

UNDERHILL MIXED USE DEVELOPMENT

Issued for Development Permit

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VDZ+A

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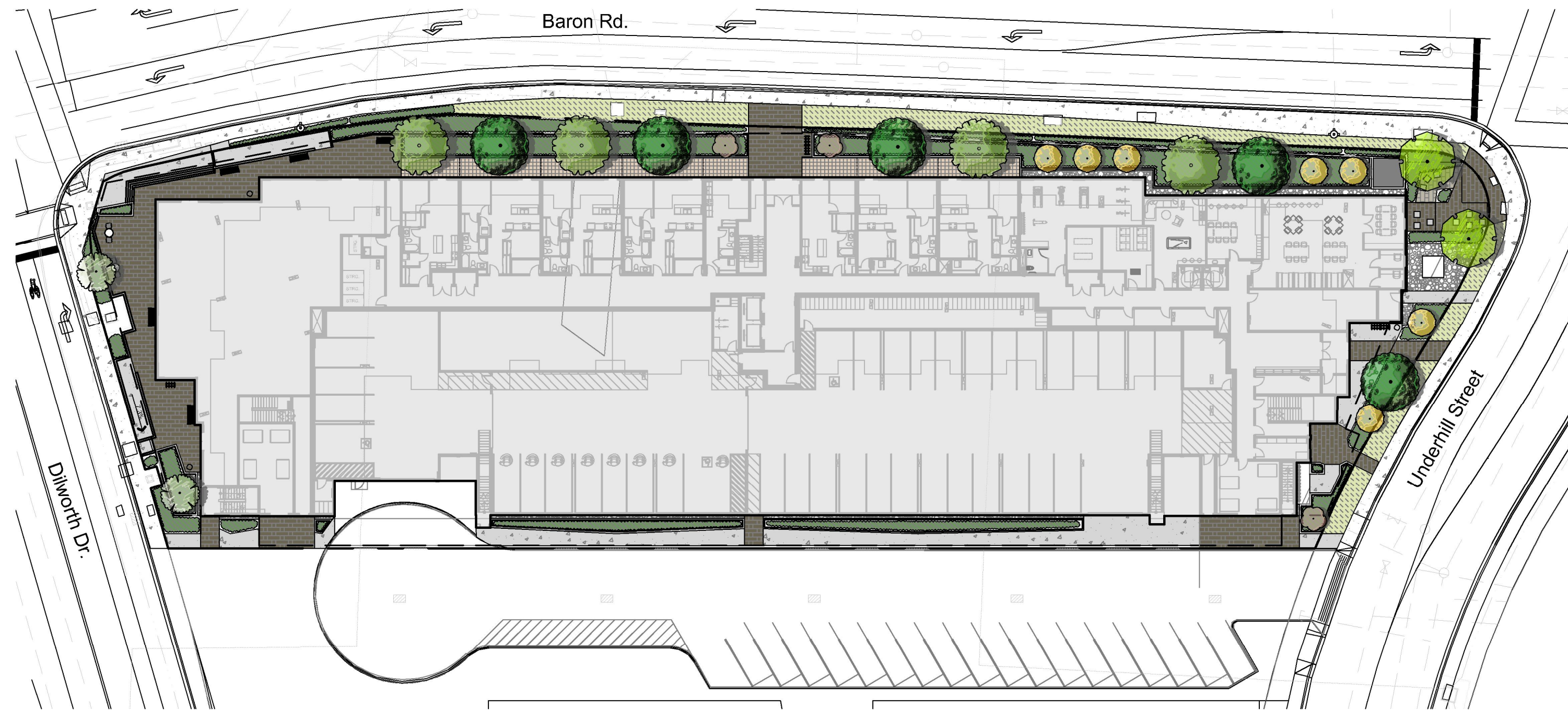
Keystone Architecture Project Building Architecture

300 - 33131 South Fraser Way
 Abbotsford, British Columbia, V2S 2B1

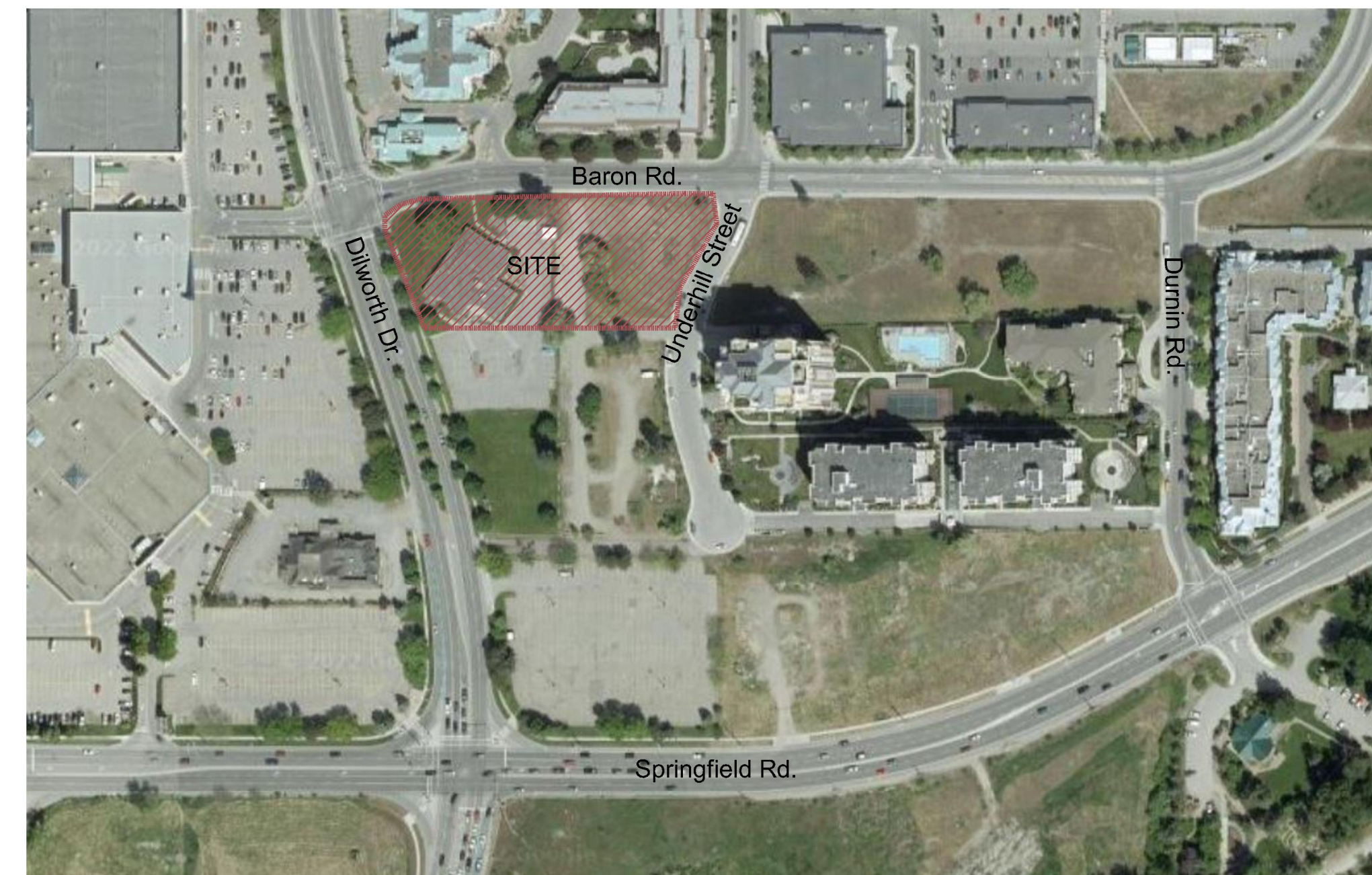
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LD-01	DETAILS
LD-02	DETAILS
LD-03	DETAILS
LD-04	DETAILS
LD-05	DETAILS



1 SITE PLAN OVERVIEW
 Scale 1:400



2 LOCATION MAP
 Scale N.T.S.

SCHEDULE C
 This forms part of application
 # DP24-0095 DVP24-0152
 Planner Initials **KB**
 City of Kelowna
 COMMUNITY PLANNING

No.	By:	Description	Date
5	KM	Issued for DP	May 8, 2024
4	KM	Issued for DP Coordination	April 16, 2024
3	KM	Issued for DP Pre-Application	March 28, 2024
2	KM	Issued for Review	March 22, 2024
1	KM	Issued for Review	March 14, 2024

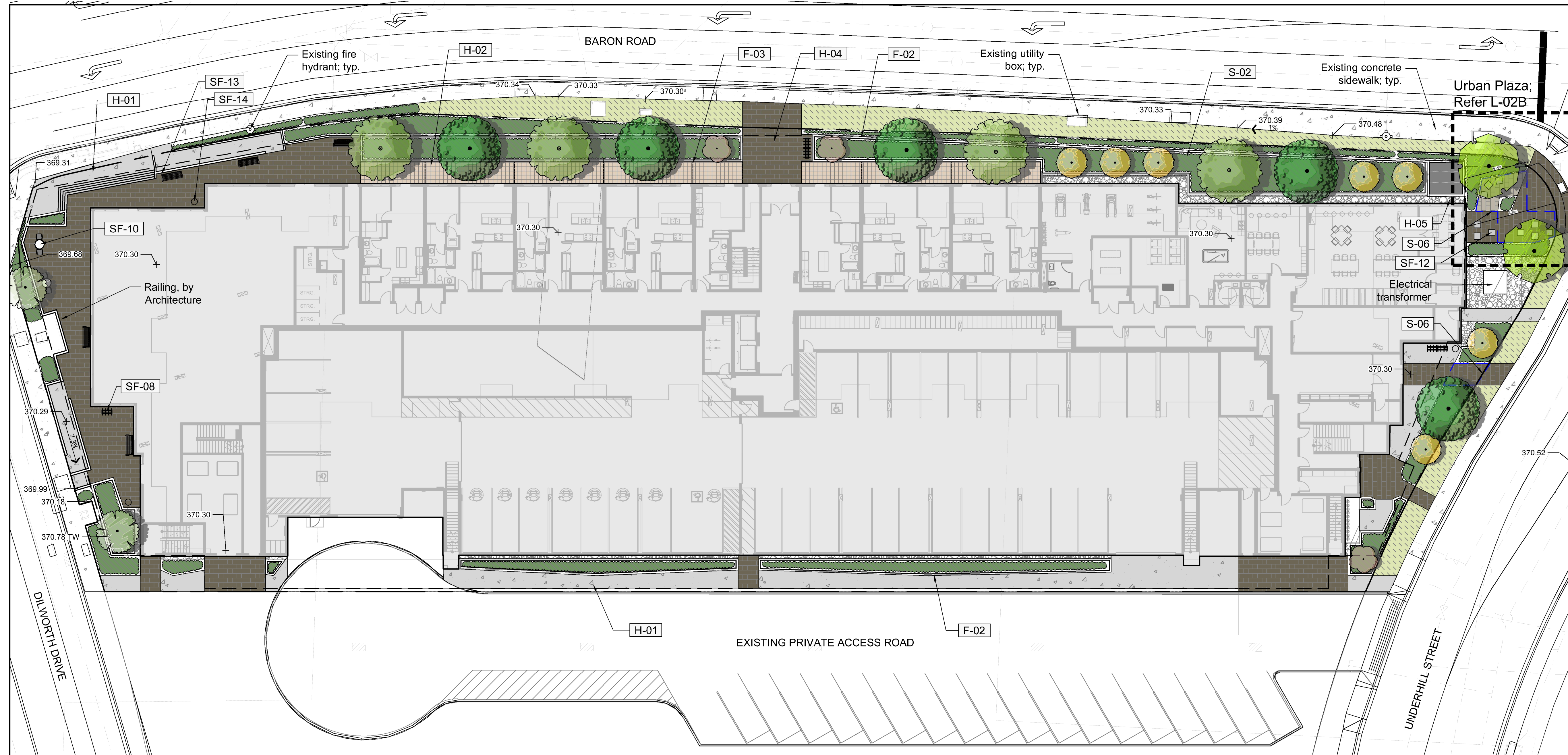
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No.	By:	Description	Date

Project:
 UNDERHILL MIXED USE
 Location:
 1930 UNDERHILL STREET,
 KELOWNA, BC

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Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVE\DP2023-70 UNDERHILL\2.05.DWG\SSHEETS\1.01 COVER PAGE.DWG



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5	KM	Issued for DP	May 8, 2024
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No.	By:	Description	Date

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Project:
 UNDERHILL MIXED USE

Location:
 1930 UNDERHILL STREET,
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REFERENCE NOTES SCHEDULE

SYMBOL	FENCING AND WALLS DESCRIPTION	QTY	DETAIL
[F-02]	RAISED CONCRETE PLANTER	6	6/LD-02
[F-03]	PRIVACY SCREEN	21 m	2/LD-05

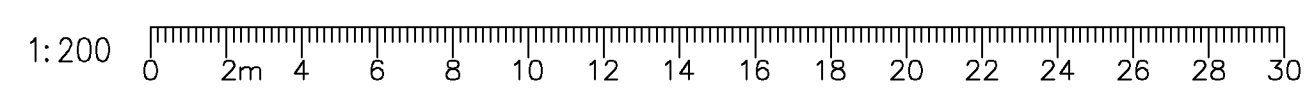
SYMBOL	HARDSCAPE DESCRIPTION	QTY	DETAIL
[H-01]	CONCRETE PAVING	242.0 m ²	5/LD-02
[H-02]	PRIVATE PATIO Hydrapressed Slabs	114.4 m ²	1/LD-02
[H-04]	UNIT PAVERS	308.9 m ²	3/LD-02
[H-05]	GRAVEL / DRIP STRIP	53.6 m ²	7/LD-01

SYMBOL	SOFTSCAPE DESCRIPTION	QTY	DETAIL
[S-02]	SHRUB PLANTING	245.7 m ²	1/LD-01
[S-05]	TURF AREA	214.2 m ²	
[S-06]	SOIL CELL PIT	35 m ³	4/LD-05

SYMBOL	SITE FURNITURE DESCRIPTION	QTY	DETAIL
[SF-08]	BIKE RACK	5	1/LD-03
[SF-10]	TABLE AND CHAIRS	2	2/LD-03
[SF-12]	CUBE SEAT	10	5/LD-05
[SF-13]	BENCH	5	4/LD-03
[SF-14]	WASTE RECEPTACLE	3	5/LD-03

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
TREES					
	Acer saccharum / Sugar Maple	B&B	5cm	1.5m std.	5
	Cercidiphyllum japonicum / Katsura Tree	B&B	5cm	1.5m std.	4
	Cornus kousa 'Dwarf Pink' / Dwarf Pink Kousa Dogwood	B&B	3cm	1.5m std.	3
	Parrotia persica 'Inge's Ruby Vase' / Ruby Vase Persian Parrotia	B&B	4cm	1.5m std.	7
	Syringa reticulata 'Summer Snow' / Summer Snow Japanese Tree Lilac	B&B	3cm	1.5m std.	2
	Tilia cordata / Littleleaf Linden	B&B	9cm	1.5m std.	2



Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVE\DP2023-70 UNDERHILL_2.DWG SHEETS\02 LANDSCAPE PLAN L1.DWG

Drawing Title: **LANDSCAPE PLAN L1**
 Drawing #: **L-02A**
 DP2023-70

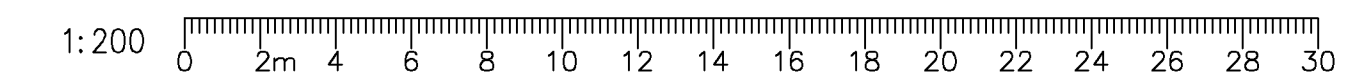
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REFERENCE NOTES SCHEDULE

SYMBOL	FENCING AND WALLS DESCRIPTION	QTY	DETAIL
[F-02]	RAISED CONCRETE PLANTER		6/LD-02
[F-03]	PRIVACY SCREEN	21 m	2/LD-05
SYMBOL	HARDSCAPE DESCRIPTION	QTY	DETAIL
[H-01]	CONCRETE PAVING	242.0 m ²	5/LD-02
[H-02]	PRIVATE PATIO Hydrapressed Slabs	114.4 m ²	1/LD-02
[H-04]	UNIT PAVERS	308.9 m ²	3/LD-02
[H-05]	GRAVEL / DRIP STRIP	53.6 m ²	7/LD-01
SYMBOL	SOFTSCAPE DESCRIPTION	QTY	DETAIL
[S-02]	SHRUB PLANTING	245.7 m ²	1/LD-01
[S-05]	TURF AREA	214.2 m ²	
[S-06]	SOIL CELL PIT	35 m ³	4/LD-05
SYMBOL	SITE FURNITURE DESCRIPTION	QTY	DETAIL
[SF-08]	BIKE RACK	5	1/LD-03
[SF-10]	TABLE AND CHAIRS	2	2/LD-05
[SF-12]	CUBE SEAT	10	5/LD-05
[SF-13]	BENCH	5	4/LD-05
[SF-14]	WASTE RECEPTACLE	3	5/LD-03

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
TREES					
	Acer saccharum / Sugar Maple	B&B	5cm	1.5m std.	5
	Cercidiphyllum japonicum / Katsura Tree	B&B	5cm	1.5m std.	4
	Cornus kousa 'Dwarf Pink' / Dwarf Pink Kousa Dogwood	B&B	3cm	1.5m std.	3
	Parrotia persica 'Inge's Ruby Vase' / Ruby Vase Persian Parrotia	B&B	4cm	1.5m std.	7
	Syringa reticulata 'Summer Snow' / Summer Snow Japanese Tree Lilac	B&B	3cm	1.5m std.	2
	Tilia cordata / Littleleaf Linden	B&B	9cm	1.5m std.	2



