES	○ T
SURVEY MONUMENT	⊙

NAD 83

INSERTION BASE POINT: 0, 0

Location and offset of existing utilities shown on this plan are not guaranteed to be accurate and must be verified in the field PRIOR TO CONSTRUCTION. The City of Kelowna does not guarantee such accuracy. Government persons should not rely on these documents and should verify all information shown in regard to the existing and proposed conditions. The City of Kelowna accepts no liability for use of these files or information.

4	2016-05-17	SMC	ISSUED FOR PROPERTY LAYOUT REVIEW APPROVAL	SB
3	2015-08-13	JRG	ISSUED FOR DEVELOPMENT PERMIT	BR
2	2015-07-15	JRG	ISSUED FOR DEVELOPMENT PERMIT	BR
1	2015-05-15	JRG	ISSUED FOR DEVELOPMENT PERMIT	JBK
0	2015-03-19	JRG	ISSUED FOR DEVELOPMENT PERMIT	JBK
NO.	DATE	BY	REVISION	CHKD



BASE	JRG	DESIGN	JRG
APPROVED	SB		
DATE	MAY 2016		
SCALE	1:500		
SCALE NOT ACCURATE OVER LONG DISTANCES			

THE CITY OF KELOWNA

DESIGN AND CONSTRUCTION  
ACORN RESORTS LIMITED PARTNERSHIP  
MCKINLEY BEACH MULTI-FAMILY DEVELOPMENT

GRADING PLAN

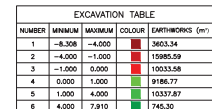
DIVISION	MUNICIPAL
DRAWING NO.	300
REV NO.	4

CITY FILE

City of Kelowna  
COMMUNITY PLANNING

AC

PLAN: EPP8753  
KID: 740539  
LOT: 7



ISSUED FOR PLR APPROVAL 16-05-17

DIVISION	
MUNICIPAL	
DRAWING NO.	REV NO.
500	4

CITY FILE



**OUTLAND DESIGN**  
LANDSCAPE ARCHITECTURE

Friday May 6, 2016

Granite at McKinley Beach  
C/o Acorn Communities Limited  
3774 Pine Valley Drive  
Kelowna, BC V1X 8E3  
Attn: Greg Bird, Director

## SCHEDULE

**C**

This forms part of application

# **DP16-0152**

Planner  
Initials

AC

City of  
**Kelowna**  
COMMUNITY PLANNING



Re: Proposed Granite at McKinley Beach Development – Preliminary Cost Estimate for Bonding

Dear Greg:

Please be advised of the following preliminary cost estimate for bonding of the proposed landscape works shown in the Granite at McKinley Beach conceptual landscape plan dated 15.05.06;

### Bare Land Strata

#### Site Restoration

- 4,768 square metres (51,322 square feet) of site restoration improvements = \$36,043.00  
*This preliminary cost estimate is inclusive of trees, shrubs, dryland seed, mulch, topsoil & irrigation.*

#### Chainlink Fencing

- 30 lineal metres (98 lineal feet) of 1.2m height black vinyl chainlink fence = \$3,000.00

#### 3 Year Maintenance Plan

- Maintenance of site restoration areas from Spring 2017 to Fall 2019 = \$8,060.00  
*Refer to 3 Year Maintenance Plan document for detailed cost estimate.*

### Remaining Site with 3 Buildings

#### Site Restoration

- 9,198 square metres (99,006 square feet) of site restoration improvements = \$94,098.00  
*This preliminary cost estimate is inclusive of trees, shrubs, dryland seed, mulch, topsoil & irrigation.*

#### Chainlink Fencing

- 120 lineal metres (394 lineal feet) of 1.2m height black vinyl chainlink fence = \$12,000.00

#### 3 Year Maintenance Plan

- Maintenance of site restoration areas from Spring 2017 to Fall 2019 = \$16,120.00  
*Refer to 3 Year Maintenance Plan document for detailed cost estimate.*

You will be required to submit a performance bond to the City of Kelowna in the amount of 125% of the preliminary cost estimate. Please do not hesitate to contact me with any questions about the landscape plan.

Best regards,

Fiona Barton, MBCSLA, CSLA  
as per  
Outland Design Landscape Architecture

206-1889 Spall Road, Kelowna, BC, V1Y 4R2 P 250.868.9270  
[outlanddesign.ca](http://outlanddesign.ca)



# SCHEDULE C

This forms part of application  
# DP16-0152

Planner  
Initials AC

City of  
**Kelowna**  
COMMUNITY PLANNING



**OUTLAND DESIGN**  
LANDSCAPE ARCHITECTURE

206 - 1889 Spall Road  
Kelowna, BC V1Y 4R2  
T (250) 868-9270  
www.outlanddesign.ca



PROJECT TITLE  
**GRANITE AT MCKINLEY BEACH**  
Kelowna, BC

DRAWING TITLE  
**CONCEPTUAL  
LANDSCAPE PLAN**

ISSUED FOR / REVISION	
1	16.05.06 Review
2	
3	
4	
5	

PROJECT NO.	15018
DESIGN BY	FB
DRAWN BY	KC
CHECKED BY	FB
DATE	MAY 6, 2018
SCALE	1:400

SEAL



DRAWING NUMBER

**L1/1**

ISSUED FOR REVIEW ONLY  
Copyright Reserved: This drawing is the property of Outland Design  
Landscape Architecture Limited and shall not be reproduced,  
modified, or extended without permission.

## LANDSCAPE NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED B.C.L.N.A. STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED WITH A MINIMUM 75mm WOOD MULCH. PLACEMENT.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
5. FLEX MSE VEGETATED RETAINING WALLS TO BE POCKET PLANTED WITH NATIVE SHRUBS (APPROXIMATELY 1 SHRUB EVERY 3 SQ. M).

HYDROSEEDING DRYLAND SEED AREAS:			
DRYLAND SEED MIXTURE	BY WEIGHT	BY SPECIES	
BLUE BUNCH WHEAT GRASS	41%	23%	
ROUGH FESCUE	25%	20%	
DAHO FESCUE	15%	19%	
PERENNIAL RYEGRASS	10%	7%	
SANDBERG BLUEGRASS	5%	13%	
JUNE GRASS	4%	18%	
WILDFLOWER SEED MIXTURE			
SILKY LUPINE	30%		
BALSAM ROOT	30%		
BROWN EYED SUSAN	35%		
COMMON YARROW	5%		

HYDROSEEDING APPLICATION RATE (DRYLAND SEED AREA)		
NATIVE SEED	DRYLAND SEED MIXTURE	125KG/HECTARE
	WILDFLOWER SEED MIXTURE	1KG/HECTARE
FERTILIZER	18-18-18-2, 50% SULPHUR COATED UREA	300KG/HECTARE
MULCH	CANFOR ECOPHIRE PLUS TAC	2,800KG/HECTARE
TACKIFIER	GUAR	3% OF MIX
THE PRECEDING HYDROSEEDING MIXTURE IS TO BE APPLIED TO THE DRYLAND AND FLEX MESE VEGETATED RETAINING WALLS AS SHOWN ON THE DRAWING.		
CERTIFIED #1 GRADE BY AGRICULTURE CANADA. REFER MANUFACTURER'S FOR PRODUCT DELIVERY, STORAGE & PROTECTION.		

THE PRECEDING HYDROSEEDING MIXTURE IS TO BE APPLIED TO THE DRYLAND SEED AREA AND FLEX MSE VEGETATED RETAINING WALLS AS SHOWN ON THE DRAWING. SEED MIX TO BE CERTIFIED #1 GRADE BY AGRICULTURE CANADA. REFER MANUFACTURER'S SPECIFICATIONS FOR PRODUCT DELIVERY, STORAGE & PROTECTION.

## PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE / SPACING & REMARKS
<b>TREES</b>			
AMELANCHER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SASKATOON	7	4cm CAL. / MULTI-STEM
PRINUS PENDERGOSA	PONDEROSA PINE	25	2.0m HT.
PSUEDOTSUGA MENZIESII	INTERIOR DOUGLAS FIR	25	2.0m HT.
<b>SHRUBS, PERENNIALS &amp; GRASSES</b>			
ACHILLEA MICOENSHINE	MOONSHINE YARROW	278	#01 CONT. / 0.6m O.C. SPACING
AMELANCHER ALNIFOLIA	SASKATOON	80	#01 CONT. / 2.0m O.C. SPACING
CORNUS SERICEA	RED OSIER DOGWOOD	57	#01 CONT. / 2.0m O.C. SPACING
CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE DOGWOOD	260	#01 CONT. / 1.0m O.C. SPACING
ECHINACEA PURPUREA 'MAGNUS'	MAGNUS CONEFLOWER	278	#01 CONT. / 0.6m O.C. SPACING
KOeleria PYRAMIDATA	JUNE GRASS	1,111	PLUGS / 0.3m O.C. SPACING
MAHORIA AQUIFOLIUM	OREGON GRAPE	195	#01 CONT. / 1.2m O.C. SPACING
PHILADELPHUS 'SNOWBELLE'	SNOWBELLE MOCKORANGE	260	#01 CONT. / 1.0m O.C. SPACING
RHUS AROMATICA 'GOLD LOW'	GOLD LOW SUMAC	114	#01 CONT. / 1.5m O.C. SPACING
SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	BLUE LITTLE BLUESTEM	179	#01 CONT. / 0.75m O.C. SPACING
SYMPHORICARPOS ALBUS	SNOWBERRY	275	#01 CONT. / 1.0m O.C. SPACING
ROSA WOODSIDE	WOODS ROSE	129	#01 CONT. / 1.5m O.C. SPACING

# DEVELOPMENT PERMIT



## APPROVED ISSUANCE OF DEVELOPMENT PERMIT

File Number DP16-0192  
Issued To: Acorn Resorts GP Ltd., Inc. No. BC0888222  
Site Address: 3450 McKinley Beach Dr  
Legal Description: Lot 45, Section 29, Township 23, ODYD, Plan EPP53256  
  
Zoning Classification: CD18 - McKinley Beach Comprehensive Resort Development  
Development Permit Area: Comprehensive Development Permit Area

### SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

### 1. TERMS AND CONDITIONS

THAT Development Permit No. DP16-0192 for Lot 45, Section 29, Township 23, ODYD, Plan EPP53256 located at 3450 McKinley Beach Dr, Kelowna, BC be approved subject to general conformance to the drawings (Schedule "A", "B", & "C") attached to this permit.