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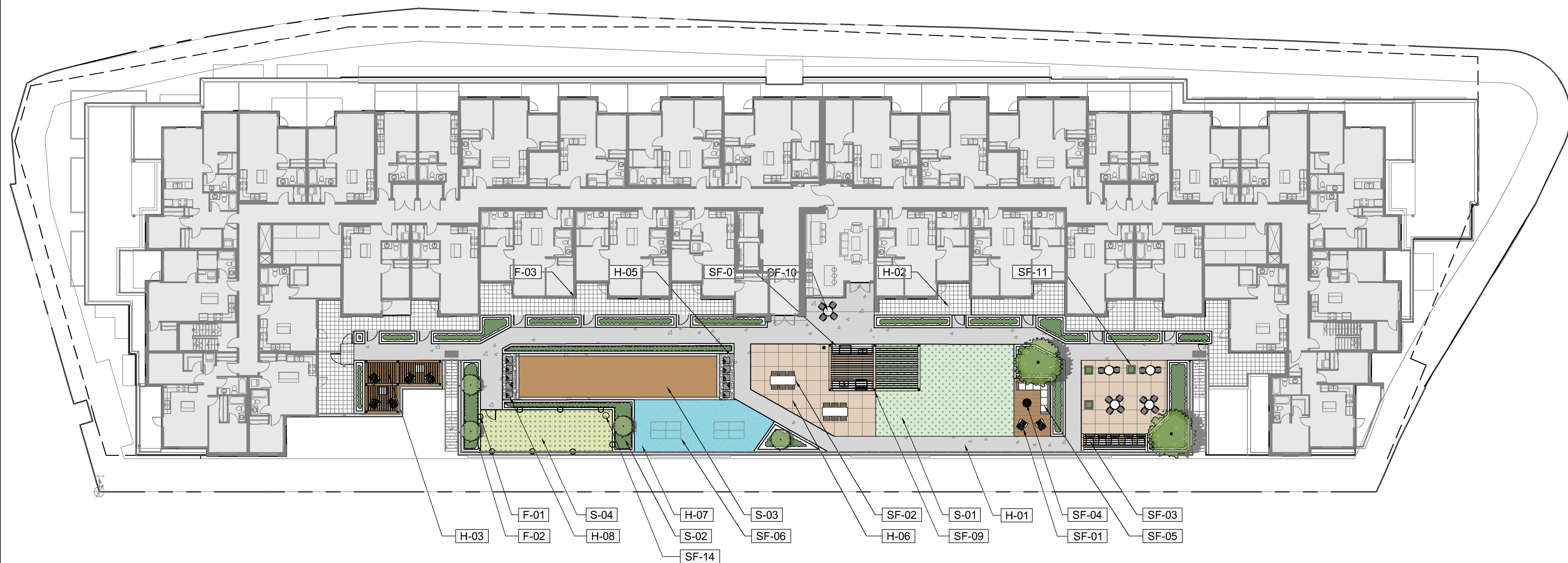
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REVISIONS TABLE FOR SHEET
 Project: UNDERHILL MIXED USE
 Location: 1930 UNDERHILL STREET, KELOWNA, BC

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Approved: SH	Original Sheet Size: 24"x36"
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Drawing Title: **LANDSCAPE PLAN - URBAN PLAZA**
 Drawing #: **DP2023-70 L-02B**

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 City of Kelowna
 COMMUNITY PLANNING
 Planner Initials: KB



REFERENCE NOTES SCHEDULE

SYMBOL	FENCING AND WALLS DESCRIPTION	QTY	DETAIL
[F-01]	1.5m HT. CHAINLINK FENCE	31.6 m	3/LD-05
[F-02]	RAISED CONCRETE PLANTER		6/LD-02
[F-03]	PRIVACY SCREEN	14.6 m	2/LD-05
SYMBOL	HARDSCAPE DESCRIPTION	QTY	DETAIL
[H-01]	CONCRETE PAVING	224.9 m ²	5/LD-02
[H-02]	PRIVATE PATIO Hydrapressed Slabs	185.2 m ²	1/LD-02
[H-03]	COMPOSITE DECK	41.5 m ²	7/LD-02
[H-05]	GRAVEL / DRIP STRIP	11.0 m ²	7/LD-01
[H-06]	HYDRAPRESSED SLAB	139.5 m ²	1/LD-02
[H-07]	RUBBER SURFACING	54.1 m ²	1/LD-05
[H-08]	CONCRETE STEPPING STONES	10	6/LD-05
SYMBOL	SOFTSCAPE DESCRIPTION	QTY	DETAIL
[S-01]	ARTIFICIAL TURF	105.6 m ²	8/LD-01
[S-02]	SHRUB PLANTING	42.0 m ²	1/LD-01
[S-03]	BOCCE BALL COURT	67.0 m ²	4/LD-04

SYMBOL	SITE FURNITURE DESCRIPTION	QTY	DETAIL
[S-04]	ARTIFICIAL TURF - DOG RUN	45.7 m ²	8/LD-01
[SF-01]	ADIRONDACK CHAIR	7	8/LD-03
[SF-02]	DINING TABLE AND CHAIRS	2	6/LD-03
[SF-03]	BAR STOOL	5	3/LD-03
[SF-04]	FIRE PIT	1	1/LD-04
[SF-05]	OUTDOOR SOFA	1	2/LD-04
[SF-06]	PING PONG TABLE	2	3/LD-04
[SF-07]	OUTDOOR KITCHEN	2	5/LD-04
[SF-09]	PERGOLA	3	6/LD-04
[SF-10]	TABLE AND CHAIRS	6	2/LD-03
[SF-11]	ALUMINUM PLANTER	3	7/LD-03
[SF-14]	WASTE RECEPTACLE	1	5/LD-03

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
[T-01]	Chamaecyparis pisifera 'Dow Whiting' / Soft Serve® Sawara Cypress	B&B		1.5m ht.	4
[T-02]	Cornus kousa 'Summer Gold' / Summer Gold Kousa Dogwood	B&B	3cm	1.5m std.	2

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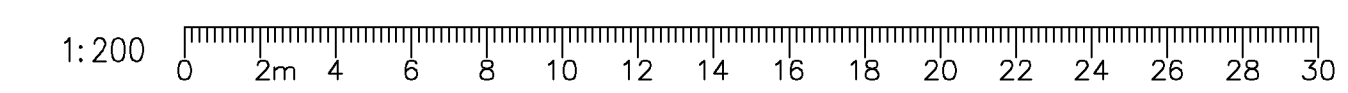
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Location:
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Approved: SH	Original Signatures 24"x36" 2024-05-08
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Drawing Title: **LANDSCAPE PLAN L2**
 Drawing #: **L-03**
 Vdz Project #: **DP2023-70**

TREE PALETTE



Acer saccharum / Sugar Maple



Cercidiphyllum japonicum / Katsura Tree



Chamaecyparis pisifera 'Don Whiting' / Soft Serve Sawara Cypress



Cornus kousa 'Dwarf Pink' & 'Summer Gold' / Dwarf Pink & Summer Gold Kousa Dogwood



Parrotia persica 'Inge's Ruby Vase' / Ruby Vase Persian Parrotia



Syringa reticulata 'Summer Snow' / Summer Snow Japanese Tree Lilac

PLANT SCHEDULE

SYMBOL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
TREES					
	Acer saccharum / Sugar Maple	B&B	5cm	1.5m std.	5
	Cercidiphyllum japonicum / Katsura Tree	B&B	5cm	1.5m std.	4
	Cornus kousa 'Dwarf Pink' / Dwarf Pink Kousa Dogwood	B&B	3cm	1.5m std.	3
	Parrotia persica 'Inge's Ruby Vase' / Ruby Vase Persian Parrotia	B&B	4cm	1.5m std.	7
	Syringa reticulata 'Summer Snow' / Summer Snow Japanese Tree Lilac	B&B	3cm	1.5m std.	2
	Tilia cordata / Littleleaf Linden	B&B	9cm	1.5m std.	2
LEVEL 2					
	Chamaecyparis pisifera 'Dow Whiting' / Soft Serve Sawara Cypress	B&B		1.5m ht.	4
	Cornus kousa 'Summer Gold' / Summer Gold Kousa Dogwood	B&B	3cm	1.5m std.	2

SHRUB PALETTE



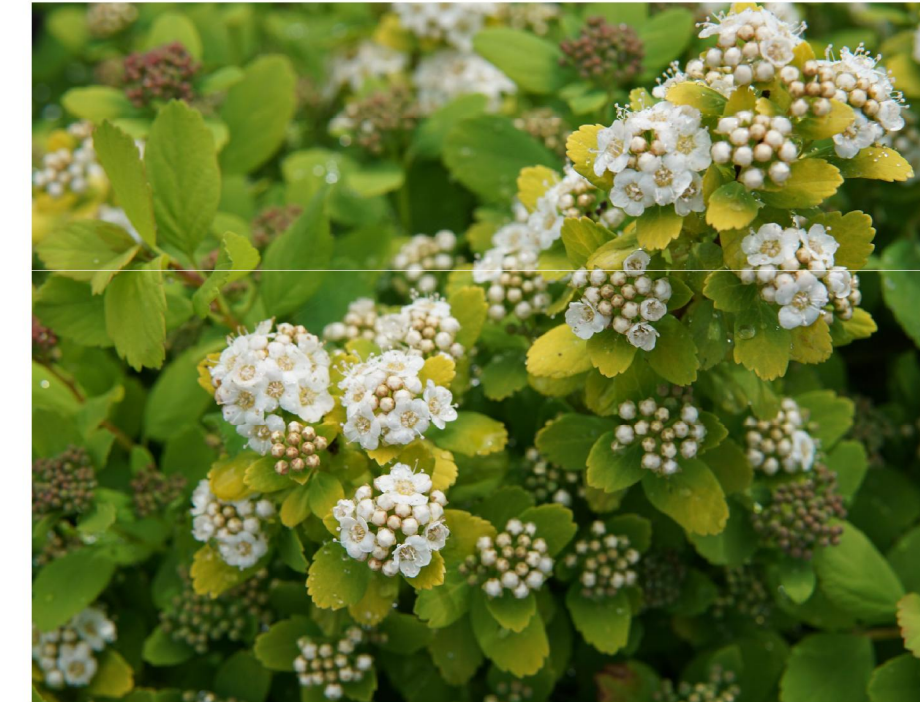
Shepherdia canadensis / Russett Buffaloberry



Rosa woodsii / Mountain Rose



Cornus sericea 'Kelsey' / Kelsey's Dwarf Red Twig Dogwood



Spiraea betulifolia / Birchleaf Spiraea



Picea abies 'Nidiformis' / Nest Spruce

GRASSES, PERENNIALS AND GROUNDCOVERS PALETTE



Anaphalis margaritacea / Pearly Everlasting



Artemisia versicolor 'Sea Foam' / Curlicue Sage



Anthemis marschalliana / Filligree Daisy



Leymus cinereus / Great Basin Wildrye



Eupatorium dubium 'Little Joe' / Little Joe Pye Weed



Deschampsia cespitosa 'Goldtau' / Gold Dew Tufted Hair Grass



Stipa tenacissima / Mexican Feather Grass



Lupinus perennis L.



Helictotrichon sempervirens / Blue Oat Grass



Sedum spectabile 'Autumn Joy' / Autumn Joy Stonecrop

VDZ+A

LANDSCAPE ARCHITECTURE | CIVIL ENGINEERING | URBAN FORESTRY
 FORT LANGLEY STUDIO | MOUNT PLEASANT STUDIO
 100-9181 Church St | 102-355 Kingsway
 Fort Langley, BC | Vancouver, BC
 V4M 2R8 | V5T 3J7
 www.vdz.ca | 604-882-0024

SCHEDULE C
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Project:
 UNDERHILL MIXED USE
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Approved: SH	Original Size: 24"x36" 2024-05-08
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Drawing Title: PLANTING PALLETTE

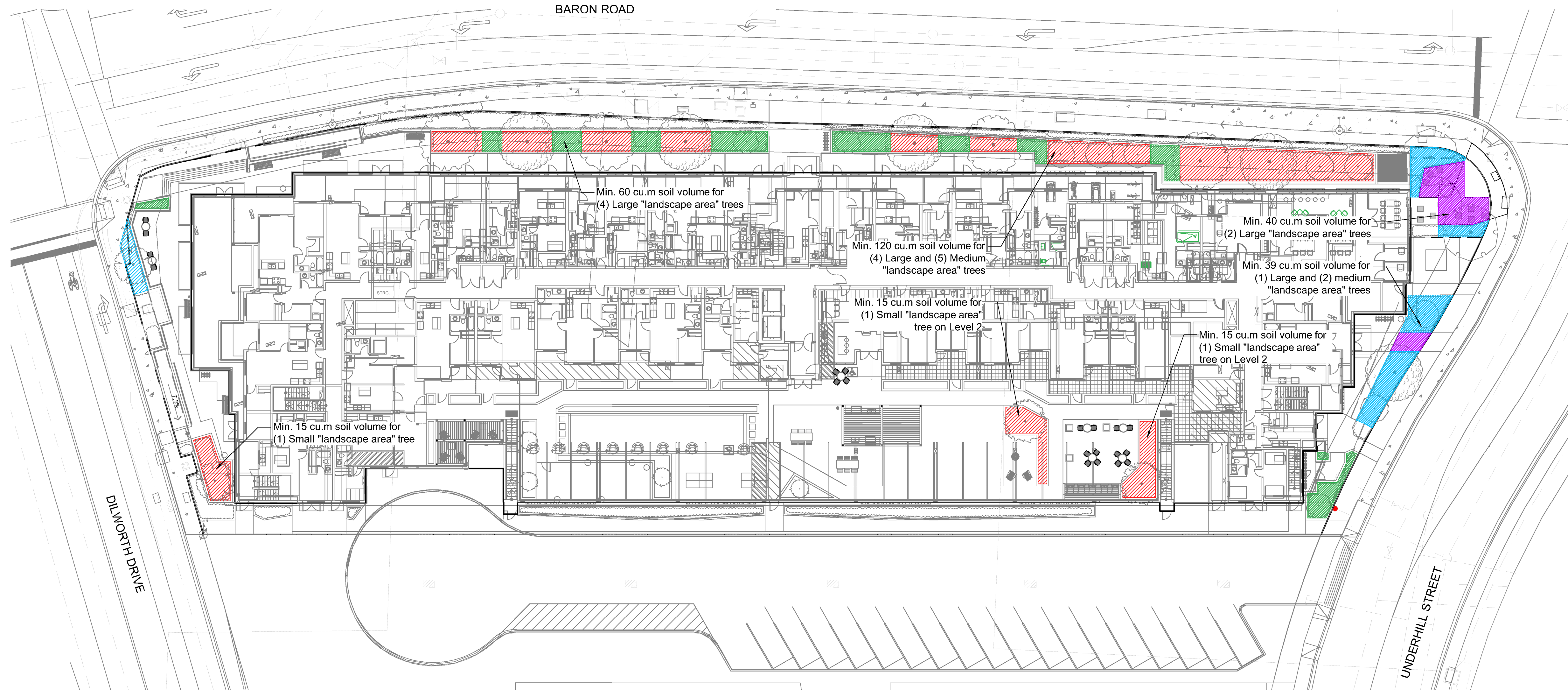


VDZ Project #: DP2023-70

Drawing #: L-04

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SCHEDULE C
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SOIL VOLUME LEGEND

KEY	DESCRIPTION
	SOIL VOLUME AREA OVER SLAB - MIN. 1.0m depth
	SOIL VOLUME AREA OVER SLAB - MIN. 0.6m depth
	SOIL VOLUME AREA BELOW GRADE - MIN. 1.0m depth
	SOIL CELL VOLUME AREA BELOW GRADE - MIN. 1.0m depth

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No.	By:	Description	Date
1	KM	Issued for Coordination	March 18, 2024

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Location:
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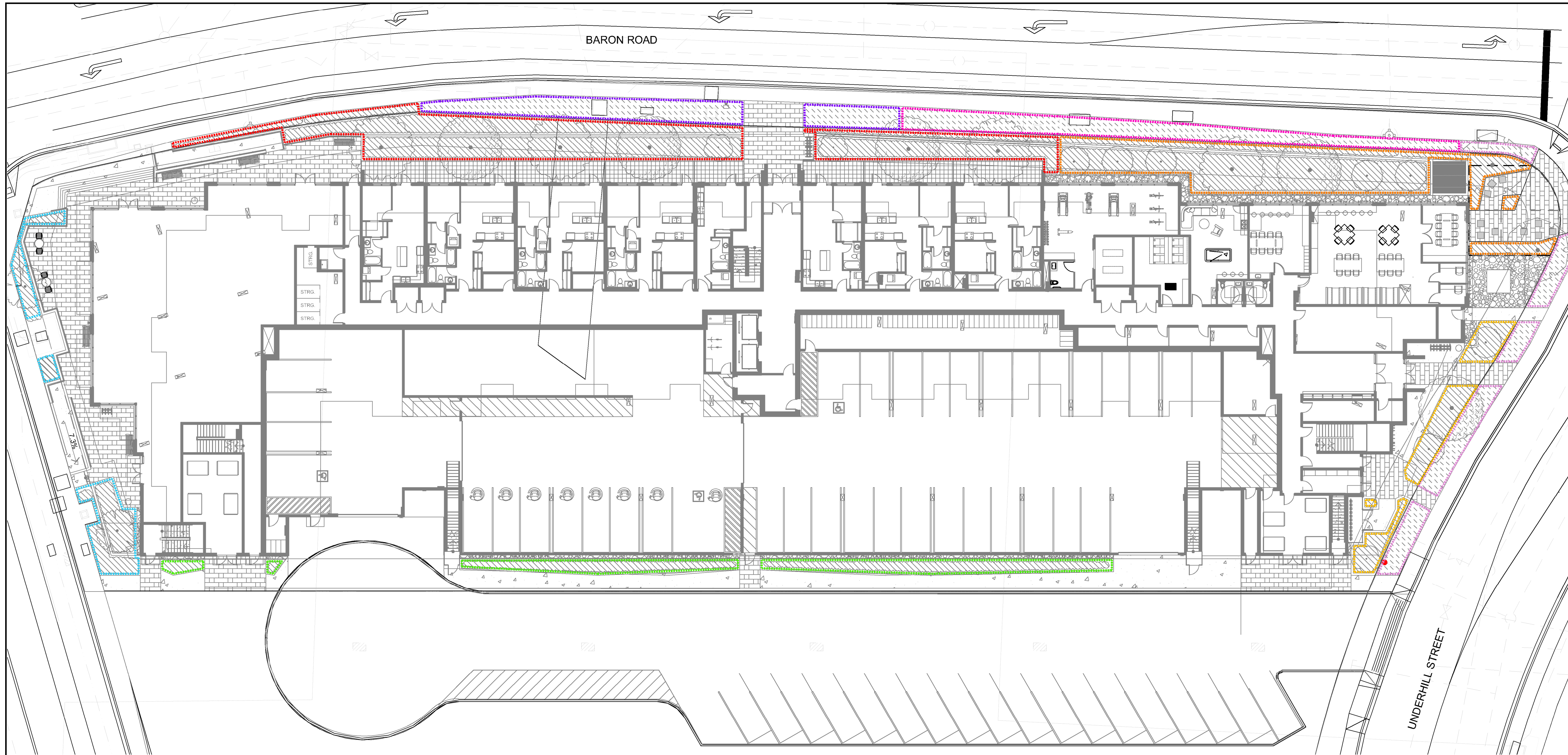
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Checked: KM	
Approved: SH	Original Size: 24"x36" 2024-05-08

Scale:
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Drawing Title:
SOIL DEPTH PLAN

VDZ Project #:
DP2023-70

Drawing #:
L-05



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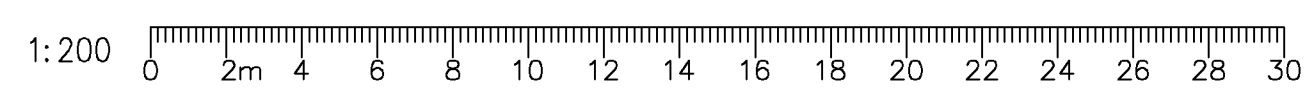
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WATER CONSERVATION LEGEND

	ZONE #1 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 214.8 M ² MICROCLIMATE: NORTH-WEST, PARTIALLY SHADED BY TREES & BUILDING ESTIMATED ANNUAL WATER USE: 95 cu.m.		ZONE #5 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 53.9 M ² MICROCLIMATE: SOUTH-WEST EXPOSURE, FULL SUN ESTIMATED ANNUAL WATER USE: 24 cu.m.
	ZONE #2 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 166.7 M ² MICROCLIMATE: NORTH-EAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING ESTIMATED ANNUAL WATER USE: 74 cu.m.		ZONE #6 : LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 79.4 M ² MICROCLIMATE: NORTH EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 91 cu.m.
	ZONE #3 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS TOTAL AREA: 47.7 M ² MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES & BUILDING ESTIMATED ANNUAL WATER USE: 21 cu.m.		ZONE #7 : LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 84.1 M ² MICROCLIMATE: NORTH-EAST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 96 cu.m.
	ZONE #4 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR HIGH WATER USE PLANTING AREAS TOTAL AREA: 81.9 M ² MICROCLIMATE: SOUTH EXPOSURE, FULL SUN ESTIMATED ANNUAL WATER USE: 51 cu.m.		ZONE #8 : LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS TOTAL AREA: 71.6 M ² MICROCLIMATE: SOUTH-EAST EXPOSURE, PARTIALLY SHADED BY TREES ESTIMATED ANNUAL WATER USE: 82 cu.m.

WATER CONSERVATION CALCULATIONS

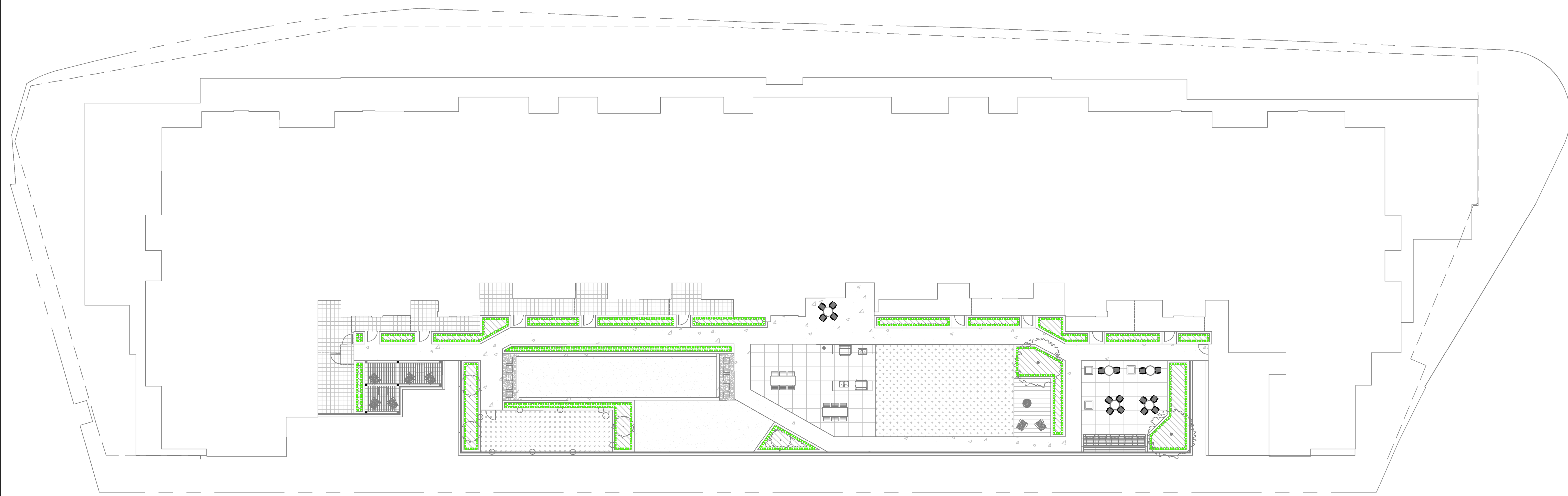
TOTAL LANDSCAPE AREA: 878 sq.m
 LANDSCAPE MAXIMUM WATER BUDGET (WB)= 702 cu.m / year
 ESTIMATED LANDSCAPE WATER USE (WU) = 534 cu.m /year
 WATER BALANCE = 168 cu.m /year
 *REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS



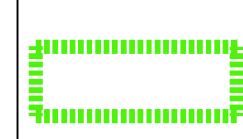
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Drawing Title: LANDSCAPE WATER CONSERVATION PLAN L1
 Drawing #: DP2023-70 L-06

SCHEDULE C
 This forms part of application
 # DP24-0095 DVP24-0152
 City of Kelowna
 COMMUNITY PLANNING
 Planner Initials: KB



WATER CONSERVATION LEGEND

 ZONE #9 : HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR HIGH WATER USE PLANTING AREAS
 TOTAL AREA: 114.3 M²
 MICROCLIMATE: SOUTH EXPOSURE, FULL SUN
 ESTIMATED ANNUAL WATER USE: 71 cu.m.

WATER CONSERVATION CALCULATIONS

TOTAL LANDSCAPE AREA: 114.3 sq.m
 LANDSCAPE MAXIMUM WATER BUDGET (WB)= 91 cu.m / year
 ESTIMATED LANDSCAPE WATER USE (WU) = 71 cu.m /year
 WATER BALANCE = 20 cu.m /year
 *REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

No.	By:	Description	Date
5	KM	Issued for DP	May 8, 2024
4	KM	Issued for DP Coordination	April 16, 2024
3	KM	Issued for DP Pre-Application	March 28, 2024
2	KM	Issued for Review	March 22, 2024
1	KM	Issued for Review	March 14, 2024


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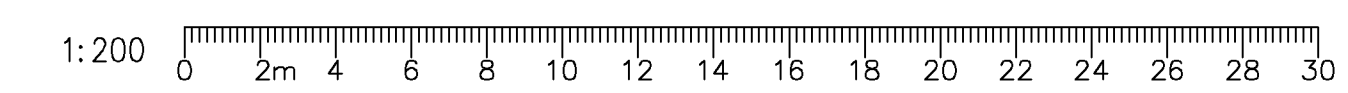
REVISIONS TABLE FOR SHEET

No.	By:	Description	Date

Project:
 UNDERHILL MIXED USE
 Location:
 1930 UNDERHILL STREET,
 KELOWNA, BC

Drawn: LA DC	Stamp: 
Checked: KM	
Approved: SH	Original Size: 24"x36" 2024-05-08

Scale:
1:200
CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS MUST BE DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

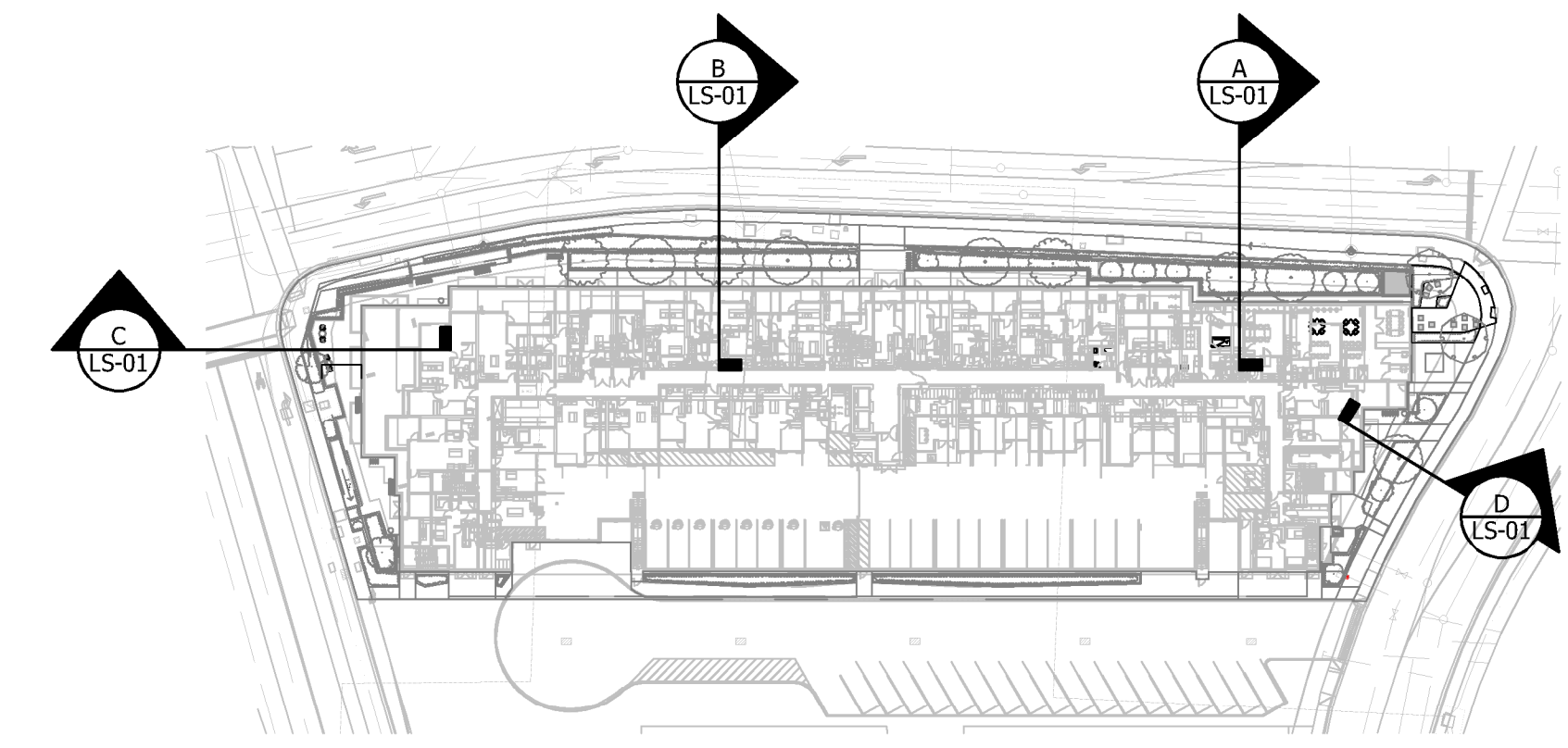


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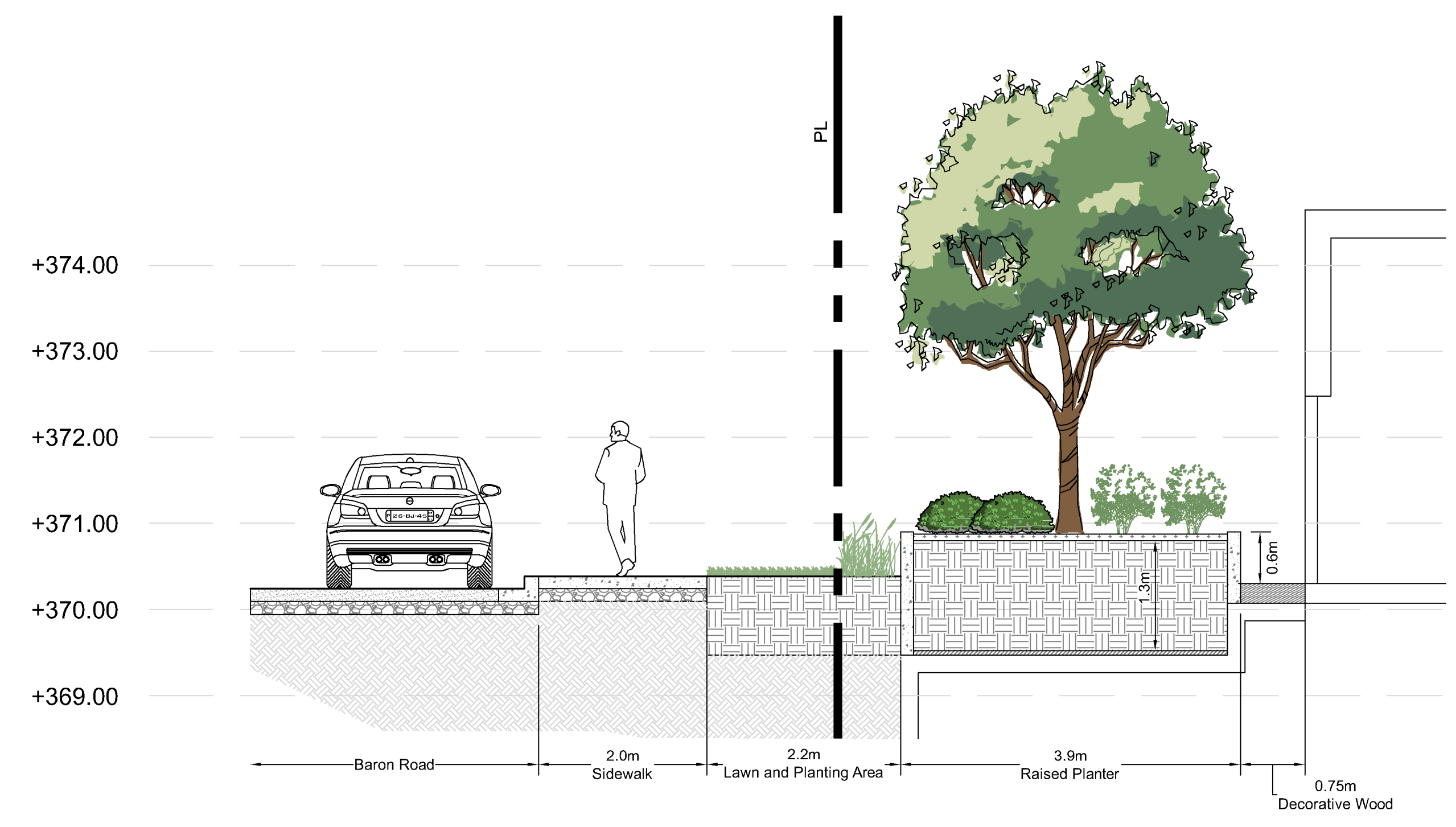
Drawing Title: LANDSCAPE WATER CONSERVATION PLAN L2
 Drawing #: L-07
 V.D.Z. Project #: DP2023-70
 NORTH

SCHEDULE C
 This forms part of application
 # DP24-0095 DVP24-0152
 Planner Initials: **KB**