### 2. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Permit Holder and be paid to the Permit Holder if the security is returned. The condition of the posting of the security is that should the Permit Holder fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use the security to carry out the work by its servants, agents or contractors, and any surplus shall be paid over to the Permit Holder, or should the Permit Holder carry out the development permitted by this Permit within the time set out above, the security shall be returned to the Permit Holder. There is filed accordingly:

- a) Cash in the amount of \$ 152,772.50 OR
- b) A Certified Cheque in the amount of \$ 152,772.50 OR

- c) An Irrevocable Letter of Credit in the amount of \$ 152,772.50 .

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

### 3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

**This Permit IS NOT a Building Permit.**

### 4. APPLICANT'S AGREEMENT

I hereby declare that all of the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit and/or Development Variance Permit, the Municipality may withhold the granting of any Occupancy Permit for the occupancy and / or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Divisional Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning Department immediately to avoid any unnecessary delay in processing the application.

I HEREBY UNDERSTAND AND AGREE TO ALL THE TERMS AND CONDITIONS SPECIFIED IN THIS PERMIT.

---

Signature of Owner / Authorized Agent

---

Date

---

Print Name in Bold Letters

---

Telephone No.

**5. APPROVALS**

Issued and approved by Council on the \_\_\_\_\_ day of \_\_\_\_\_, 2016.

---

Ryan Smith, Community Planning Department Manager  
Community Planning & Real Estate

---

Date

The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall be returned to the PERMIT HOLDER



# GRANITE AT MCKINLEY

## KELOWNA, BC



### SCHEDULE A & B

This forms part of application  
# DP16-0192

Planner  
Initials

AC

City of  
**Kelowna**  
COMMUNITY PLANNING



- THIS DRAWING MUST NOT BE SCALED.  
- VERIFY ALL DIMENSIONS AND DATUMS  
PRIOR TO COMMENCEMENT OF WORK.  
- REPORT ALL ERRORS AND OMISSIONS  
TO THE ARCHITECT.  
- VARIATIONS AND MODIFICATIONS ARE NOT  
ALLOWED WITHOUT WRITTEN PERMISSION  
FROM THE ARCHITECT.  
- THIS DRAWING IS THE EXCLUSIVE  
PROPERTY OF THE ARCHITECT.  
- ANY REPRODUCTION MUST BEAR THEIR  
NAME AS ARCHITECT.

NO.	DATE	BY	REVISION
-----	------	----	----------

DESIGN CONSULTANT

SCALE

gta

GTA ARCHITECTURE LTD.  
243-1889 Springfield Road  
Kelowna, British Columbia  
V1Y 5V6  
Fax: 250.979.4366  
Telephone: 250.979.1668

PROJECT

GRANITE AT  
MCKINLEY

KELOWNA, BC

SHEET TITLE

COVER SHEET

DRAWN RB	SHEET NO.
DESIGN	A0.0
SCALE AS NOTED	
DATE 2016-09-07	FILE A15-03



# SCHEDULE

**B**

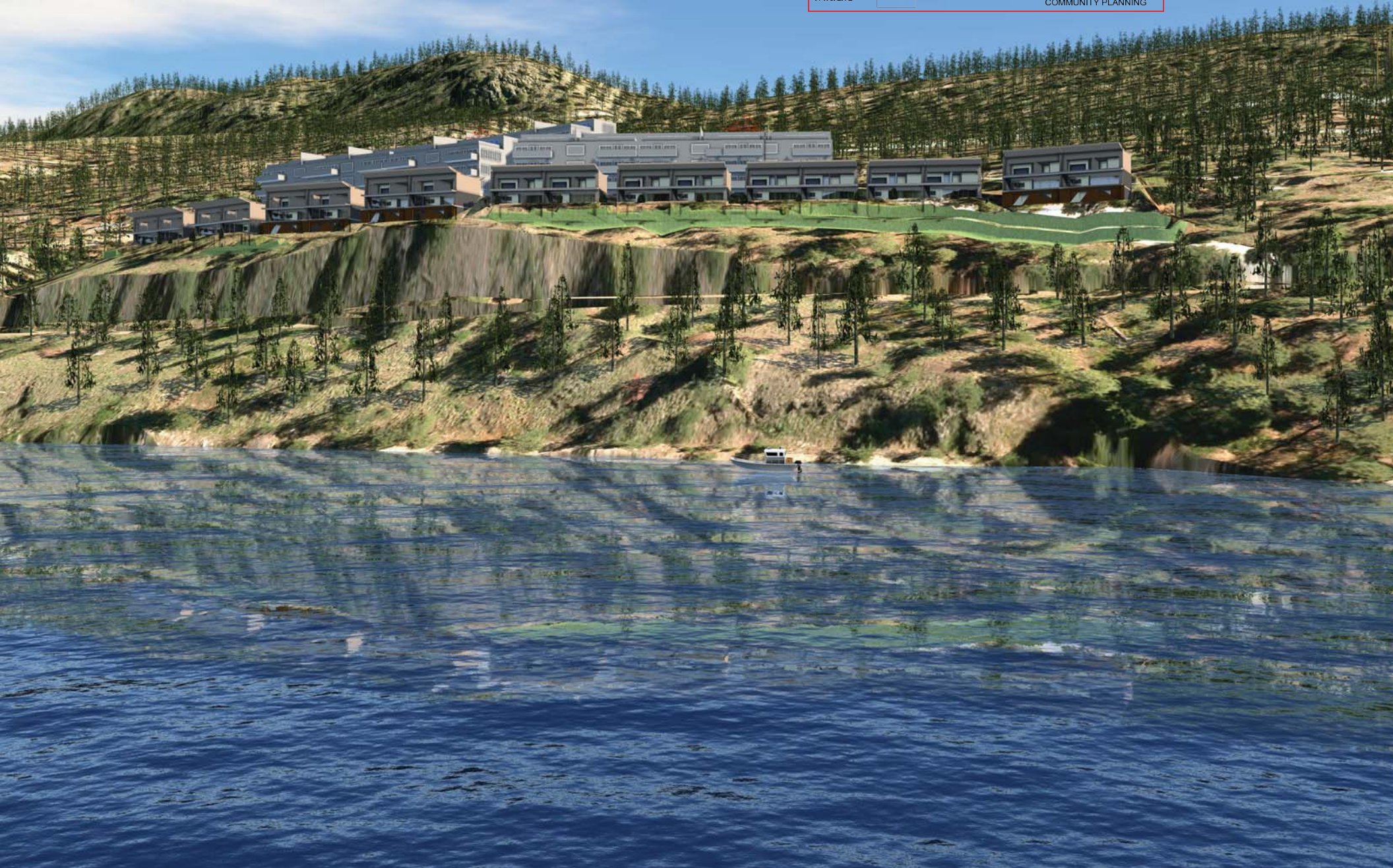
This forms part of application

# DP16-0192

Planner  
Initials

AC

City of  
**Kelowna**  
COMMUNITY PLANNING





# GRANITE AT MCKINLEY

## KELOWNA, B.C.

### RESIDENTIAL DEVELOPMENT

LOCATION MAP



#### CONSULTANTS:

##### ARCHITECTURAL:

GTA ARCHITECT LTD.   
CONTACT: GARRY TOMPOROWSKI  
243 - 1889 SPRINGFIELD ROAD  
KELOWNA, BC V1V 5V5  
PHONE: (250) 979-1668, FAX: (250) 979-4366  
EMAIL: garry@garch.ca

##### CIVIL:

WSP  
CONTACT: FIONA BARTON  
602 - 1631 DICKSON AVENUE  
KELOWNA, BC V1V 9S4  
PHONE: 250-869-1334  
EMAIL:

##### STRUCTURAL:

Sheet List Table	
Sheet Number	Sheet Title
A0.0	COVER SHEET
A0.1	PROJECT DETAILS
A1.0	SITE PLAN
A2.1	PARKADE PLAN
A2.2	FIRST FLOOR
A2.3	SECOND FLOOR
A2.4	THIRD FLOOR
A2.5	FOURTH FLOOR
A2.6	LOFTS & TERRACE
A3.0	ELEVATIONS
A3.1	ELEVATIONS
A3.3	ELEVATIONS
A3.4	COLOUR PERSPECTIVES
A3.5	COLOUR PERSPECTIVES
A4.0	SITE SECTION

##### GEOTECHNICAL:

##### SURVEYOR:

##### LANDSCAPE:

OUTLAND DESIGNS LTD.  
CONTACT: FIONA BARTON  
206 1889 SPALL ROAD  
KELOWNA, BC V1W 2X7  
PHONE: 250-688-9270  
EMAIL: fiona@outlanddesign.ca

##### LIST OF DRAWINGS:

##### LIST OF DRAWINGS:

##### LIST OF DRAWINGS:

#### PROJECT INFO:

CIVIC ADDRESS:  
CURRENT: 3450 MCKINLEY BEACH DRIVE, KELOWNA, BC.

LEGAL ADDRESS:  
CURRENT: LOT 45, PLAN EPP53256, O.D.Y.D.

ZONING:  
CURRENT: CD18 - MCKINLEY BEACH COMPREHENSIVE RESORT DEVELOPMENT  
PROPOSED: CD18 - MCKINLEY BEACH COMPREHENSIVE RESORT DEVELOPMENT

SITE AREA: 14,974 m<sup>2</sup> (161,180 SF)

PROPOSED FLOOR AREA:  
BUILDING A TOTAL AREA: 325.6m<sup>2</sup>  
PARKADE: 106.8 m<sup>2</sup> (34,006 SF)  
1ST FLOOR: 2197 m<sup>2</sup> (23,650 SF)  
2ND FLOOR: 2197 m<sup>2</sup> (23,650 SF)  
3RD FLOOR: 2197 m<sup>2</sup> (23,650 SF)  
4TH FLOOR: 2197 m<sup>2</sup> (23,650 SF)  
LOFTS: 180 m<sup>2</sup> (1936 SF)  
BUILDING A NET FLOOR AREA: 6492 m<sup>2</sup> (69,884 SF)

#### CITY OF KELOWNA ZONING BYLAW (No. 8000) ANALYSIS:

SECTION 18 - COMPREHENSIVE DEVELOPMENT ZONE  
SCHEDULE "B" CD18 - MCKINLEY BEACH COMPREHENSIVE RESORT DEVELOPMENT  
AREA IV - WATERFRONT RESORT ACCOMMODATION  
1.2(c) PRINCIPLE USES  
a) APARTMENT HOTELS

PROP: APARTMENT HOTEL

1.3 DEVELOPMENT REGULATIONS  
b) MAX DENSITY: 112 UNITS  
DENSITY BASED ON PROPORTIONATE AREA  
16 SEMI-DETACHED UNITS APPROVED  
32 UNITS REMAINING TO BE DEVELOPED

PROP: 64

k) MAX HEIGHT: LESSER OF 29.5m or 6 1/2 STOREYS

PROP: 4 1/2 STOREYS (9.0m)

1.4.1 SETBACK FROM CD ZONE BOUNDARY 10m

PROP: 10.0m

1.4.2 MIN FRONT YARD: 0.0m

1.4.3 MIN SIDE YARD: 0.0m

1.4.4 MIN REAR YARD: 0.0m

#### SECTION 8 - PARKING AND LOADING

##### 8.1 OFF-STREET VEHICLE PARKING

8.1.2 MIN NUMBER SPACES  
TABLE 8.1 (APARTMENT HOTEL): 1.0/DWELLING UNIT  
1.0 SPACES x 64 UNITS = 64 SPACES  
MAX. NUMBER OF SPACES 64x125% = 80 SPACES

PROP: 80 SPACES

##### 8.1.7 PARKING SPACES FOR THE DISABLED

a) PER B.C. BUILDING CODE: 1/100 REQUIRED STALLS

PROP: 2 SPACE

##### 8.1.8 VISITOR PARKING

TABLE 8.1 (DWELLING): 1/7 DWELLING UNITS  
64 UNITS = 10 VISITOR SPACE

PROP: 10 SPACES

##### 8.4 OFF-STREET BICYCLE PARKING

8.4.1 NUMBER OF SPACES  
TABLE 8.3 (APARTMENT HOUSING):  
CLASS I: 1/20 DWELLING UNIT  
64 UNITS x 0.5 SPACES/UNIT = 32 SPACES  
CLASS II: 1/20 DWELLING UNIT  
64 UNITS x 0.01 SPACES/UNIT = 7 SPACES

PROP: 64

PROP: 7

#### B.C. BUILDING CODE (2012) ANALYSIS:

DIVISION A - PART 1 - COMPLIANCE  
SECTION 1.3. DIVISIONS A, B AND C OF THIS CODE  
1.3.3. APPLICATION OF DIVISION B  
3.1.2.1 (2) CLASSIFICATION  
3.2.2.50 GROUP C, OCCUPANCIES UP TO  
6 STORIES, SPRINKLERED  
COMBUSTABLE OR NON-COMBUSTABLE

PROP: C, RESIDENTIAL  
PROP: 5 STOREYS,  
UP TO 1,440m<sup>2</sup>

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PROJECT

GRANITE AT  
MCKINLEY

KELOWNA, BC

SHEET TITLE

PROJECT  
DETAILS

DRAWN RB	SHEET NO.
DESIGN	A0.1
SCALE AS NOTED	
DATE 2016-10-13	FILE: A15-03

## SCHEDULE A

This forms part of application

# DP16-0192

Planner  
Initials

AC



# SCHEDULE

**A**

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1 SITE PLAN  
A1.0 1"=50'



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SHEET TITLE

**SITE PLAN**

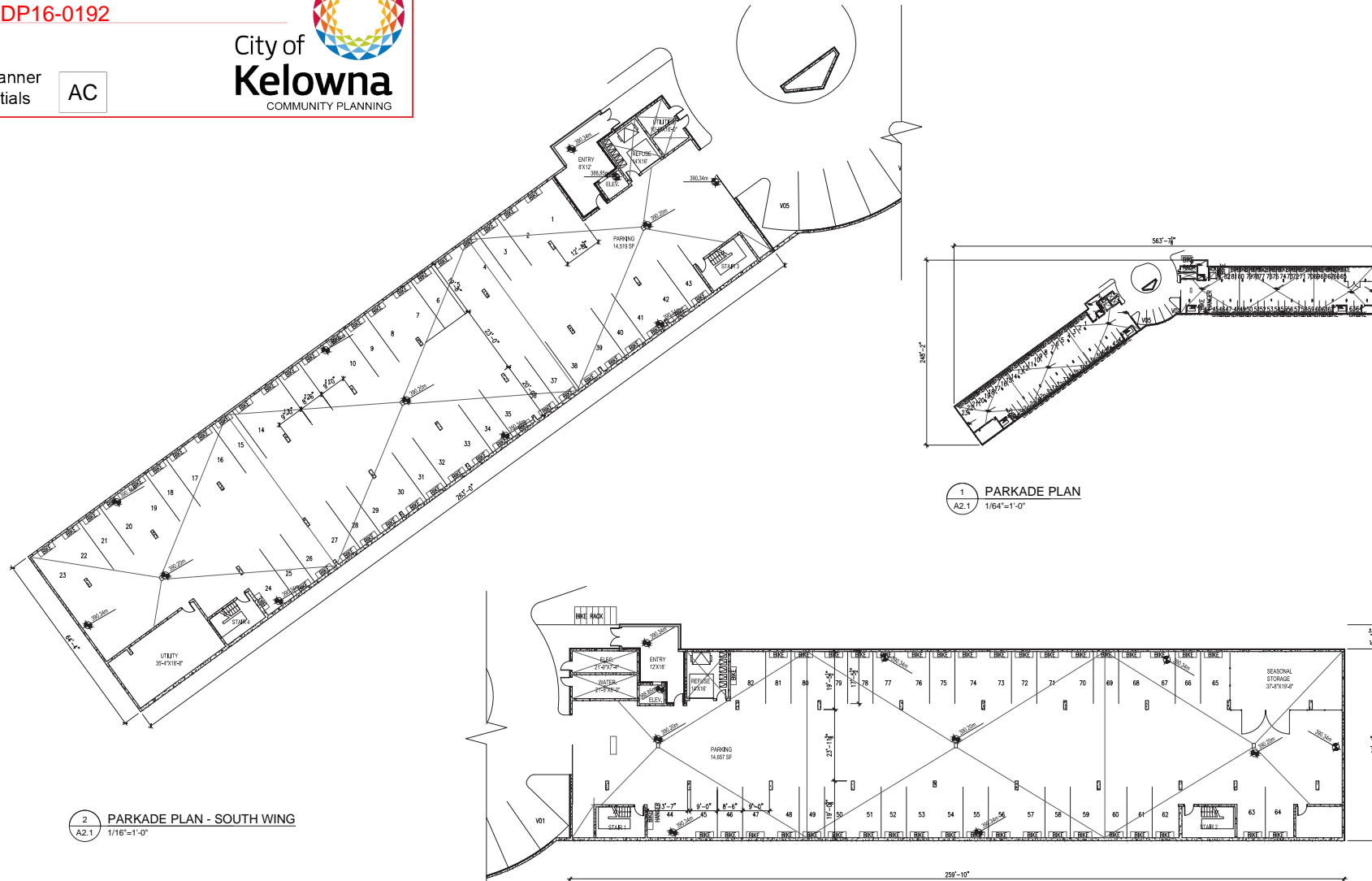
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DESIGN	
SCALE AS NOTED	
DATE 2016-09-07	FILE A15-03

# SCHEDULE A

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Initials AC



2 PARKADE PLAN - SOUTH WING  
1/16"=1'-0"

3 PARKADE PLAN - NORTH WING  
1/16"=1'-0"

1 PARKADE PLAN  
1/64"=1'-0"

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SHEET TITLE

PARKADE PLAN

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DESIGN	A2.1
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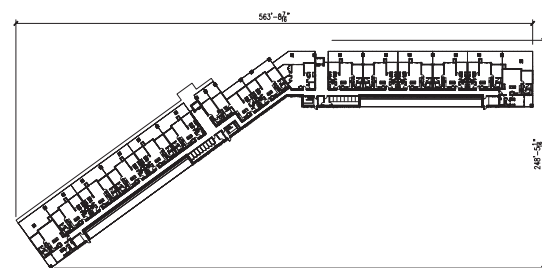
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KELOWNA, BC