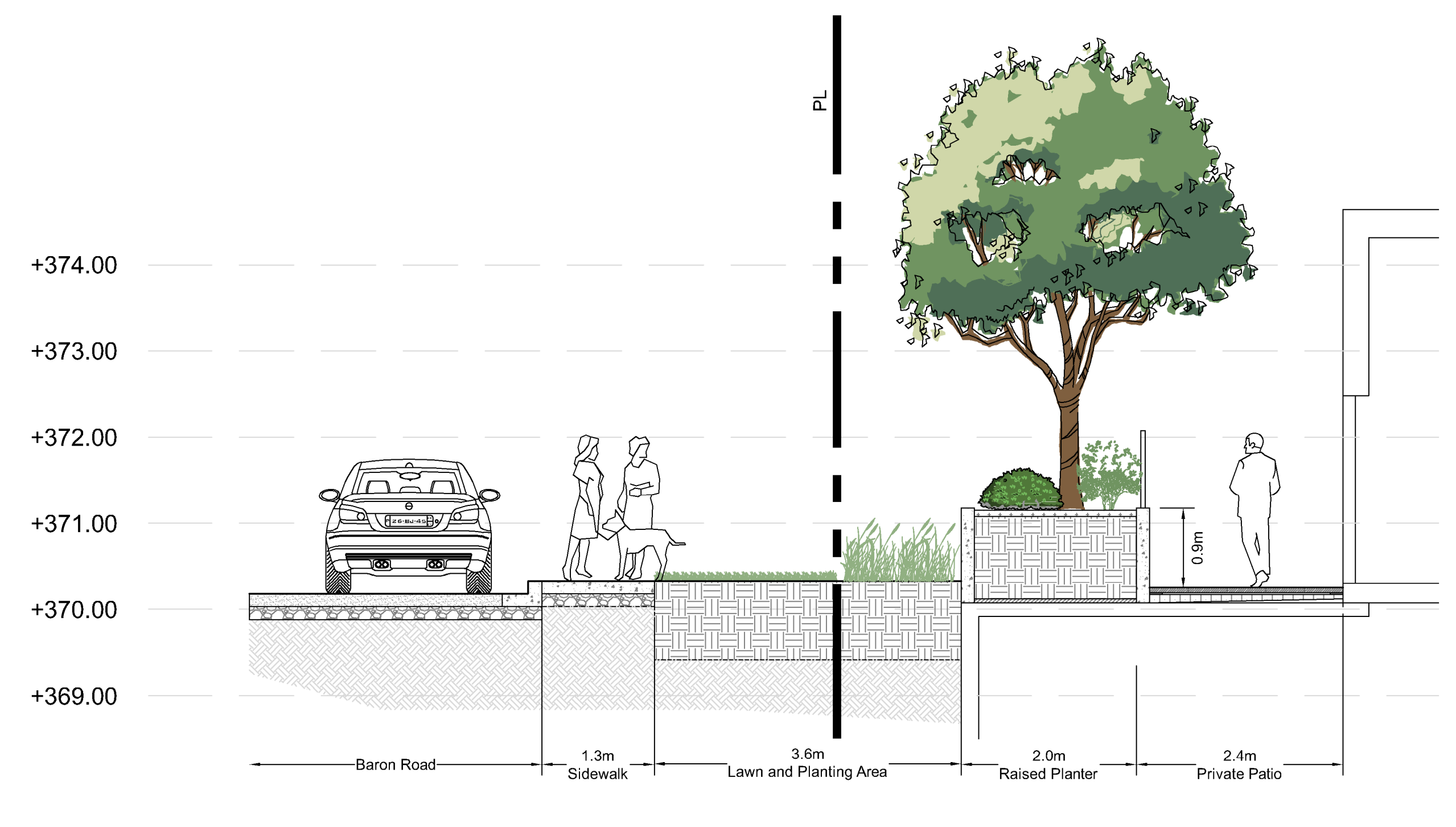
 City of Kelowna
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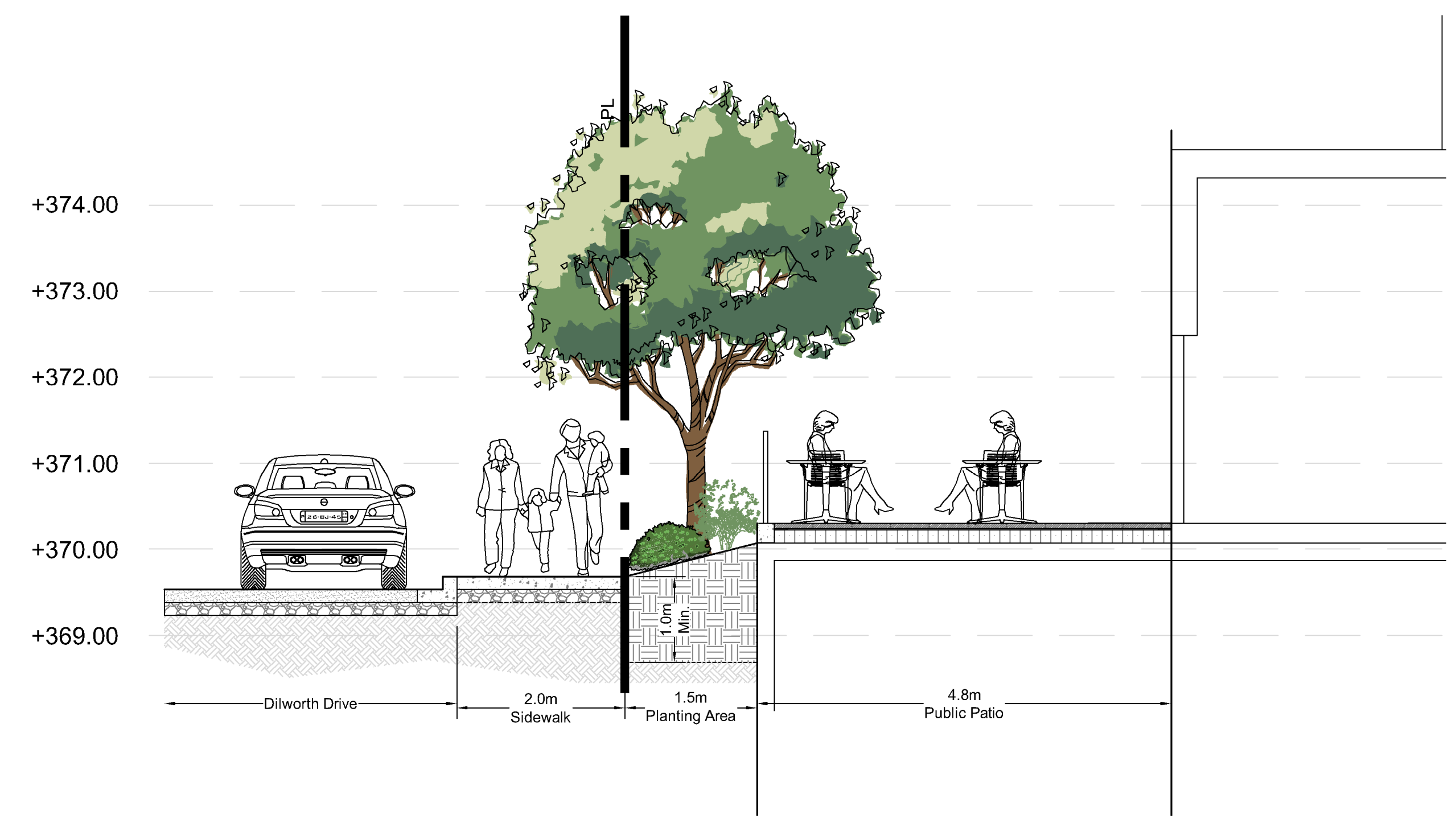
0 KEY PLAN
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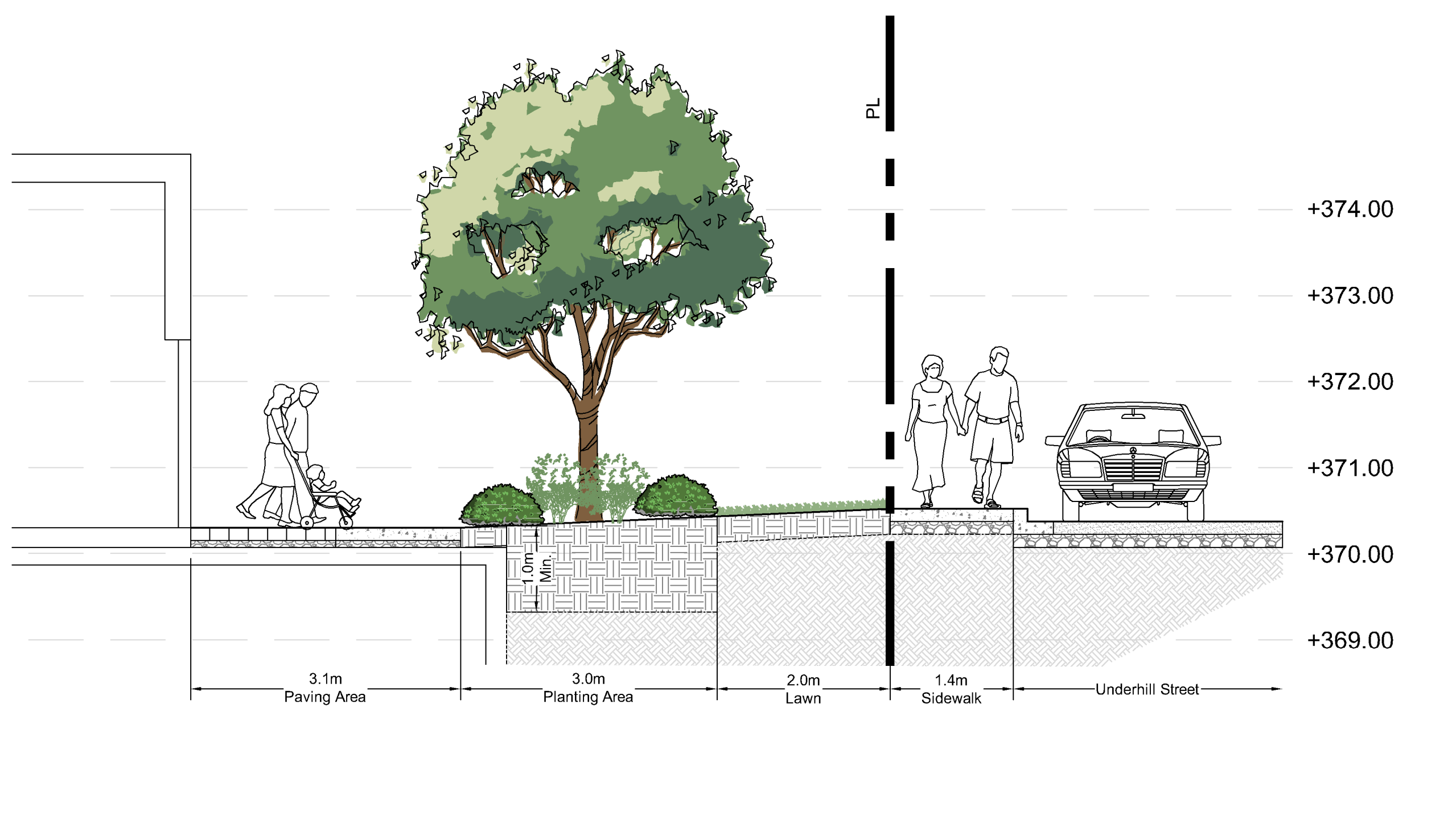
1 SECTION A - NORTHEAST PLANTER
 Scale 1:50



2 SECTION B - NORTHWEST PATIO
 Scale 1:50



3 SECTION C - WEST PATIO
 Scale 1:50



4 SECTION D - EAST ENTRY PLAZA
 Scale 1:50

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No.	By:	Description	Date
1	KM	Issued for Coordination	March 18, 2024

REVISIONS TABLE FOR SHEET

No.	By:	Description	Date
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Project:
UNDERHILL MIXED USE

Location:
**1930 UNDERHILL STREET,
 KELOWNA, BC**

Drawn: FW	Stamp: 
Checked: KM	
Approved: SH	Original Sheet 24"x36" 2024-05-08
Scale: 1:50	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS TO DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

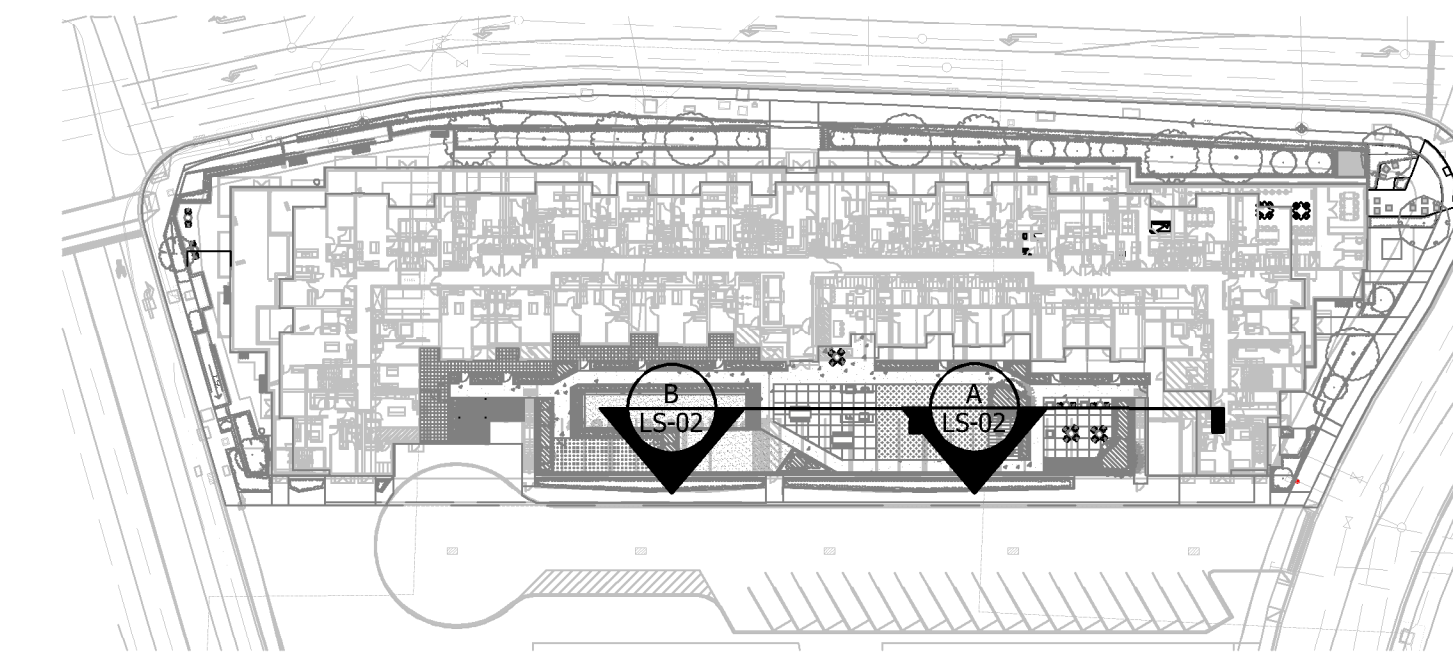
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Drawing Title:
SECTIONS



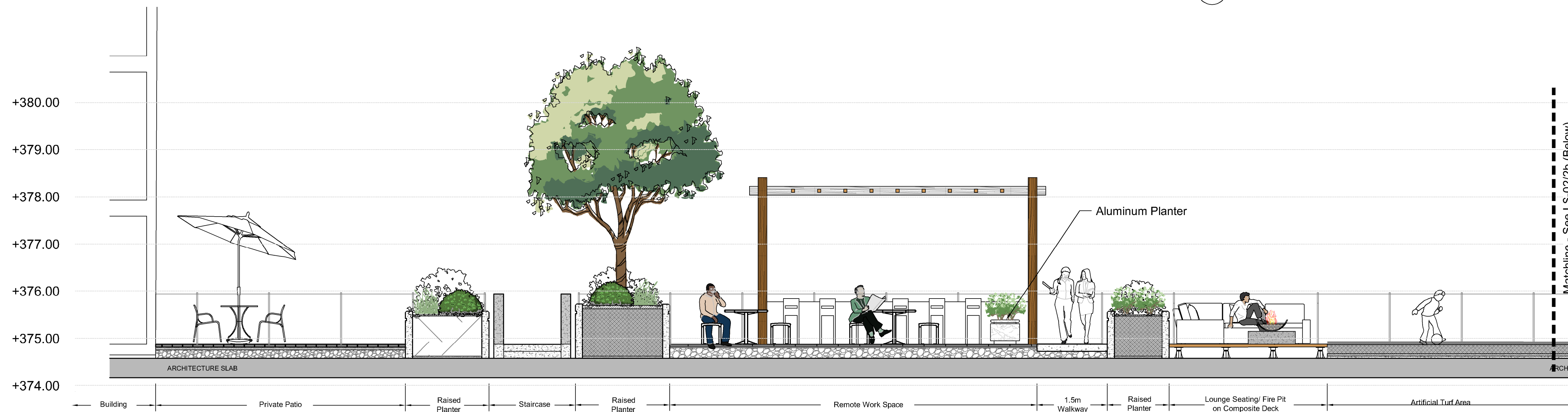
VDZ Project #:
DP2023-70

Drawing #:
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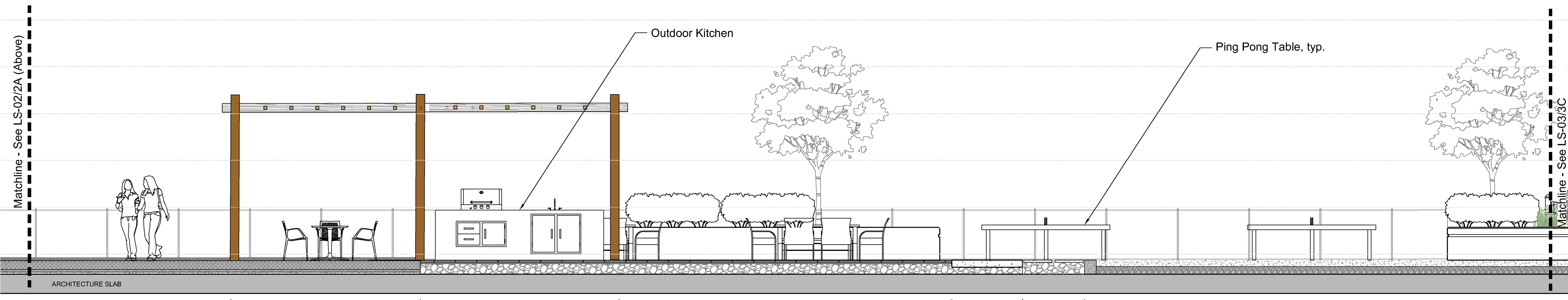


0 KEY PLAN
 Scale NTS

SCHEDULE C
 This forms part of application
 # DP24-0095 DVP24-0152
 City of Kelowna
 COMMUNITY PLANNING
 Planner Initials KB



1 SECTION C - LEVEL 2 AMENITY SPACE (EAST-WEST)
 Scale 1:50



2 SECTION B - LEVEL 2 AMENITY SPACE (EAST-WEST)
 Scale 1:50

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Approved: SH	Original Stamp 2024-05-08
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Drawing Title:
SECTIONS