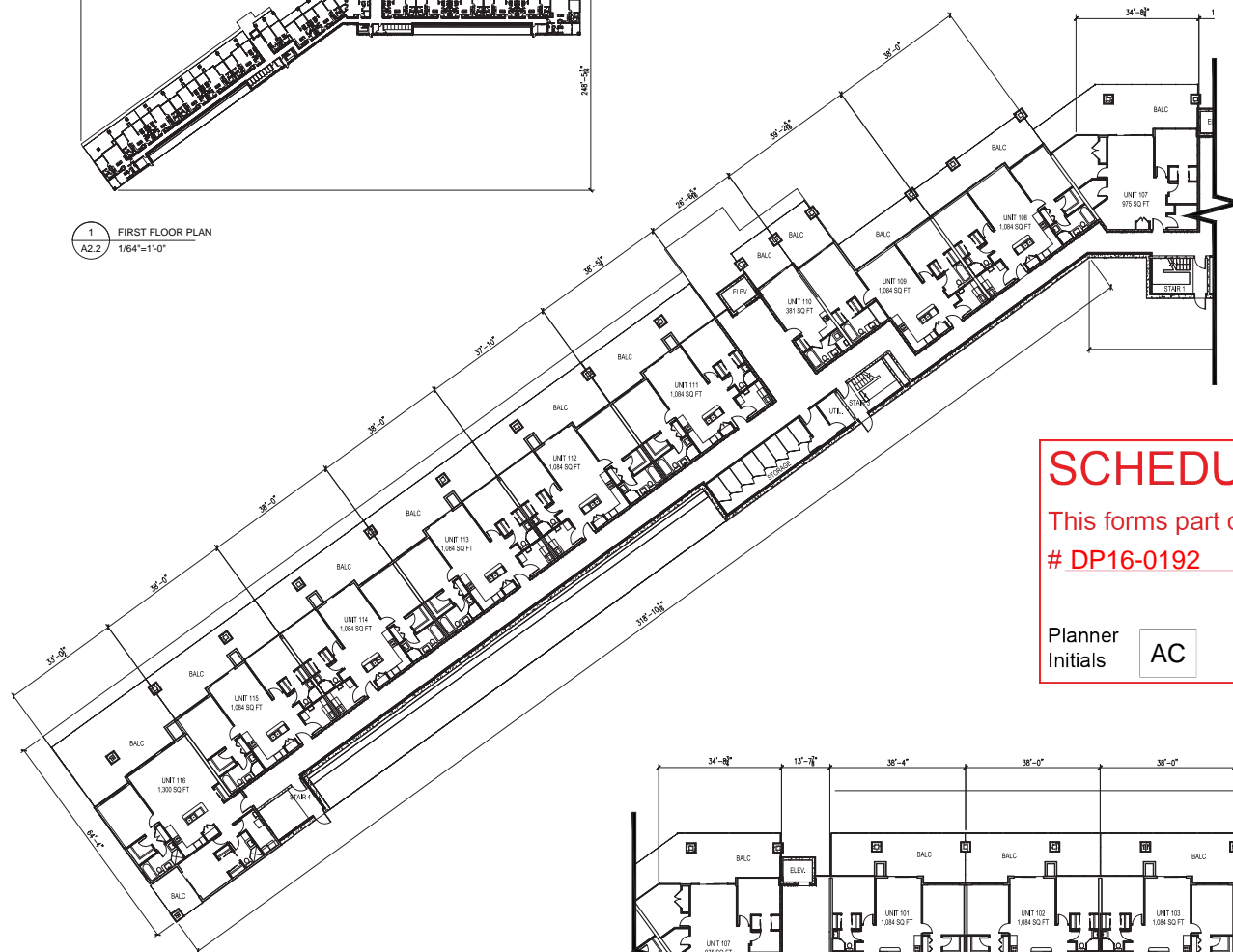
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FIRST FLOOR

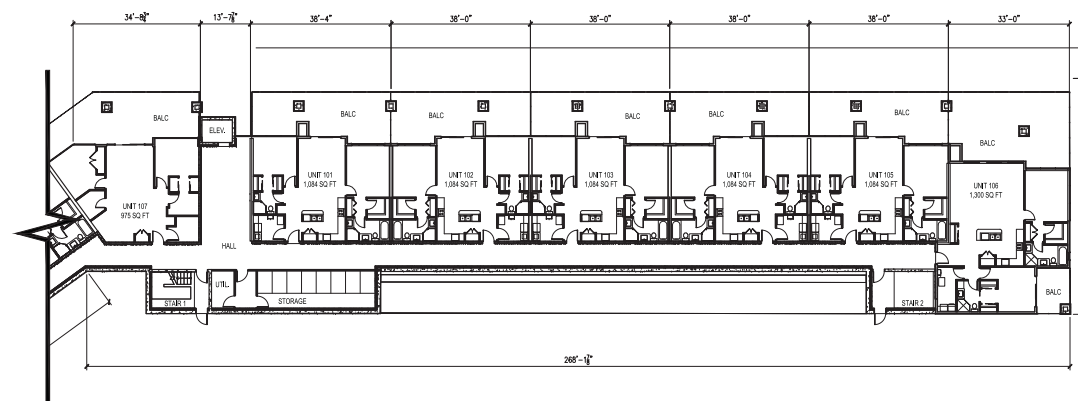
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DESIGN	
SCALE AS NOTED	
DATE 2016-09-07	FILE A15-03



1 FIRST FLOOR PLAN  
A2.2 1/16"=1'-0"



2 FIRST FLOOR PLAN - SOUTH WING  
A2.2 1/16"=1'-0"



3 FIRST FLOOR PLAN - NORTH WING  
A2.2 1/16"=1'-0"





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PROJECT

**GRANITE AT  
MCKINLEY**

KELOWNA, BC

SHEET TITLE

**SECOND FLOOR**

DRAWN BY RB

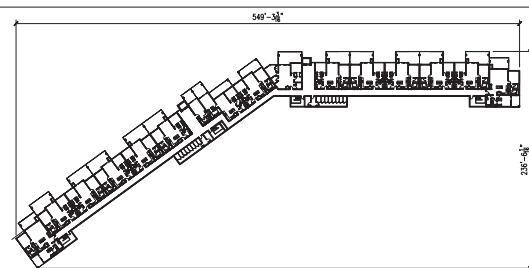
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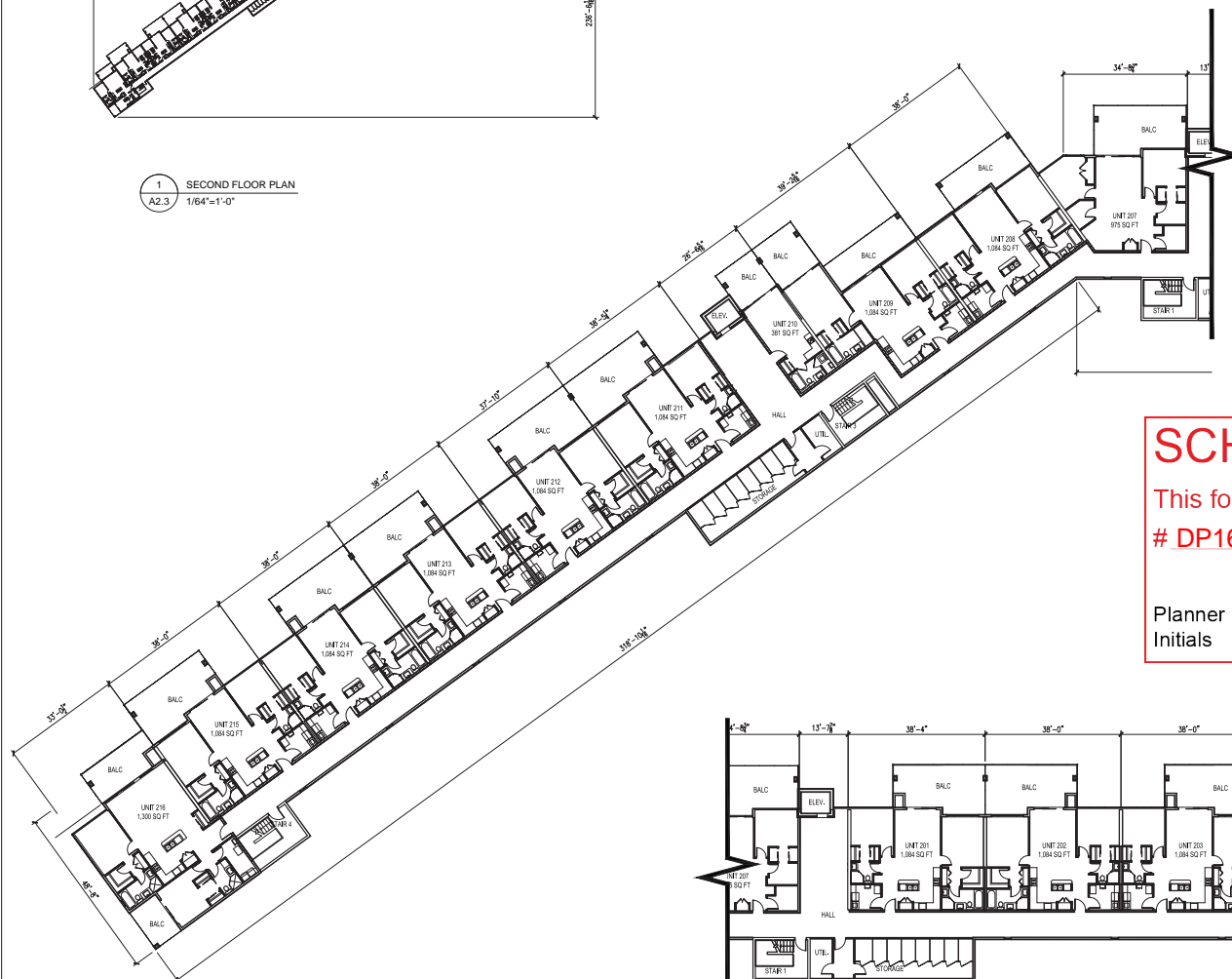
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FILE: A15-03

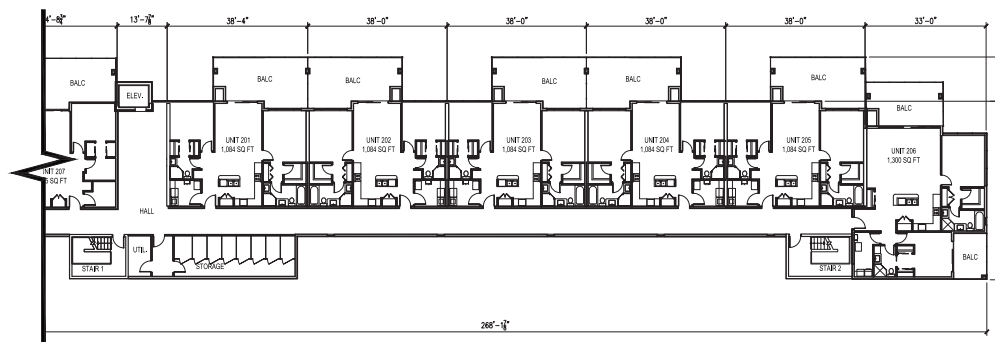
**A2.3**



1 SECOND FLOOR PLAN  
A2.3 1/16"=1'-0"



2 SECOND FLOOR PLAN - SOUTH WING  
A2.3 1/16"=1'-0"



3 SECOND FLOOR PLAN - NORTH WING  
A2.3 1/16"=1'-0"

**SCHEDULE**

**A**

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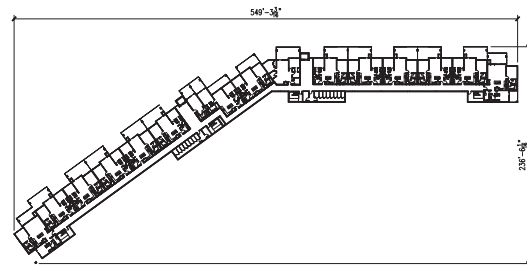
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KELOWNA, BC

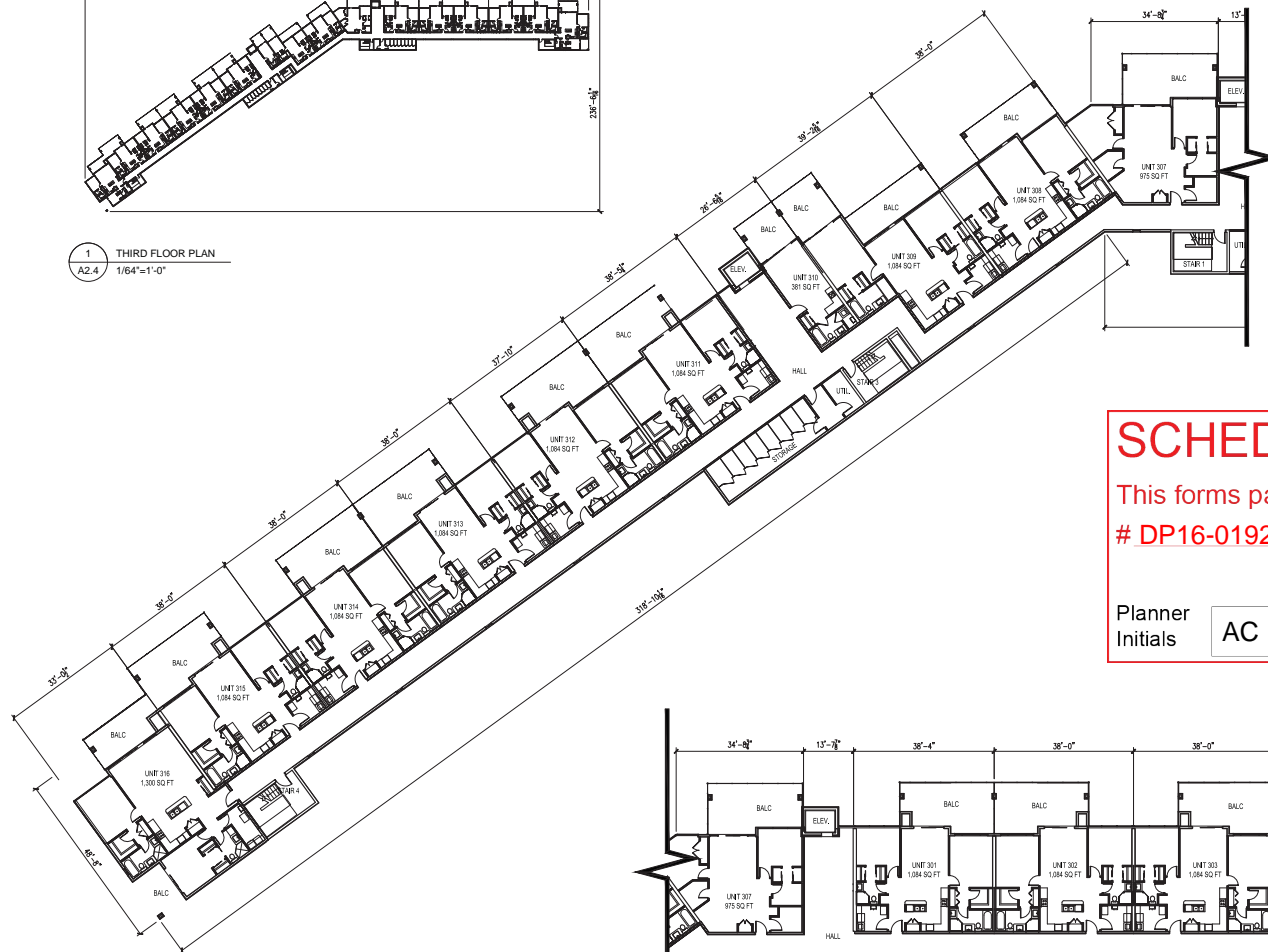
SHEET TITLE

**THIRD FLOOR**

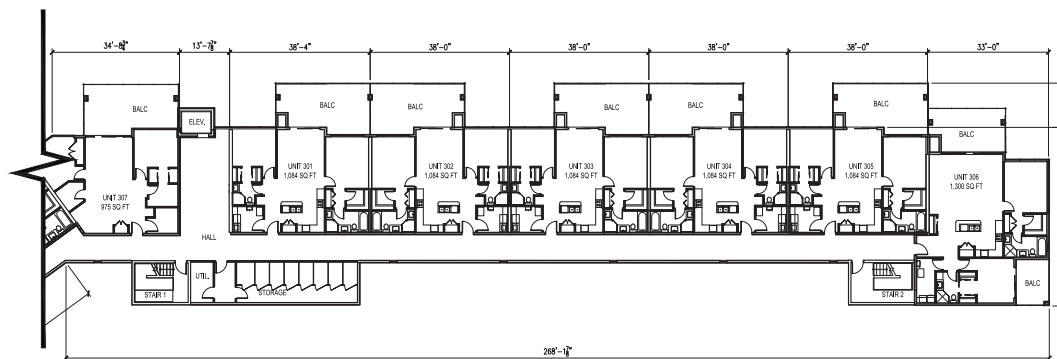
DRAWN RB	SHEET NO. <b>A2.4</b>
DESIGN	
SCALE AS NOTED	
DATE 2016-09-07	FILE A15-03



1 THIRD FLOOR PLAN  
A2.4 1/16"=1'-0"



2 THIRD FLOOR PLAN - SOUTH WING  
A2.4 1/16"=1'-0"



3 THIRD FLOOR PLAN - NORTH WING  
A2.4 1/16"=1'-0"

SCHEDULE A

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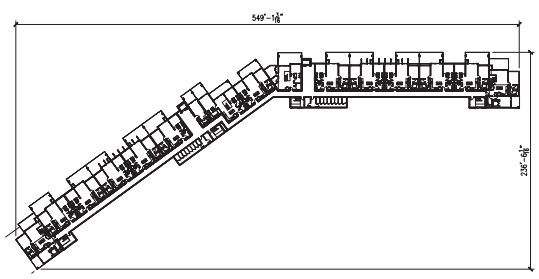
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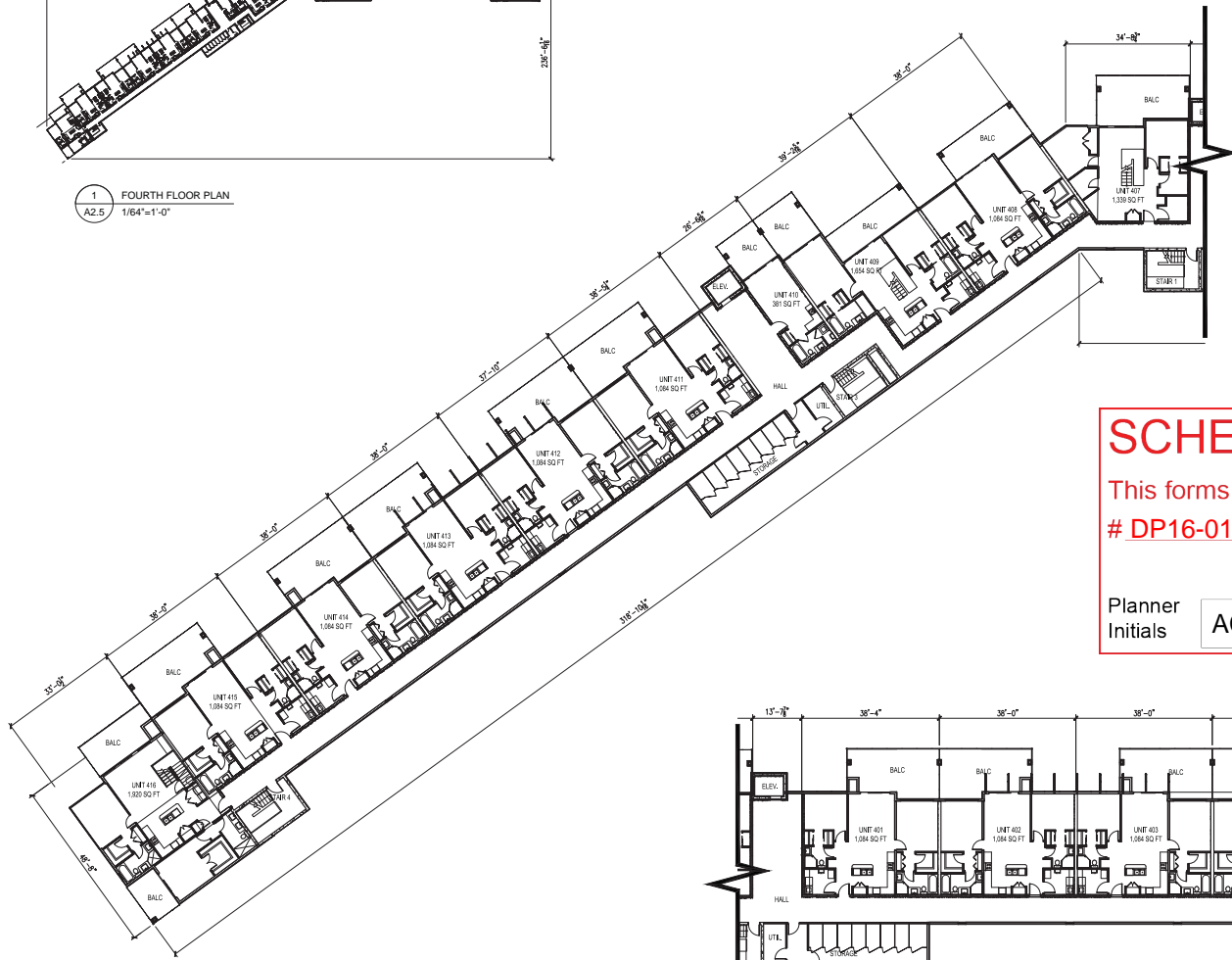
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COMMUNITY PLANNING