VDZ Project #:
DP2023-70

Drawing #:
LS-02



1 VIEW OF WORK SPACE - AMENITY LEVEL



2 VIEW OF OUTDOOR KITCHEN AND DINING SPACE -AMENITY LEVEL



3 VIEW OF BOCCIE COURT AND PING PONG TABLE - AMENITY LEVEL



4 VIEW OF LOUNGE AREA -AMENITY LEVEL



5 BIRD'S EYE VIEW - AMENITY LEVEL

SCHEDULE C
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Key Map (NTS)

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 KELOWNA, BC

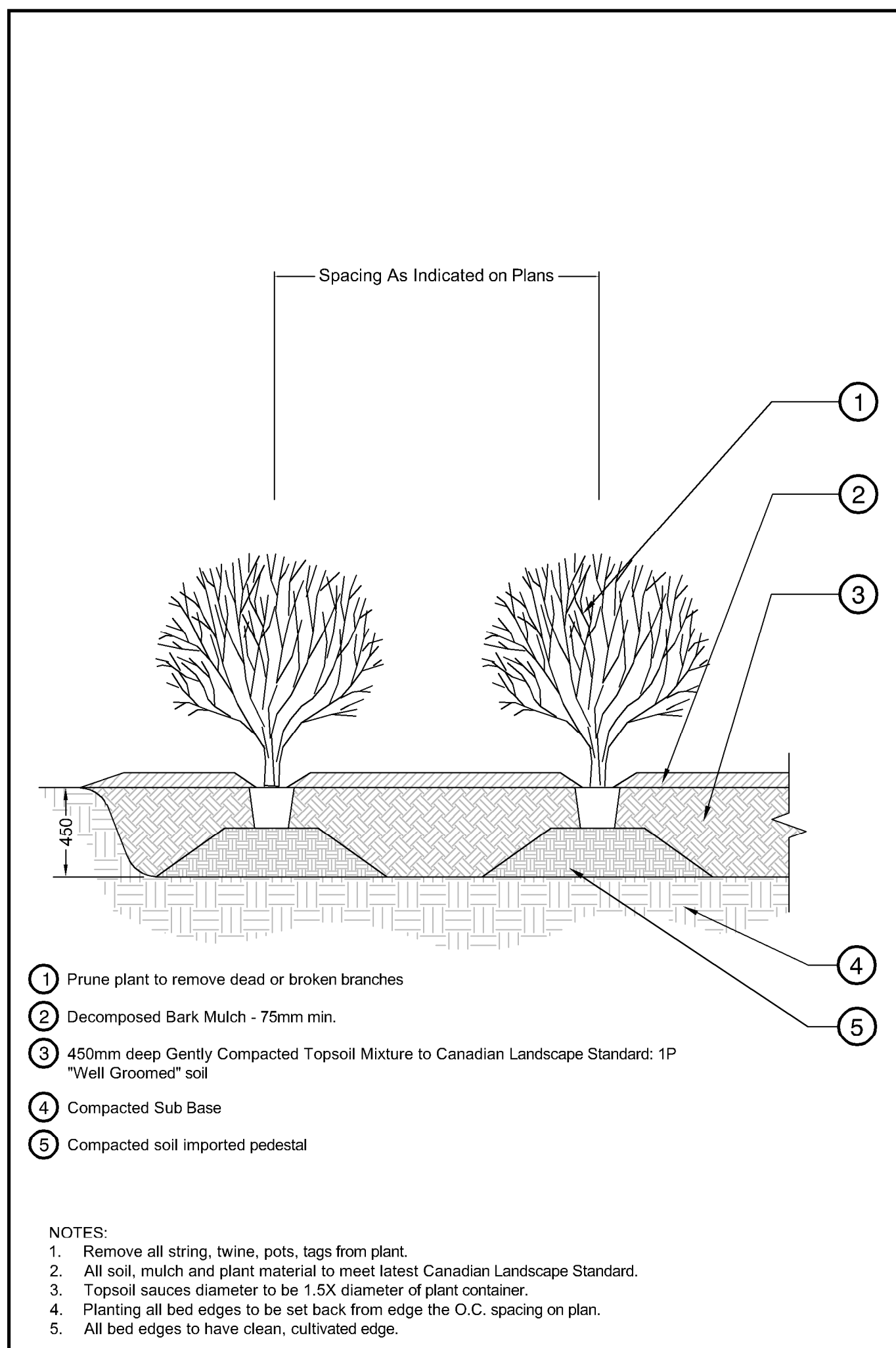
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Checked: SH	
Approved: MVDZ	Original Size: 24"x36" Date: 2024-05-08
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Drawing Title:
LANDSCAPE PERSPECTIVES

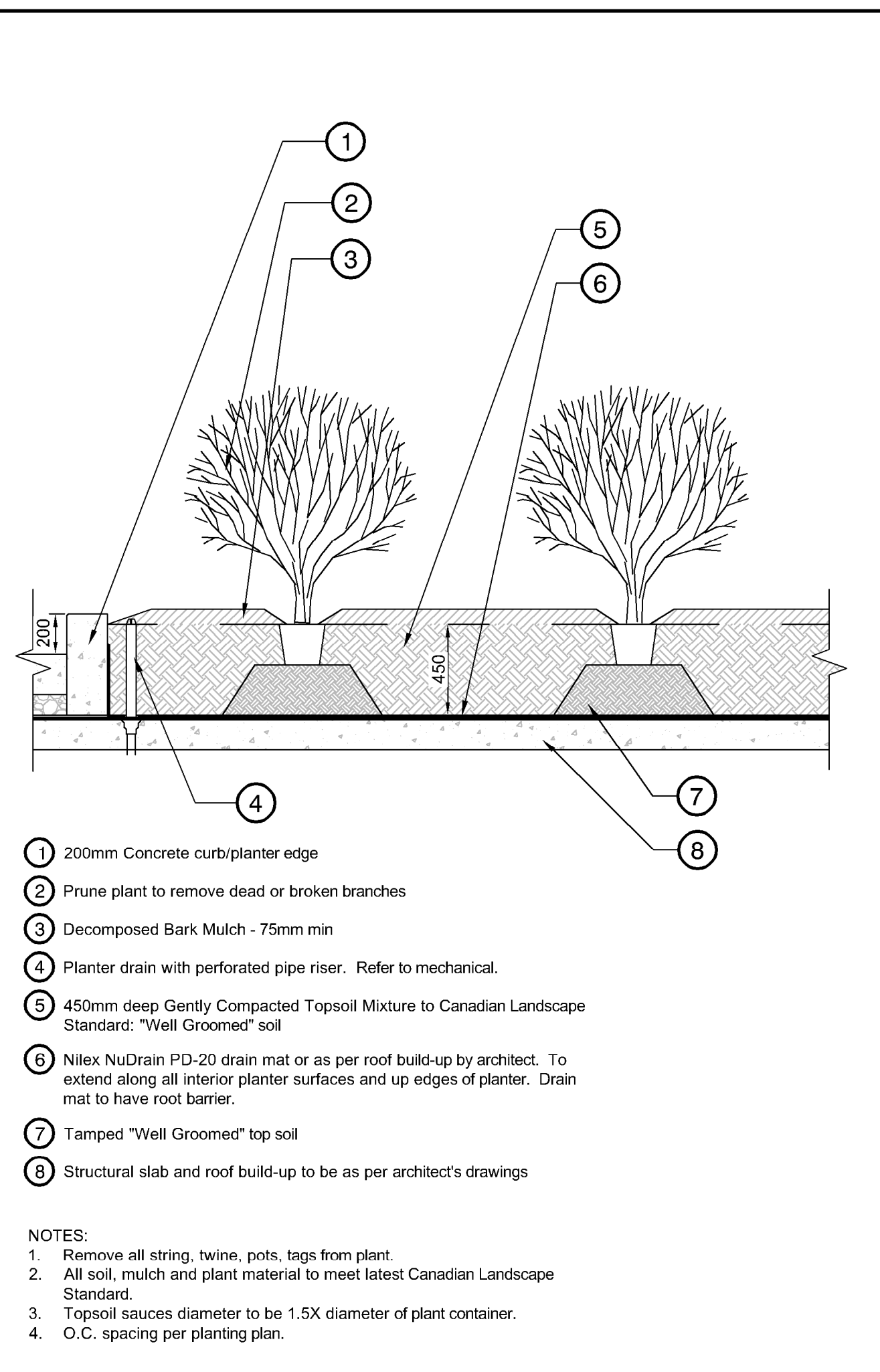


VDZ Project #:
DP2023-70

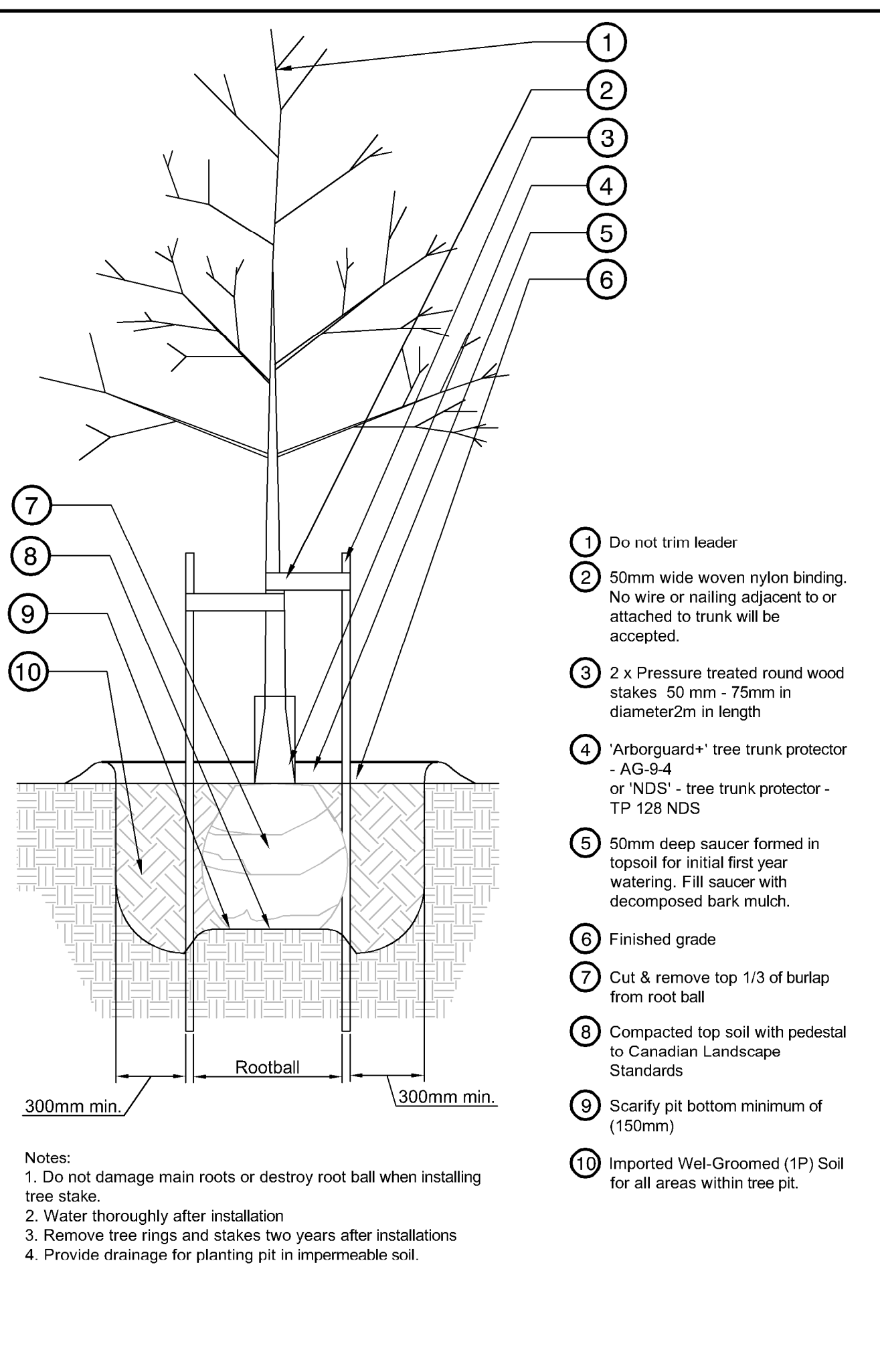
Drawing #:
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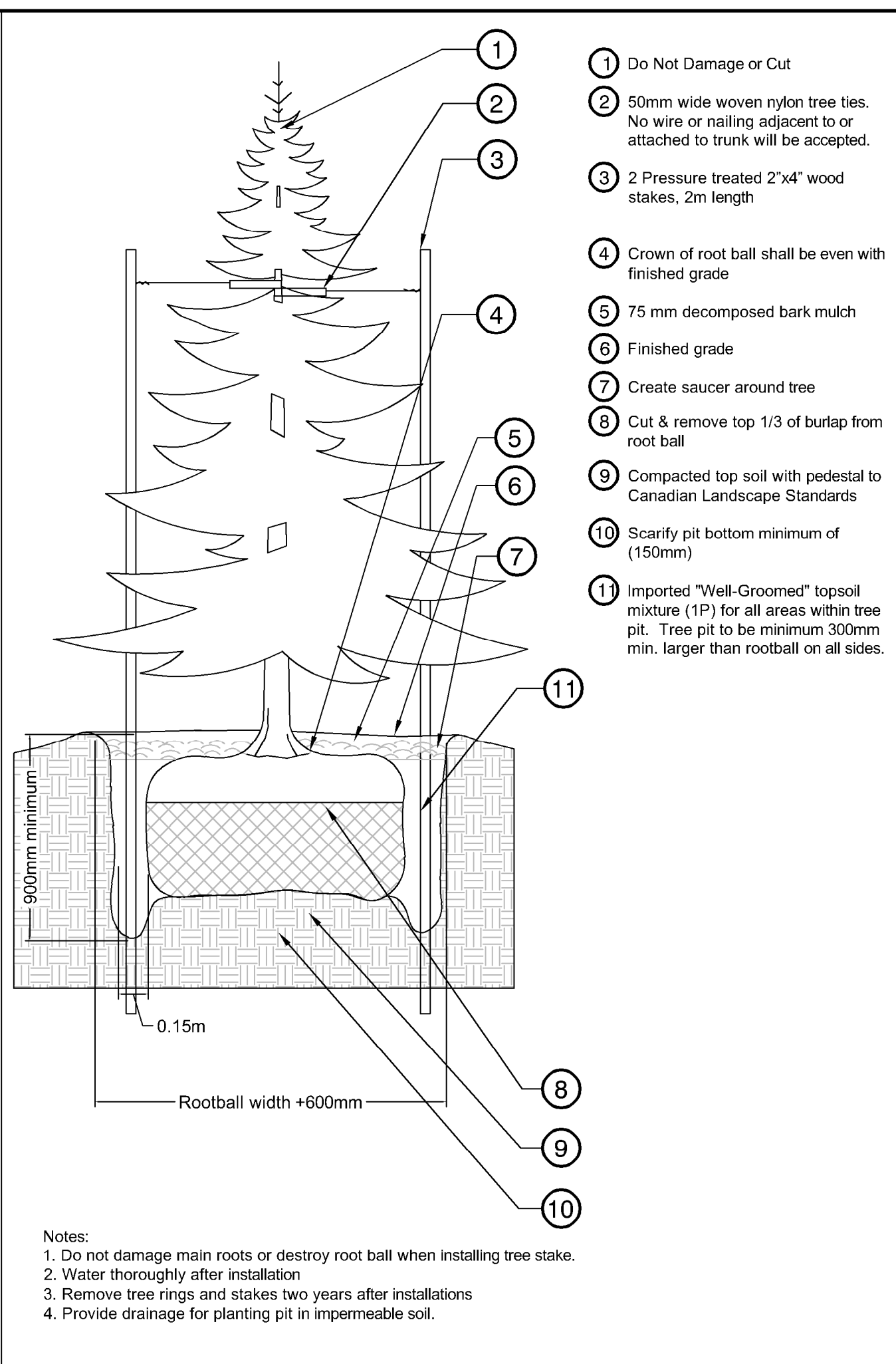
1 SHRUB PLANTING
1:25