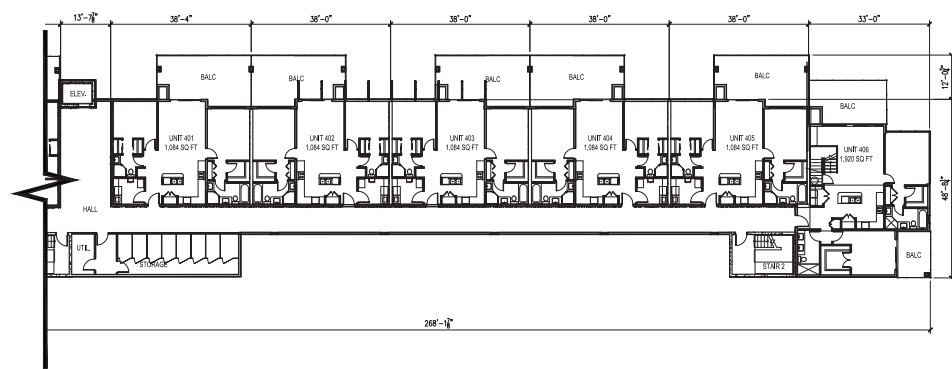
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1 FOURTH FLOOR PLAN  
 A2.5 1/16"=1'-0"



2 FOURTH FLOOR PLAN - SOUTH WING  
 A2.5 1/16"=1'-0"



3 FOURTH FLOOR PLAN - NORTH WING  
 A2.5 1/16"=1'-0"

## SCHEDULE A

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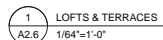
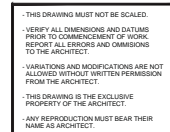
**GRANITE AT MCKINLEY**

KELOWNA, BC

SHEET TITLE

**FOURTH FLOOR**

DRAWN RB	SHEET NO. <b>A2.5</b>
DESIGN	
SCALE AS NOTED	
DATE 2016-09-07	FILE A15-03



City of Kelowna  
COMMUNITY PLANNING

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PROJECT

KELOWNA, BC

SHEET TITLE

CRAWN  
RB

DESIGN

SCALE  
AS NOTED

## A2.6

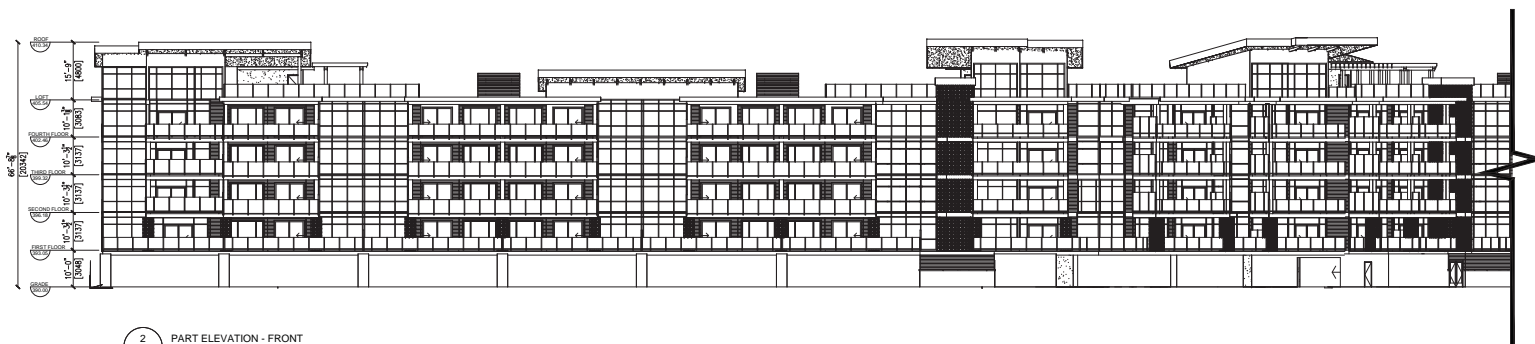
DATE  
2016-09-07

FILE:	A15-03
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1 ELEVATION - FRONT  
A3.0 1/32"=1'-0"



2 PART ELEVATION - FRONT  
A3.0 1/16"=1'-0"



3 PART ELEVATION - FRONT  
A3.0 1/16"=1'-0"

## SCHEDULE A & B

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MCKINLEY

KELOWNA, BC

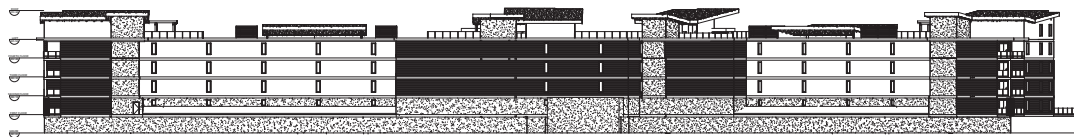
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ELEVATIONS

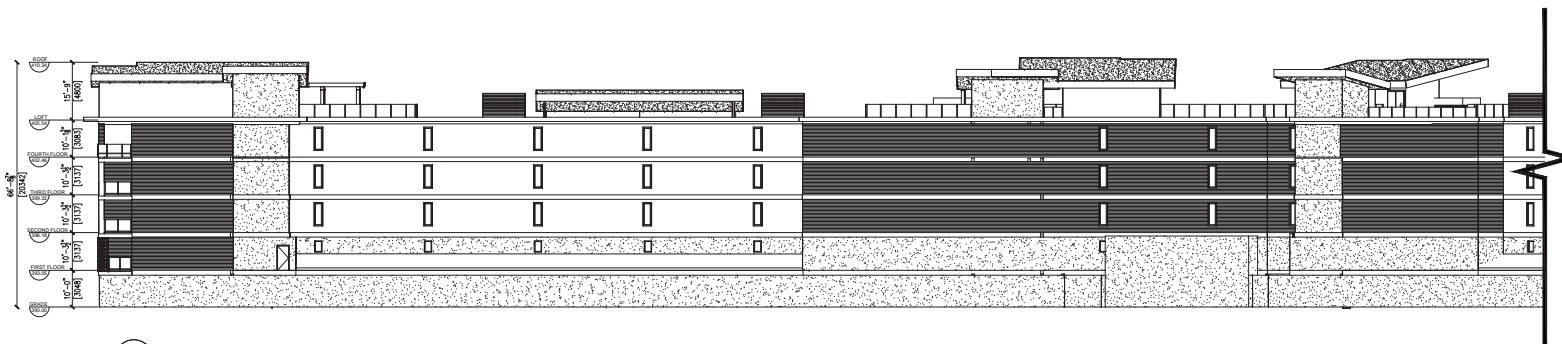
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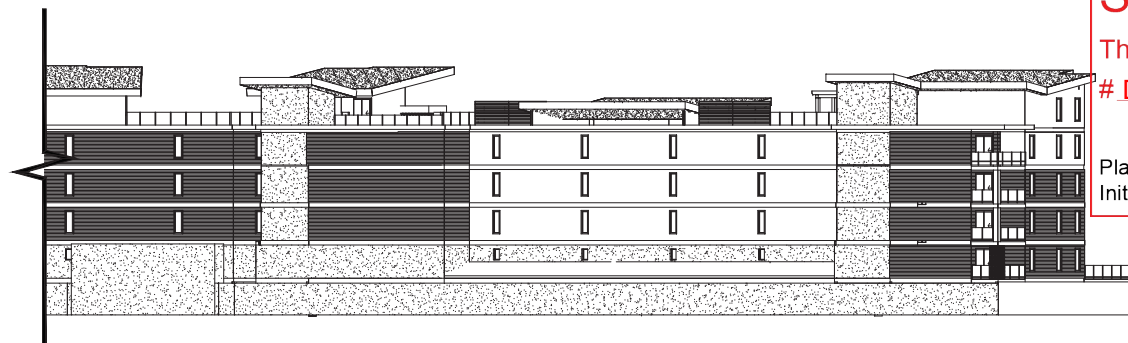
DATE 2016-09-07	FILE A15-03
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1 ELEVATION - REAR  
A3.1 1/32"=1'-0"



2 PART ELEVATION - REAR  
A3.1 1/16"=1'-0"



3 PART ELEVATION - REAR  
A3.1 1/16"=1'-0"

## SCHEDULE A & B

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ELEVATIONS

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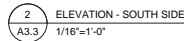
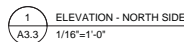
KELOWNA, BC

## ELEVATIONS

DRAWN RR	SHEET NO.
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DESIGN

A3

SCALE  
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# SCHEDULE A & B

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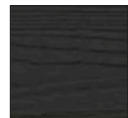
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PINE LOOK SOFFIT