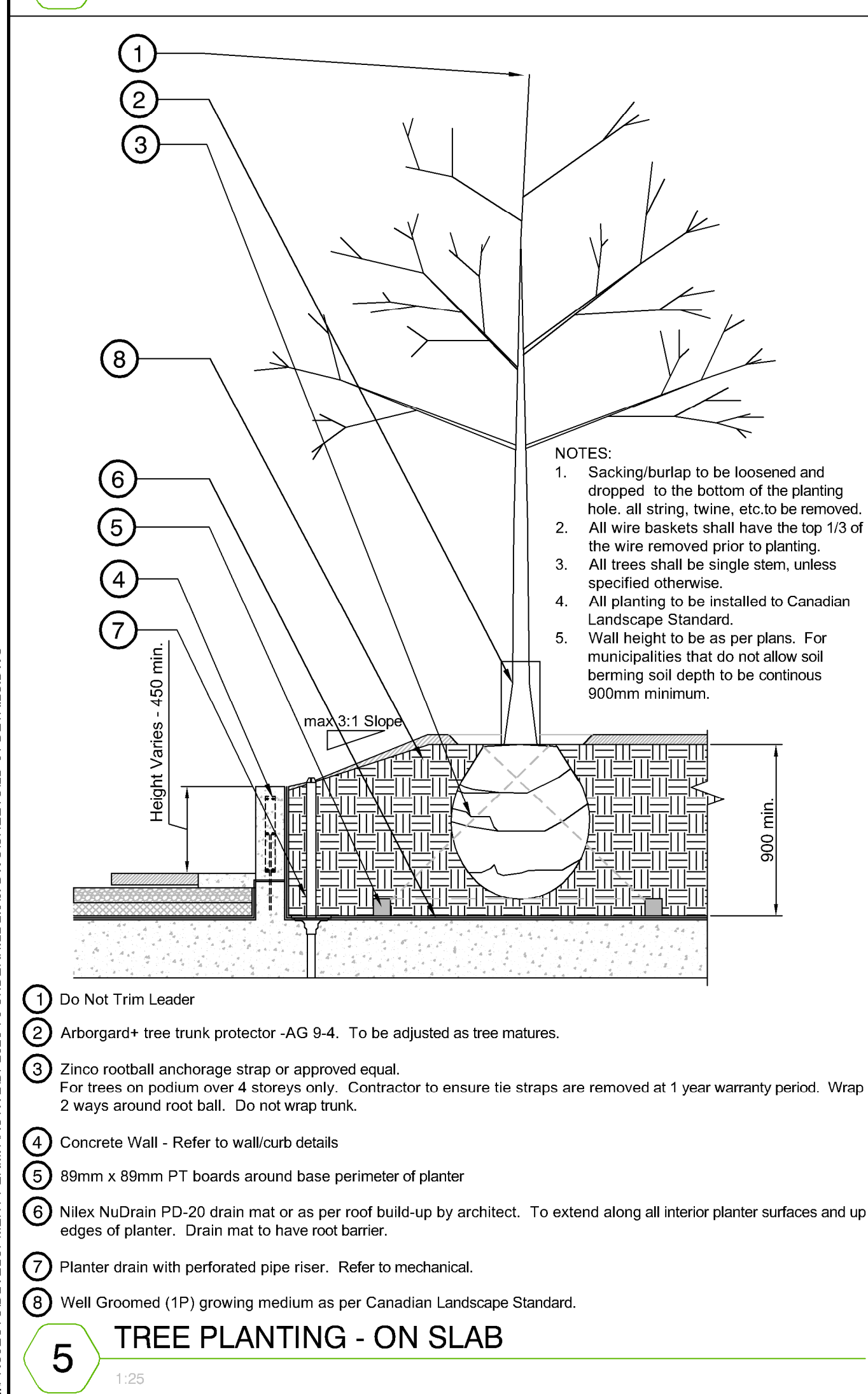
2 SHRUB PLANTING - ON SLAB
1:1



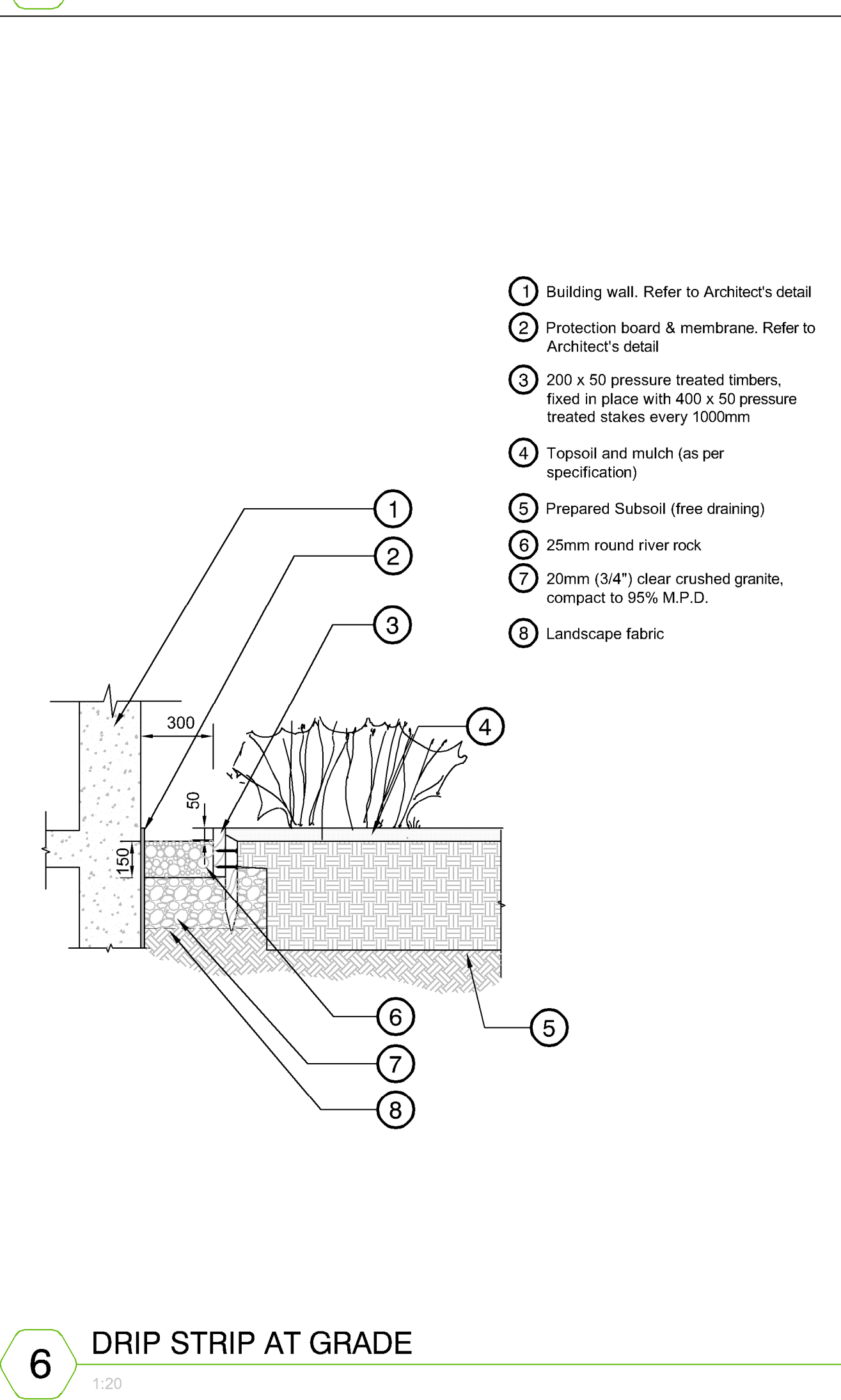
3 TREE PLANTING - DECIDUOUS TREE
1:25



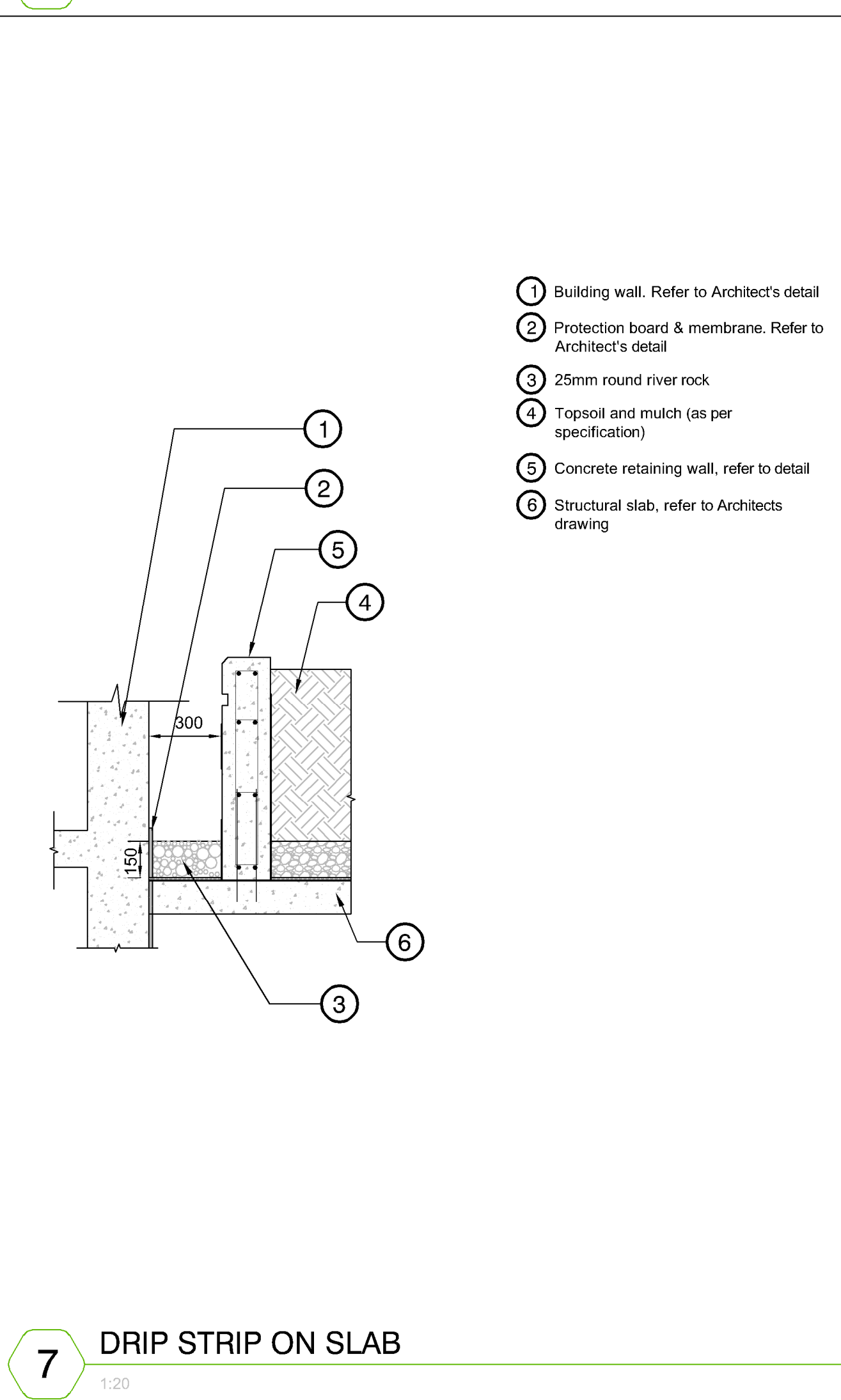
4 TREE PLANTING - CONIFEROUS TREE
1:25



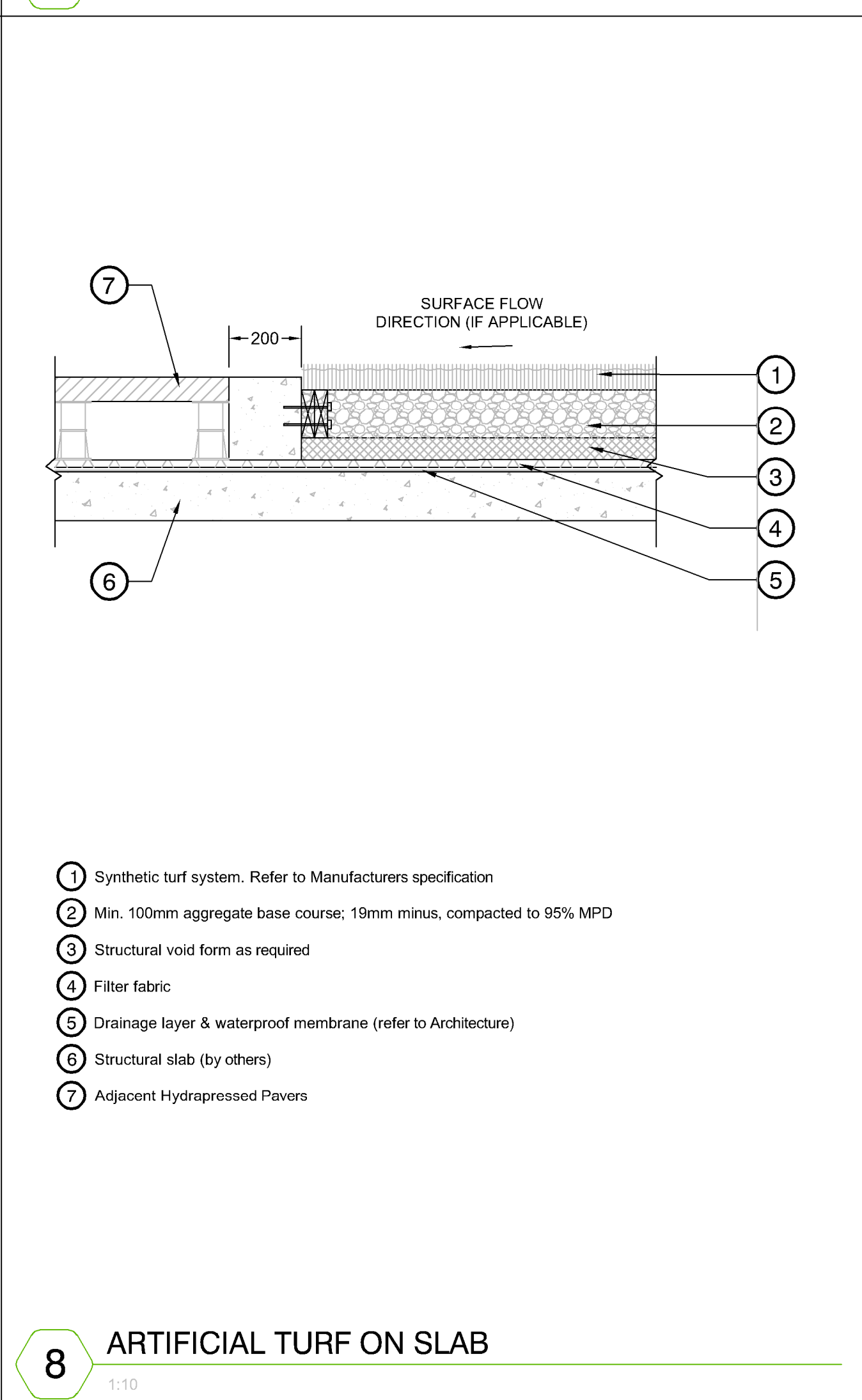
5 TREE PLANTING - ON SLAB
1:25



6 DRIP STRIP AT GRADE
1:20



7 DRIP STRIP ON SLAB
1:20



8 ARTIFICIAL TURF ON SLAB
1:10

SCHEDULE C
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DP24-0095 DVP24-0152
City of Kelowna
COMMUNITY PLANNING
Planner Initials: KB

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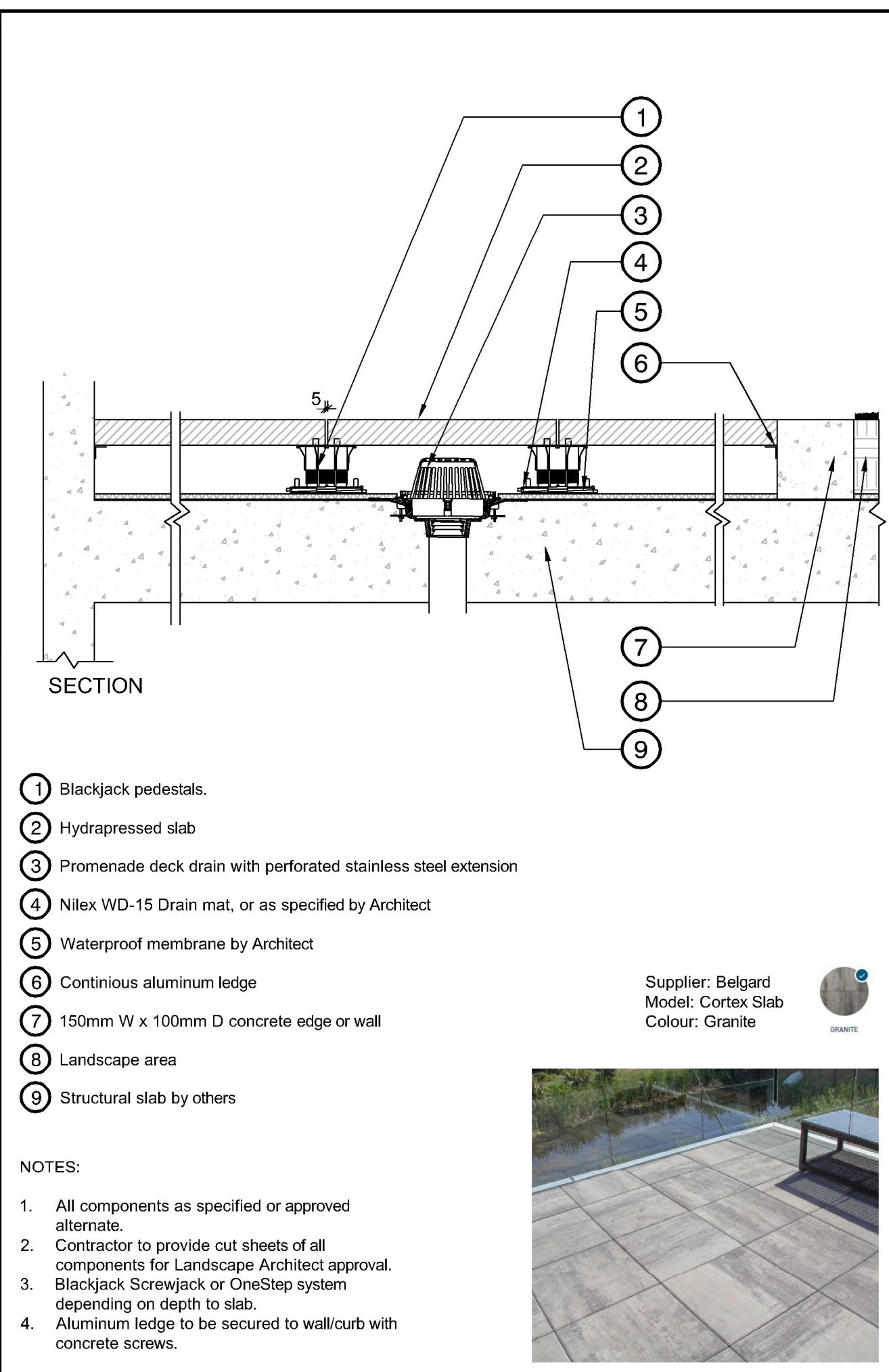
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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			
Project: UNDERHILL MIXED USE			
Location: 1930 UNDERHILL STREET, KELOWNA, BC			
Drawn:	DC LA	Stamp:	
Checked:	KM		
Approved:	KM	Original Sign-off:	2024-05-08
Scale:	AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/ERRATA/CHANGES MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.	

Drawing Title: **DETAILS**
VDZ Project #: **DP2023-70**
Drawing #: **LD-01**

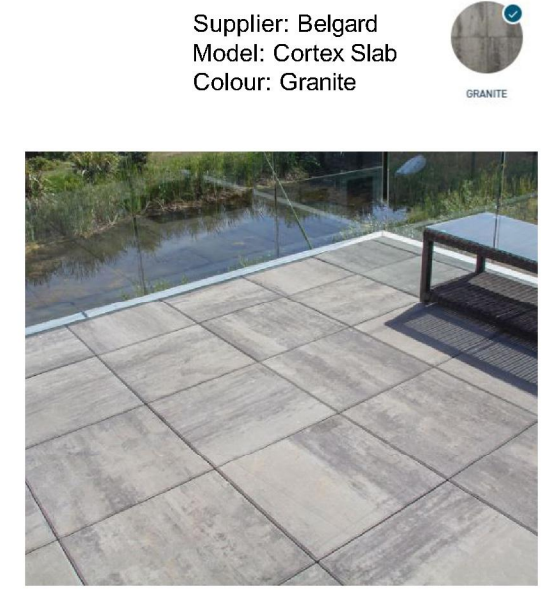
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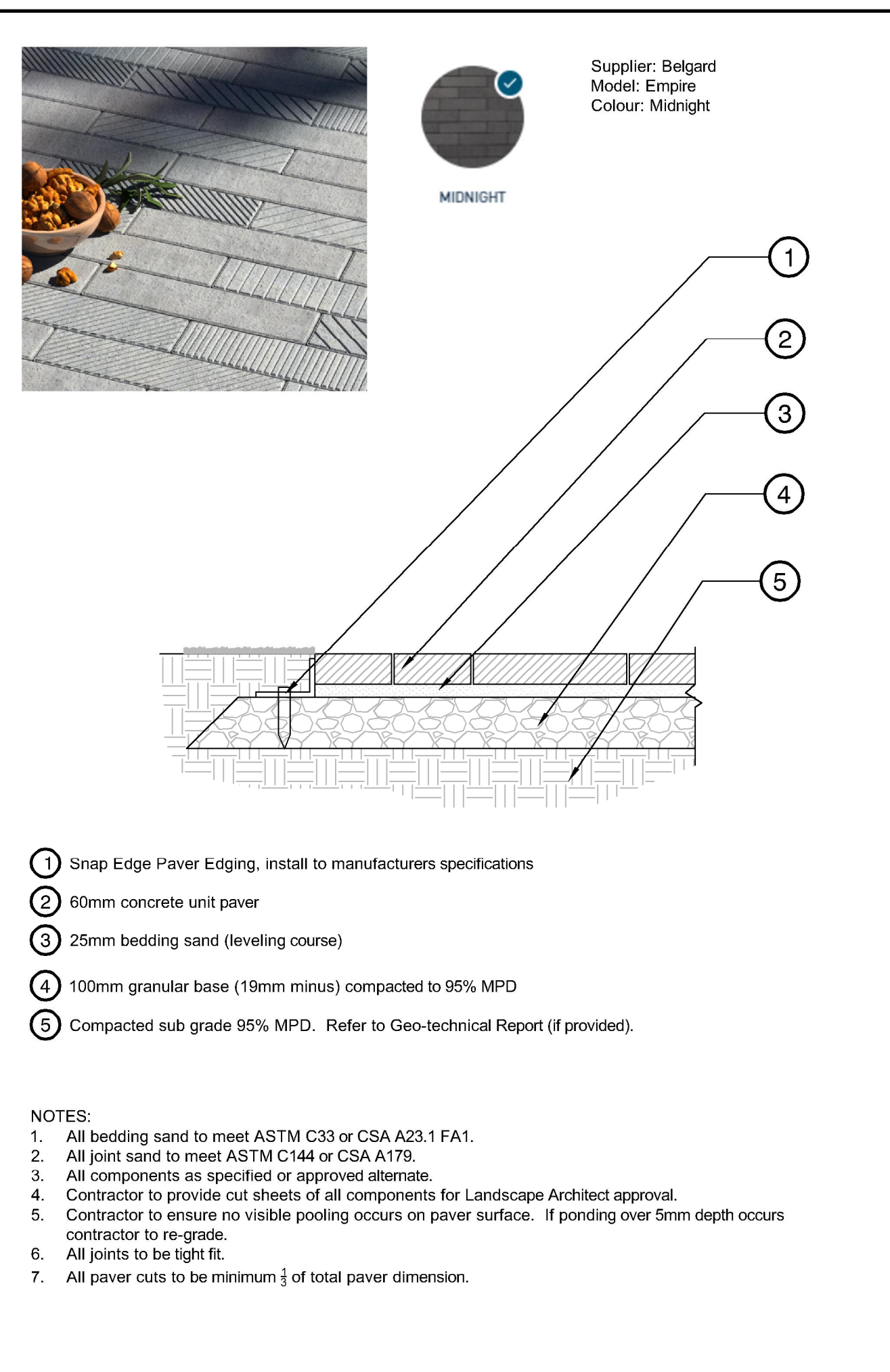
- 1 Blackjack pedestals.
- 2 Hydrapressed slab
- 3 Promenade deck drain with perforated stainless steel extension
- 4 Nilix WD-15 Drain mat, or as specified by Architect
- 5 Waterproof membrane by Architect
- 6 Continuous aluminum ledge
- 7 150mm W x 100mm D concrete edge or wall
- 8 Landscape area
- 9 Structural slab by others

NOTES:

- All components as specified or approved alternate.
- Contractor to provide cut sheets of all components for Landscape Architect approval.
- Blackjack Screwjack or OneStep system depending on depth to slab.
- Aluminum ledge to be secured to wall/courb with concrete screws.



1 HYDRAPRESSED SLAB ON SLAB
1:10

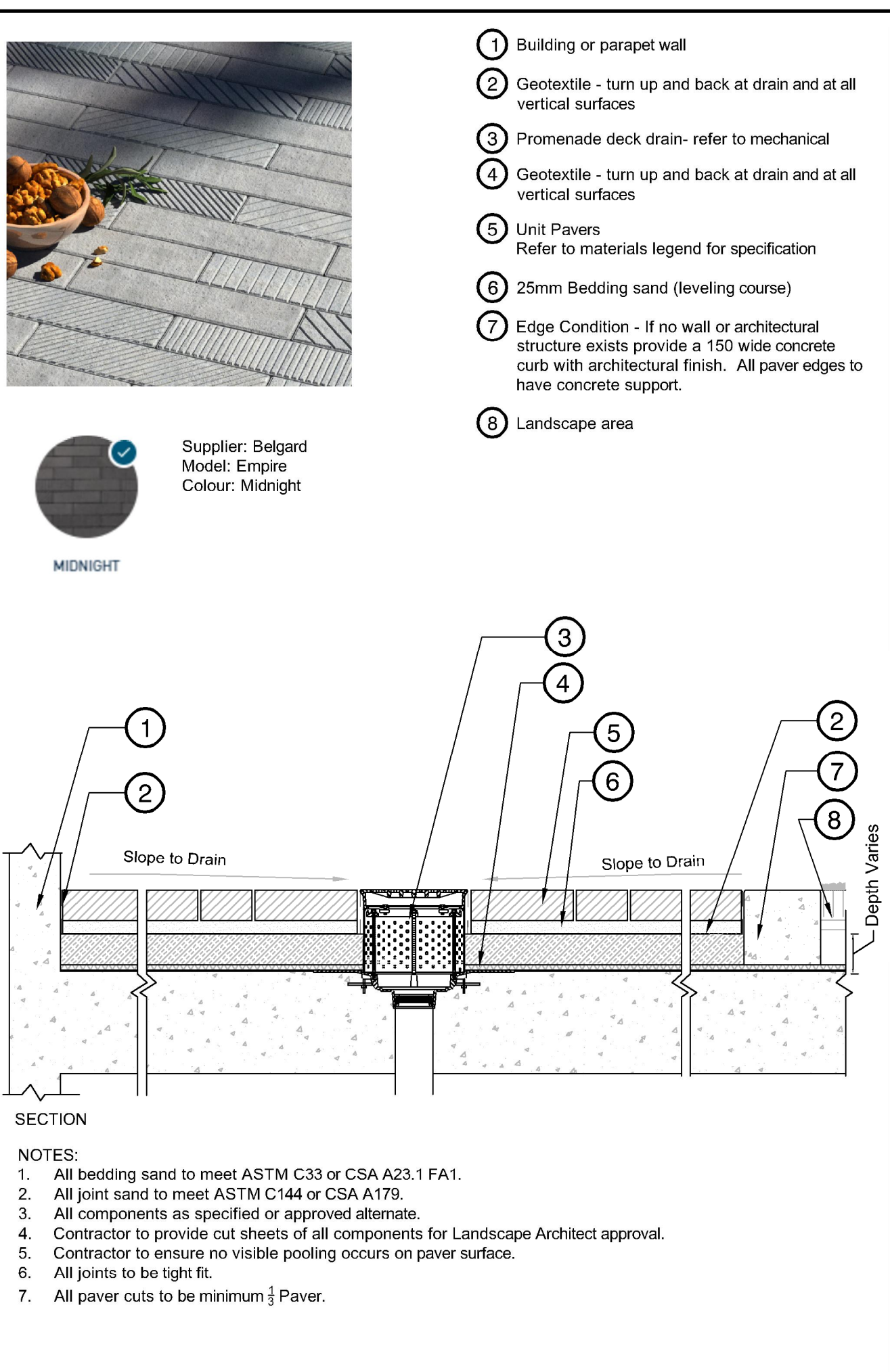


- 1 Snap Edge Paver Edging, install to manufacturers specifications
- 2 60mm concrete unit paver
- 3 25mm bedding sand (leveling course)
- 4 100mm granular base (19mm minus) compacted to 95% MPD
- 5 Compacted sub grade 95% MPD. Refer to Geo-technical Report (if provided).

NOTES:

- All bedding sand to meet ASTM C33 or CSA A23.1 FA.1.
- All joint sand to meet ASTM C144 or CSA A179.
- All components as specified or approved alternate.
- Contractor to provide cut sheets of all components for Landscape Architect approval.
- Contractor to ensure no visible pooling occurs on paver surface. If ponding over 5mm depth occurs contractor to re-grade.
- All joints to be tight fit.
- All paver cuts to be minimum 1/3 of total paver dimension.

2 UNIT PAVERS
1:10

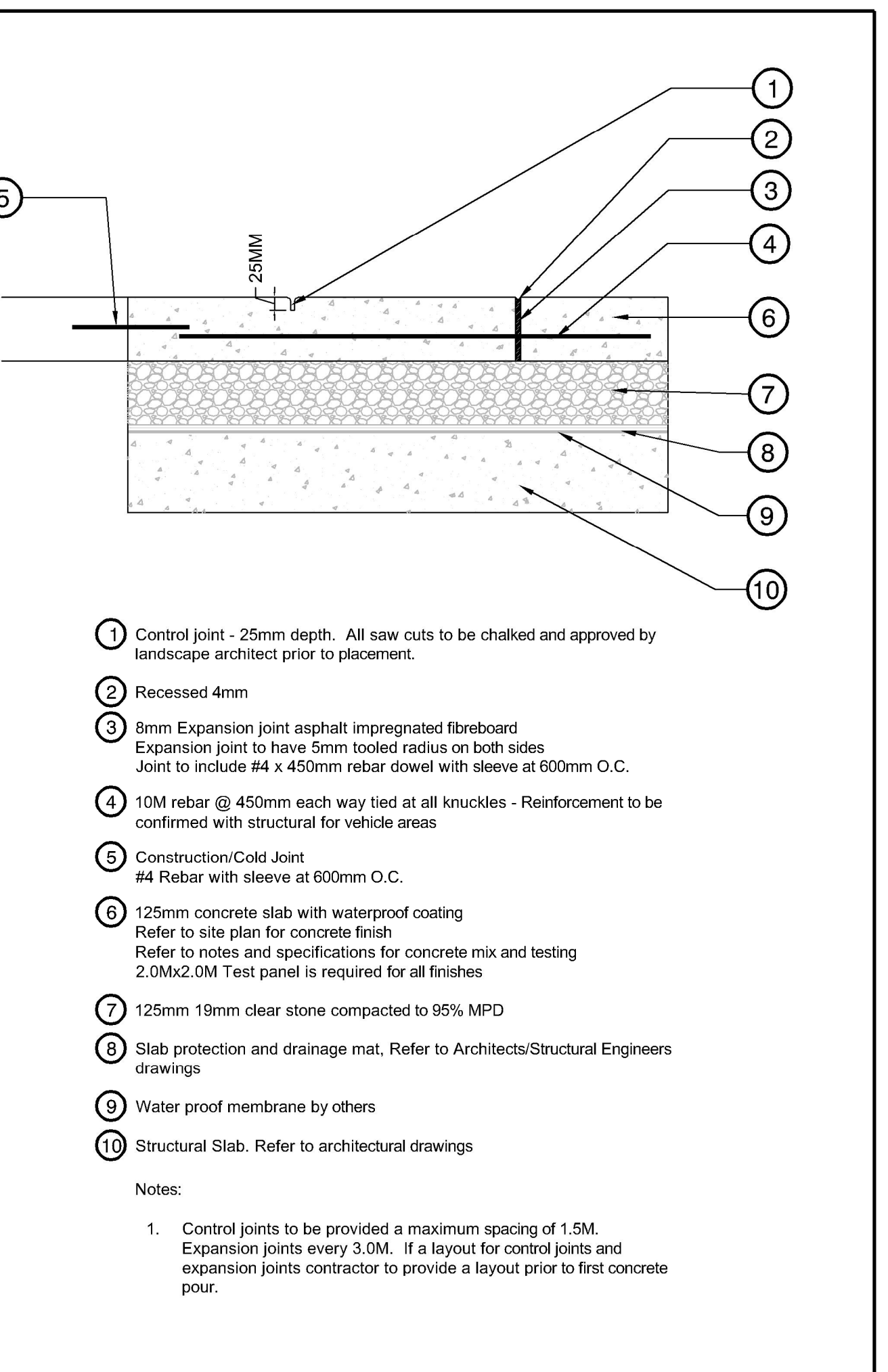


- 1 Building or parapet wall
- 2 Geotextile - turn up and back at drain and at all vertical surfaces
- 3 Promenade deck drain - refer to mechanical
- 4 Geotextile - turn up and back at drain and at all vertical surfaces
- 5 Unit Pavers Refer to materials legend for specification
- 6 25mm Bedding sand (leveling course)
- 7 Edge Condition - If no wall or architectural structure exists provide a 150 wide concrete curb with architectural finish. All paver edges to have concrete support.
- 8 Landscape area

NOTES:

- All bedding sand to meet ASTM C33 or CSA A23.1 FA.1.
- All joint sand to meet ASTM C144 or CSA A179.
- All components as specified or approved alternate.
- Contractor to provide cut sheets of all components for Landscape Architect approval.
- Contractor to ensure no visible pooling occurs on paver surface.
- All joints to be tight fit.
- All paver cuts to be minimum 1/3 Paver.

3 UNIT PAVERS - OVER SLAB
1:10

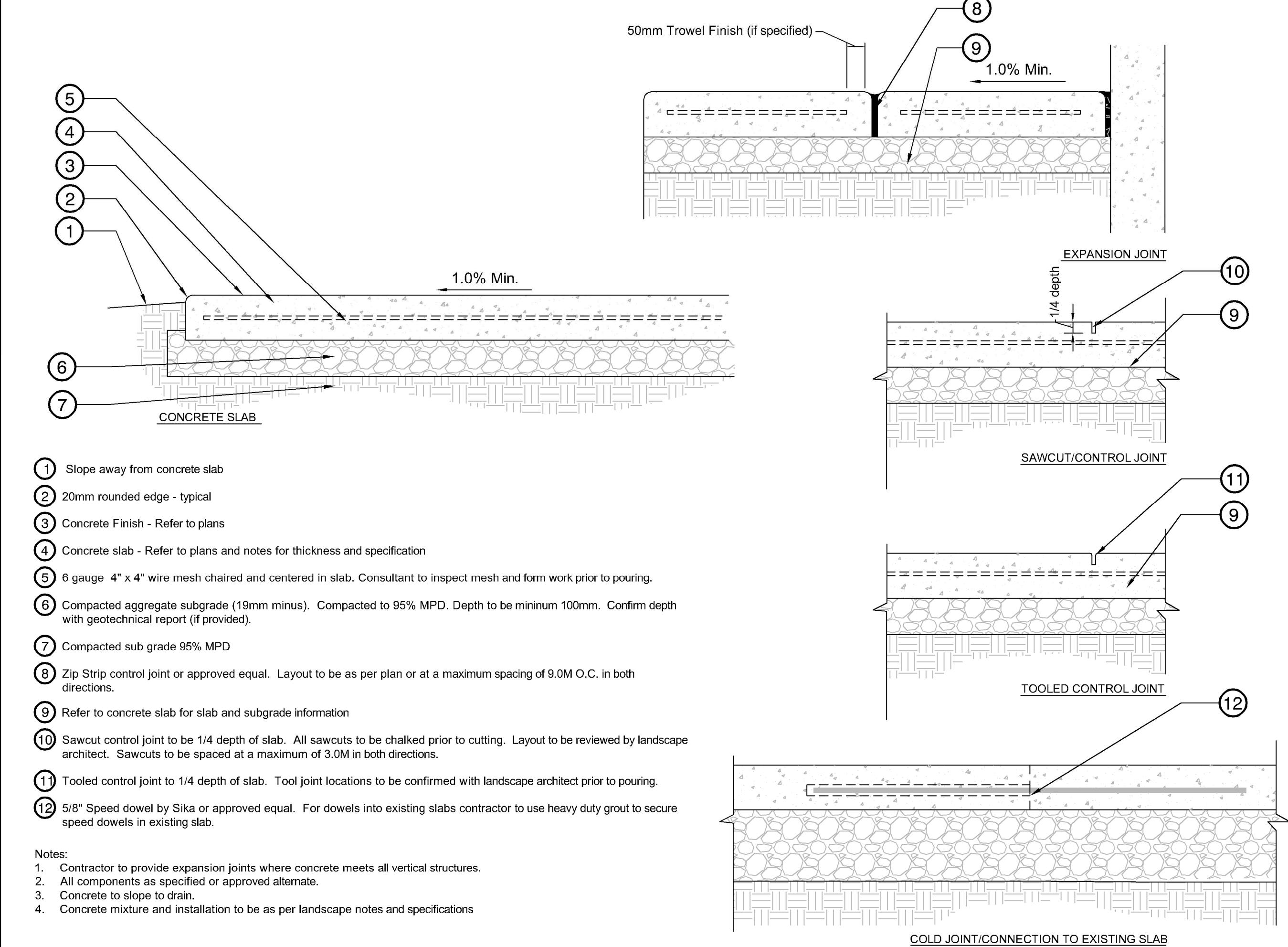


- 1 Control joint - 25mm depth. All saw cuts to be chalked and approved by landscape architect prior to placement.
- 2 Recessed 4mm
- 3 8mm Expansion joint asphalt impregnated fibreboard Expansion joint to have 5mm toolled radius on both sides Joint to include #4 x 450mm rebar dowel with sleeve at 600mm O.C.
- 4 10M rebar @ 450mm each way tied at all knuckles - Reinforcement to be confirmed with structural for vehicle areas
- 5 Construction/Cold Joint #4 Rebar with sleeve at 600mm O.C.
- 6 125mm concrete slab with waterproof coating Refer to site plan for concrete finish Refer to notes and specifications for concrete mix and testing 2.0Mx2.0M Test panel is required for all finishes
- 7 125mm 19mm clear stone compacted to 95% MPD
- 8 Slab protection and drainage mat. Refer to Architects/Structural Engineers drawings
- 9 Water proof membrane by others
- 10 Structural Slab. Refer to architectural drawings

Notes:

- Control joints to be provided a maximum spacing of 1.5M. Expansion joints every 3.0M. If a layout for control joints and expansion joints contractor to provide a layout prior to first concrete pour.