HARDI PANEL - AUTUMN TAN



HARDI PANEL - IRON GREY



HARDI PLANK - COUNTRY LANE RED



ARTISTIC CONCRETE FINISH



CAMBRIA - LEDGESTONE



BLACK FRAMED WINDOW  
WITH BLUE TINT GLAZING



CAMBRIA - LEDGESTONE

UNTINTED GLASS RAILING  
WITH SILVER ANODIZED POSTS



ARTISTIC CONCRETE FINISH

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**GRANITE AT  
MCKINLEY**

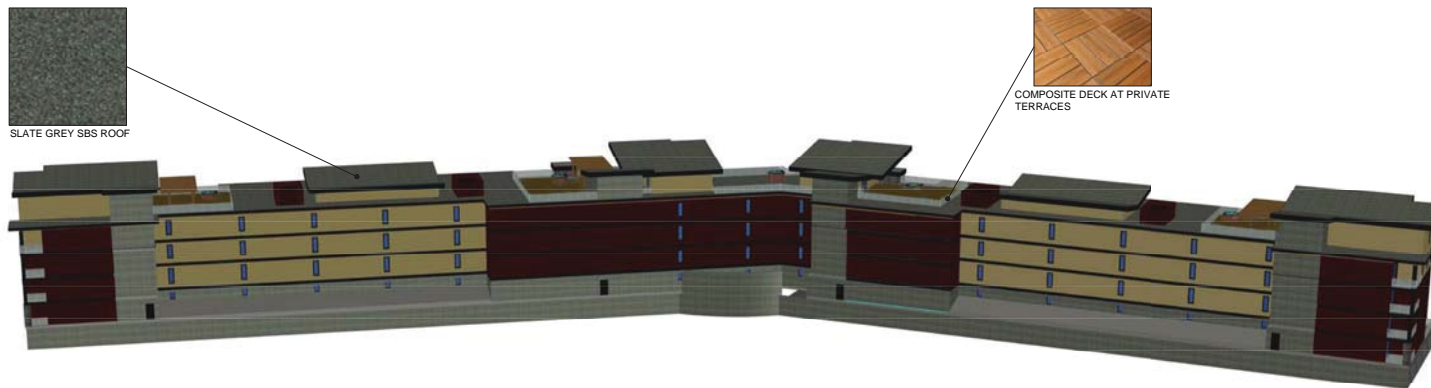
KELOWNA, BC

SHEET TITLE

**COLOUR  
PERSPECTIVES**

DRAWN RB	SHEET NO.
DESIGN	<b>A3.4</b>
SCALE AS NOTED	
DATE 2016-09-07	FILE: A15-03





## SCHEDULE A & B

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KELOWNA, BC

SHEET TITLE

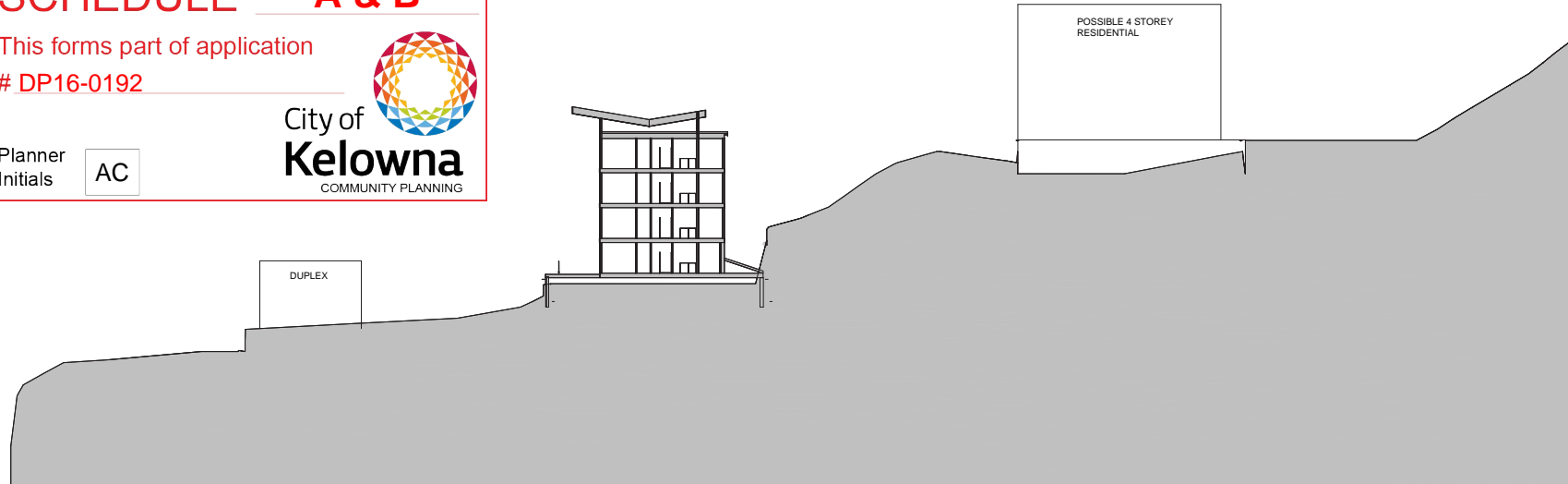
COLOUR  
PERSPECTIVES

DRAWN RB	SHEET NO. A3.5
DESIGN	
SCALE AS NOTED	
DATE 2016-09-07	FILE A15-03

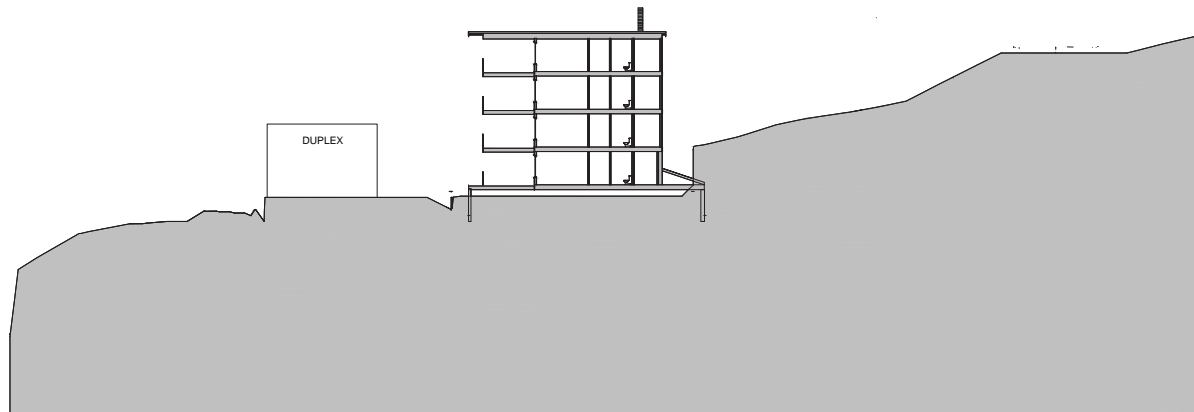
# SCHEDULE A & B

This forms part of application  
# DP16-0192

Planner  
Initials AC



1 SITE SECTION  
A4.0 1/16"=1'-0"



2 SITE SECTION  
A4.0 1/16"=1'-0"

-THIS DRAWING MUST NOT BE SCALED.  
-VERIFY ALL DIMENSIONS AND DATUMS  
PRIOR TO COMMENCEMENT OF WORK.  
-REPORT ALL ERRORS AND OMISSIONS  
TO THE ARCHITECT.

-VARIATIONS AND MODIFICATIONS ARE NOT  
ALLOWED WITHOUT WRITTEN PERMISSION  
FROM THE ARCHITECT.

-THIS DRAWING IS THE EXCLUSIVE  
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-ANY REPRODUCTION MUST BEAR THEIR  
NAME AS ARCHITECT.

NO.	DATE	BY	REVISION
1	2016/09/07	RB	ISSUE FOR OP

DESIGN CONSULTANT

DESIGN

gta

GTA ARCHITECTURE LTD.  
243-1889 Springfield Road  
Kelowna, British Columbia  
V1Y 5V6  
Fax: 250.979.4366  
Telephone: 250.979.1668

PROJECT

GRANITE AT  
MCKINLEY

KELOWNA, BC

SHEET TITLE

SITE SECTION

DRAWN #	SHEET NO.
DESIGN	A4.0
SCALE AS NOTED	
DATE 2016-09-07	FILE: A15-03



**OUTLAND DESIGN**  
LANDSCAPE ARCHITECTURE

Friday May 6, 2016

Granite at McKinley Beach  
C/o Acorn Communities Limited  
3774 Pine Valley Drive  
Kelowna, BC V1X 8E3  
Attn: Greg Bird, Director

## SCHEDULE

**C**

This forms part of application

# **DP16-0192**

Planner  
Initials

AC

City of  
**Kelowna**  
COMMUNITY PLANNING



Re: Proposed Granite at McKinley Beach Development – Preliminary Cost Estimate for Bonding

Dear Greg:

Please be advised of the following preliminary cost estimate for bonding of the proposed landscape works shown in the Granite at McKinley Beach conceptual landscape plan dated 15.05.06;

### Bare Land Strata

#### Site Restoration

- 4,768 square metres (51,322 square feet) of site restoration improvements = \$36,043.00  
*This preliminary cost estimate is inclusive of trees, shrubs, dryland seed, mulch, topsoil & irrigation.*

#### Chainlink Fencing

- 30 lineal metres (98 lineal feet) of 1.2m height black vinyl chainlink fence = \$3,000.00

#### 3 Year Maintenance Plan

- Maintenance of site restoration areas from Spring 2017 to Fall 2019 = \$8,060.00  
*Refer to 3 Year Maintenance Plan document for detailed cost estimate.*

### Remaining Site with 3 Buildings

#### Site Restoration

- 9,198 square metres (99,006 square feet) of site restoration improvements = \$94,098.00  
*This preliminary cost estimate is inclusive of trees, shrubs, dryland seed, mulch, topsoil & irrigation.*

#### Chainlink Fencing

- 120 lineal metres (394 lineal feet) of 1.2m height black vinyl chainlink fence = \$12,000.00

#### 3 Year Maintenance Plan

- Maintenance of site restoration areas from Spring 2017 to Fall 2019 = \$16,120.00  
*Refer to 3 Year Maintenance Plan document for detailed cost estimate.*

You will be required to submit a performance bond to the City of Kelowna in the amount of 125% of the preliminary cost estimate. Please do not hesitate to contact me with any questions about the landscape plan.

Best regards,

Fiona Barton, MBCSLA, CSLA  
as per  
Outland Design Landscape Architecture

206-1889 Spall Road, Kelowna, BC, V1Y 4R2 P 250.868.9270  
[outlanddesign.ca](http://outlanddesign.ca)



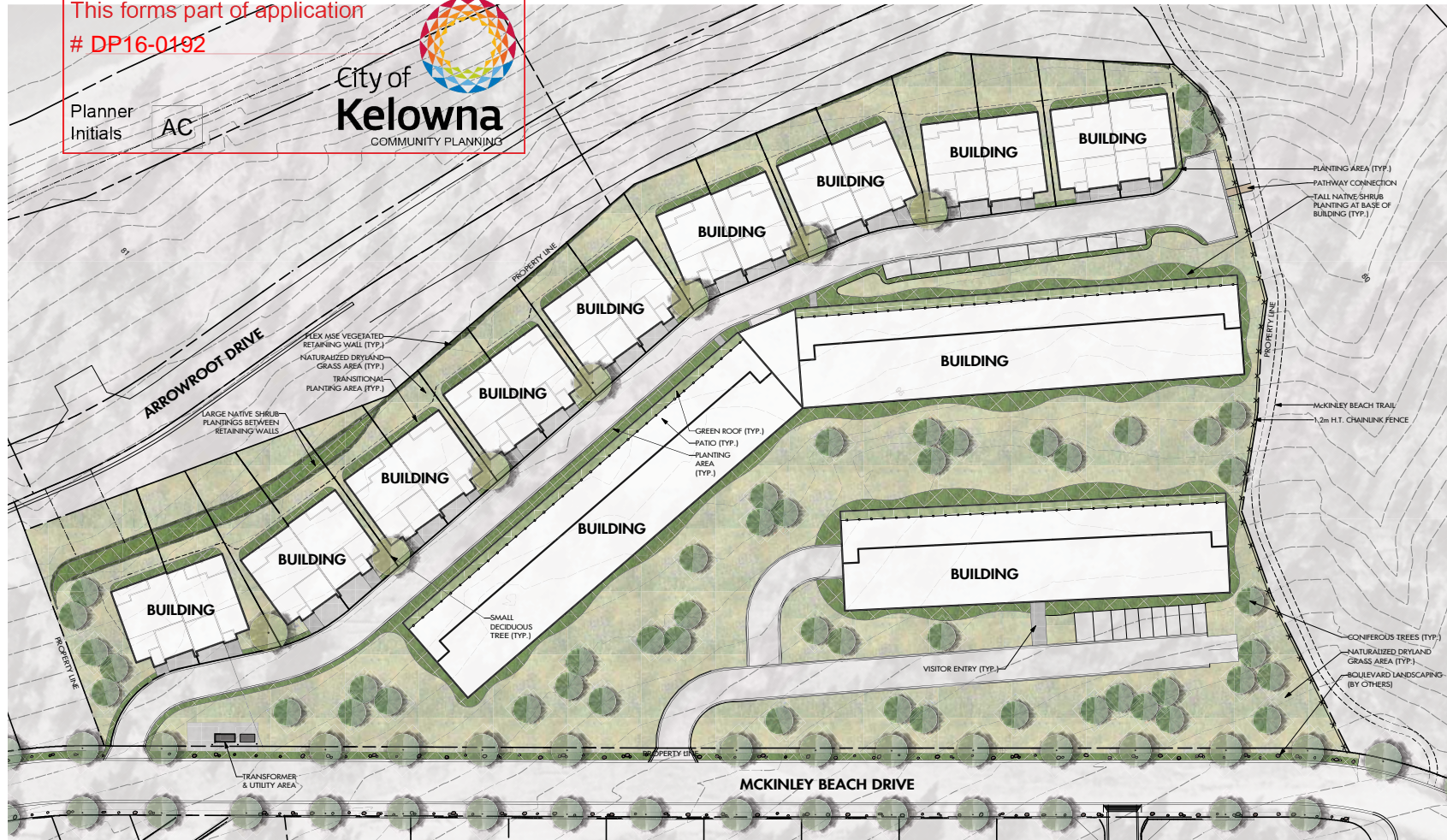
# SCHEDULE

C

This forms part of application  
# DP16-0192

Planner  
Initials AC

City of  
**Kelowna**  
COMMUNITY PLANNING



OUTLAND DESIGN  
LANDSCAPE ARCHITECTURE

206 - 1889 Spall Road  
Kelowna, BC V1Y 4R2  
T (250) 868-9270  
www.outlanddesign.ca



PROJECT TITLE

**GRANITE AT MCKINLEY  
BEACH**

Kelowna, BC

DRAWING TITLE

**CONCEPTUAL  
LANDSCAPE PLAN**

ISSUED FOR REVISION

NO.	REVISION	DATE
1	16.05.06	Review
2		
3		
4		

PROJECT NO.

DESIGN BY

DRAWN BY

CHECKED BY

DATE

SCALE

SEAL



DRAWING NUMBER

**L1/1**

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## LANDSCAPE NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED B.C.L.N.A. STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED WITH A MINIMUM 75mm WOOD MULCH. PLACEMENT.
4. TREE AND SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT.
5. FLEX MSE VEGETATED RETAINING WALLS TO BE POCKET PLANTED WITH NATIVE SHRUBS (APPROXIMATELY 1 SHRUB EVERY 3 SQ. M).

HYDROSEEDING DRYLAND SEED AREAS:		
DRYLAND SEED MIXTURE	BY WEIGHT	BY SPECIES
BLUE BUNCH WHEAT GRASS	41%	23%
ROUGH FESCUE	25%	20%
DAHO FESCUE	15%	19%
PERENNIAL RYEGRASS	10%	7%
SANDBERG BLUEGRASS	5%	13%
JUNE GRASS	4%	18%
WILDFLOWER SEED MIXTURE		
SILKY LUPINE	BY WEIGHT	
BALSAM ROOT	30%	
BROWN EYED SUSAN	35%	
COMMON YARROW	5%	

HYDROSEEDING APPLICATION RATE (DRYLAND SEED AREA)		
NATIVE SEED	DRYLAND SEED MIXTURE	125KG/HECTARE
	WILDFLOWER SEED MIXTURE	1KG/HECTARE
FERTILIZER	18-18-18-2, 50% SULPHUR COATED UREA	300KG/HECTARE
MULCH	CANFOR ECOPHIRE PLUS TAC	2,800KG/HECTARE
TACKIFIER	GUAR	3% OF MIX
THE PRECEDING HYDROSEEDING MIXTURE IS TO BE APPLIED TO THE DRYLAND AND FLEX MESE VEGETATED RETAINING WALLS AS SHOWN ON THE DRAWING.		
CERTIFIED #1 GRADE BY AGRICULTURE CANADA. REFER MANUFACTURER'S S FOR PRODUCT DELIVERY, STORAGE & PROTECTION.		

THE PRECEDING HYDROSEEDING MIXTURE IS TO BE APPLIED TO THE DRYLAND SEED AREA AND FLEX MSE VEGETATED RETAINING WALLS AS SHOWN ON THE DRAWING. SEED MIX TO BE CERTIFIED #1 GRADE BY AGRICULTURE CANADA. REFER MANUFACTURER'S SPECIFICATIONS FOR PRODUCT DELIVERY, STORAGE & PROTECTION.

## PLANT LIST

BOTANICAL NAME	COMMON NAME	QTY	SIZE / SPACING & REMARKS
<b>TREES</b>			
AMELANCHER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SASKATOON	7	4cm CAL. / MULTI-STEM
PRINUS PENDERGOSA	PONDEROSA PINE	25	2.0m HT.
PSUEDOTSUGA MENZIESII	INTERIOR DOUGLAS FIR	25	2.0m HT.
<b>SHRUBS, PERENNIALS &amp; GRASSES</b>			
ACHILLEA MOONSHINE	MOONSHINE YARROW	278	#01 CONT. / 0.6m O.C. SPACING
AMELANCHER ALNIFOLIA	SASKATOON	80	#01 CONT. / 2.0m O.C. SPACING
CORNUS SERICEA	RED OSIER DOGWOOD	57	#01 CONT. / 2.0m O.C. SPACING
CORNUS STOLONIFERA 'FARROW'	ARCTIC FIRE DOGWOOD	260	#01 CONT. / 1.0m O.C. SPACING
ECHINACEA PURPUREA 'MAGNUS'	MAGNUS CONEFLOWER	278	#01 CONT. / 0.6m O.C. SPACING
KOeleria PYRAMIDATA	JUNE GRASS	1,111	PLUGS / 0.3m O.C. SPACING
MAHORIA AQUIFOLIUM	OREGON GRAPE	195	#01 CONT. / 1.2m O.C. SPACING
PHILADELPHUS 'SNOWBELLE'	SNOWBELLE MOCKORANGE	260	#01 CONT. / 1.0m O.C. SPACING
RHUS AROMATICA 'GOLD LOW'	GOLD LOW SUMAC	114	#01 CONT. / 1.5m O.C. SPACING
SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	BLUE LITTLE BLUESTEM	179	#01 CONT. / 0.75m O.C. SPACING
SYMPHORICARPOS ALBUS	SNOWBERRY	275	#01 CONT. / 1.5m O.C. SPACING
ROSA WOODSIDE	WOODS ROSE	129	#01 CONT. / 1.5m O.C. SPACING