4 CONCRETE SLAB - OVER PARKADE
1:10

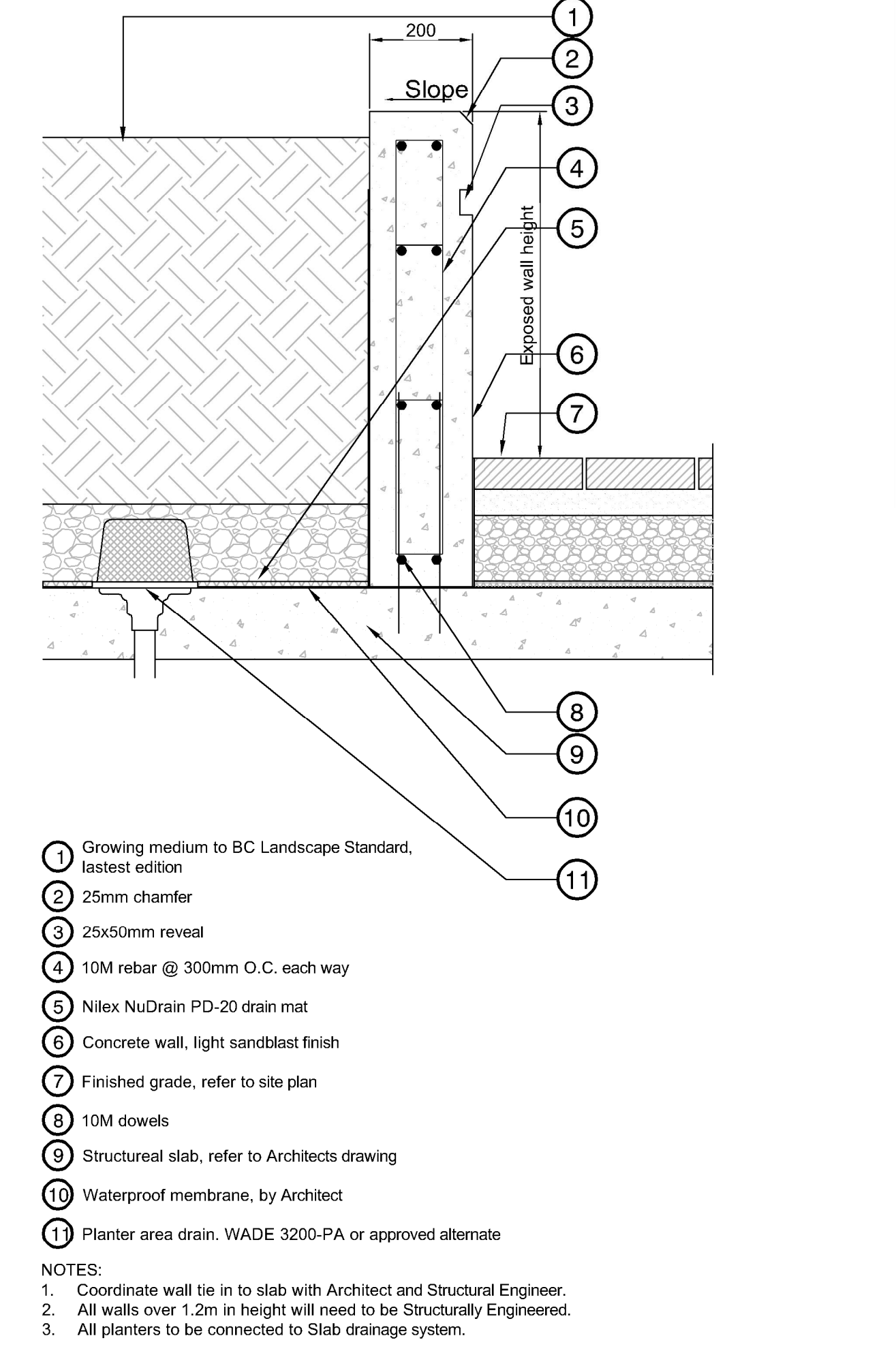


- 1 Slope away from concrete slab
- 2 20mm rounded edge - typical
- 3 Concrete Finish - Refer to plans
- 4 Concrete slab - Refer to plans and notes for thickness and specification
- 5 6 gauge 4" x 4" wire mesh chaired and centered in slab. Consultant to inspect mesh and form work prior to pouring.
- 6 Compacted aggregate subgrade (19mm minus). Compacted to 95% MPD. Depth to be minimum 100mm. Confirm depth with geotechnical report (if provided).
- 7 Compacted sub grade 95% MPD
- 8 Zip Strip control joint or approved equal. Layout to be as per plan or at a maximum spacing of 9.0M O.C. in both directions.
- 9 Refer to concrete slab for slab and subgrade information
- 10 Sawcut control joint to be 1/4 depth of slab. All sawcuts to be chalked prior to cutting. Layout to be reviewed by landscape architect. Sawcuts to be spaced at a maximum of 3.0M in both directions.
- 11 Toolled control joint to 1/4 depth of slab. Tool joint locations to be confirmed with landscape architect prior to pouring.
- 12 5/8" Speed dowel by Sika or approved equal. For dowels into existing slabs contractor to use heavy duty grout to secure speed dowels in existing slab.

Notes:

- Contractor to provide expansion joints where concrete meets all vertical structures.
- All components as specified or approved alternate.
- Concrete to slope to drain.
- Concrete mixture and installation to be as per landscape notes and specifications

5 CONCRETE SLAB - WIRE MESH
1:10

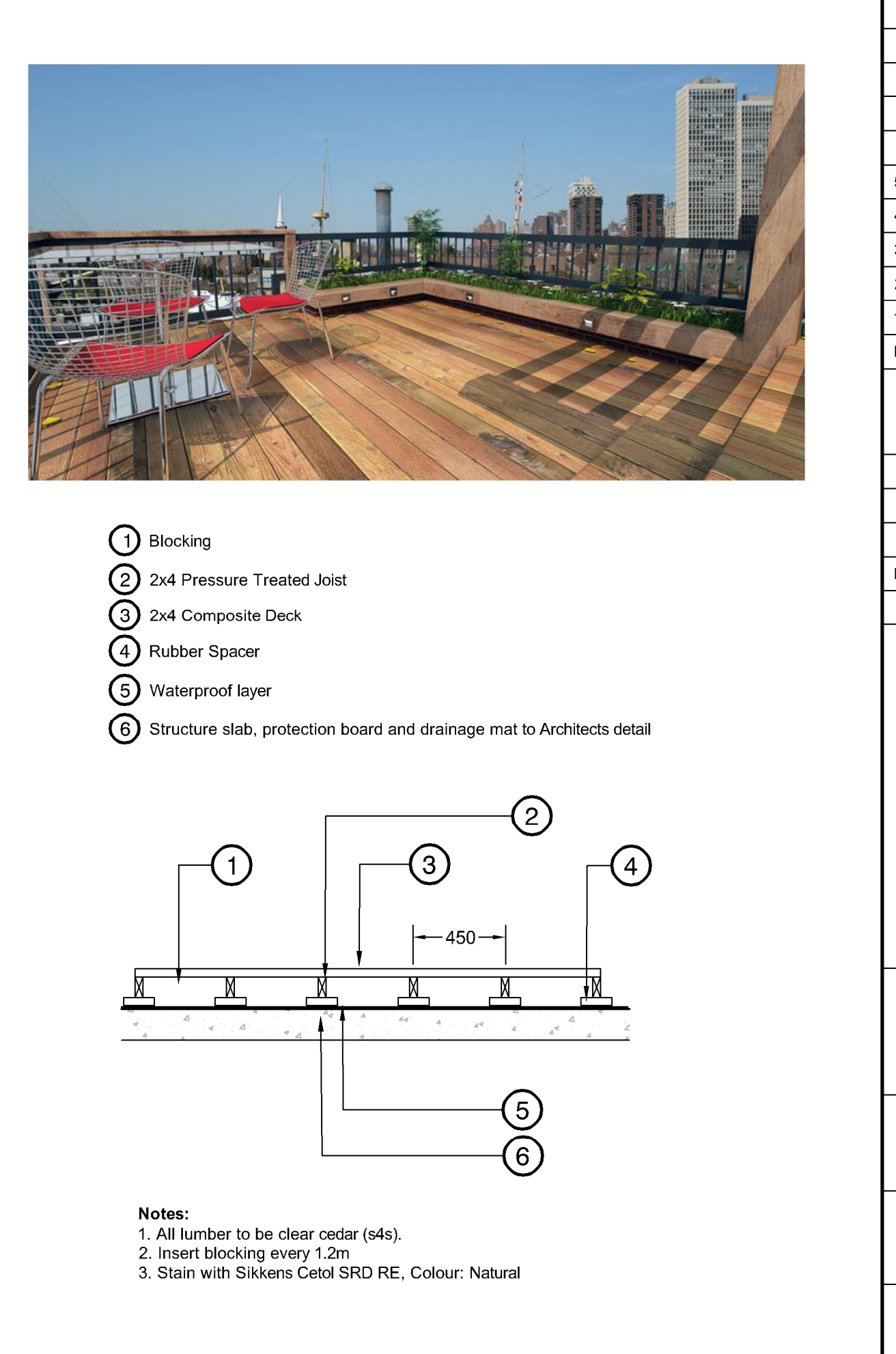


- 1 Growing medium to BC Landscape Standard, latest edition
- 2 25mm chamfer
- 3 25x50mm reveal
- 4 10M rebar @ 300mm O.C. each way
- 5 Nilix NuDrain PD-20 drain mat
- 6 Concrete wall, light sandblast finish
- 7 Finished grade, refer to site plan
- 8 10M dowels
- 9 Structural slab, refer to Architects drawing
- 10 Waterproof membrane, by Architect
- 11 Planter area drain, WADE 3200-PA or approved alternate

NOTES:

- Coordinate wall tie in to slab with Architect and Structural Engineer.
- All walls over 1.2m in height will need to be Structurally Engineered.
- All planters to be connected to Slab drainage system.

6 CONCRETE RAISED PLANTER
1:10



- 1 Blocking
- 2 2x4 Pressure Treated Joist
- 3 2x4 Composite Deck
- 4 Rubber Spacer
- 5 Waterproof layer
- 6 Structure slab, protection board and drainage mat to Architects detail

Notes:

- All lumber to be clear cedar (64s).
- Insert blocking every 1.2m
- Stain with Sikken's Cetol SRD RE. Colour: Natural

7 COMPOSITE DECK
1:25

SCHEDULE C
This forms part of application
DP24-0095 DVP24-0152
Planner Initials **KB**
City of Kelowna
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5	KM	Issued for DP	May 8, 2024
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Project:
UNDERHILL MIXED USE
Location:
1930 UNDERHILL STREET, KELOWNA, BC

Drawn: DC LA	Stamp:
Checked: KM	
Approved: KM	Original Sign-off 24"x36" 2024-05-08
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/ERRATA/CHANGES MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED/ISSUED FOR TENDER/CONSTRUCTION.

Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVE\DP2023-70 UNDERHILL 2.05.DWG\SHEETS\LD-02 DETAILS.DWG



Image	Model	Description	Diameter	Height	Height Above Grade	Length	Weight
	M8R-0360-00001	300 Series - 150 Bike Rack: H.S. Steel Tube, Formed Steel and Solid Steel Angle, Surface Mount, 4 Length, 3 Bike Configuration	24.6" (62.5cm)	23.8" (60.5cm)	22.8" (58.0cm)	37.3" (94.8cm)	83.2lbs (37.7kg)



1 BIKE RACK
1:1



Table

MTB-2000-00001	2000 Series - Kontur Cafe Table: 36in D, Steel Frame and Table Top, Freestanding	36" (91.4cm)	30" (76.2cm)	55lbs (24.9kg)
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Chairs

MCH-2000-00002	2000 Series - Kontur Chair: Steel Frame and Seat, Freestanding	23.3" (59.2cm)	33" (83.8cm)	18" (45.7cm)	23.4lbs (10.6kg)	19.5" (49.5cm)
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2 TABLES AND CHAIRS
1:1



Model	Description	Depth	Height	Seat Height	Weight	Width
MCH-2000-00001	2000 Series - Kontur Bar Height Stool: Steel Frame, Formed Steel Seat, Freestanding		32.5" (82.6cm)	30" (76.2cm)	19.1lbs (8.7kg)	18" (45.7cm)



3 BAR STOOLS
1:1



Model	Description	Depth	Height	Length	Seat Height	Weight
MBE-0450-00008	400 Series - 450 Backed Bench: 72.75in L, H.S. Steel Tube and Flat Bar Ends, Ipe Wood Seat and Back, Two End Arms	25.6" (64.8cm)	36.1" (91.8cm)	72.8" (184.8cm)	18.3" (46.4cm)	158.9lbs (72.1kg)



4 BENCH
1:1



Model	Description	Diameter	Height	Weight
MTR-0800-00011 (Black Liner)	600 Series - 600 Trash Receptacle: Steel Frame, Metal Hinged Lid, Standard Lid Opening, 1 x 32 Gallon Polyethylene Liner, Vinyl Graphics	22.4" (56.8cm)	36.3" (92.1cm)	118.4lbs (53.7kg)



5 WASTE RECEPTACLE
1:1



Table

Model	Description	Depth	Height	Length	Weight
MTB-2300-00003	2300 Series - Iconic Standard Table: 70in L, Cast Aluminum Legs, Ipe Wood Table Top	35.6" (90.3cm)	30" (76.2cm)	70" (177.8cm)	140lbs (63.5kg)

Chairs

MCH-2000-00002	2000 Series - Kontur Chair: Steel Frame and Seat, Freestanding	23.3" (59.2cm)	33" (83.8cm)	18" (45.7cm)	23.4lbs (10.6kg)	19.5" (49.5cm)
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6 DINING TABLE AND CHAIRS
1:10

30" Terrace Aluminum Planter
PS-230-20-30x30-30

The Terrace Aluminum Planter features an all-welded aluminum, powdercoated body with a flush metal base, and a 12" removable steel depth. Available in any Hauser Kote powdercoat finish, and in a variety of custom sizes.

HAUSER SITE FURNITURE

Width: 30" (76.2 cm)
Depth: 30" (76.2 cm)
Height: 30" (76.2 cm)
Weight: 70.0 lb (31.8 kg)

sales@hausersite.com | 1-800-268-7328 | hausersite.com

7 ALUMINIUM PLANTER
1:10

Maine Adirondack Chair, Woodgrain
HCSC-280-HSM - Maine Adirondack Chair, Heathered Smoke

The Maine Adirondack Chair is constructed of 100% recycled plastics, and is UV stabilized to prevent fading. This modern outdoor furniture is virtually maintenance free, and will not crack, split, rot or splinter. Available in 3 premium heathered woodgrain finishes. Shown here in 'Heathered Smoke'.

HAUSER SITE FURNITURE

Width: 31.5" (80.0 cm)
Depth: 36.5" (92.7 cm)
Height: 36.5" (92.7 cm)
Seat Height: 14" (35.6 cm)
Arm Height: 22" (55.9 cm)
Weight: 49.0 lb (22.2 kg)

sales@hausersite.com | 1-800-268-7328 | hausersite.com

8 ADIRONDACK CHAIR
1:10

SCHEDULE C
This forms part of application
DP24-0095 DVP24-0152
Planner Initials: KB
City of Kelowna
COMMUNITY PLANNING

No.	By:	Description	Date
5	KM	Issued for DP	May 8, 2024
4	KM	Issued for DP Coordination	April 16, 2024
3	KM	Issued for DP Pre-Application	March 28, 2024
2	KM	Issued for Review	March 22, 2024
1	KM	Issued for Review	March 14, 2024

REVISIONS TABLE FOR DRAWINGS
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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
UNDERHILL MIXED USE

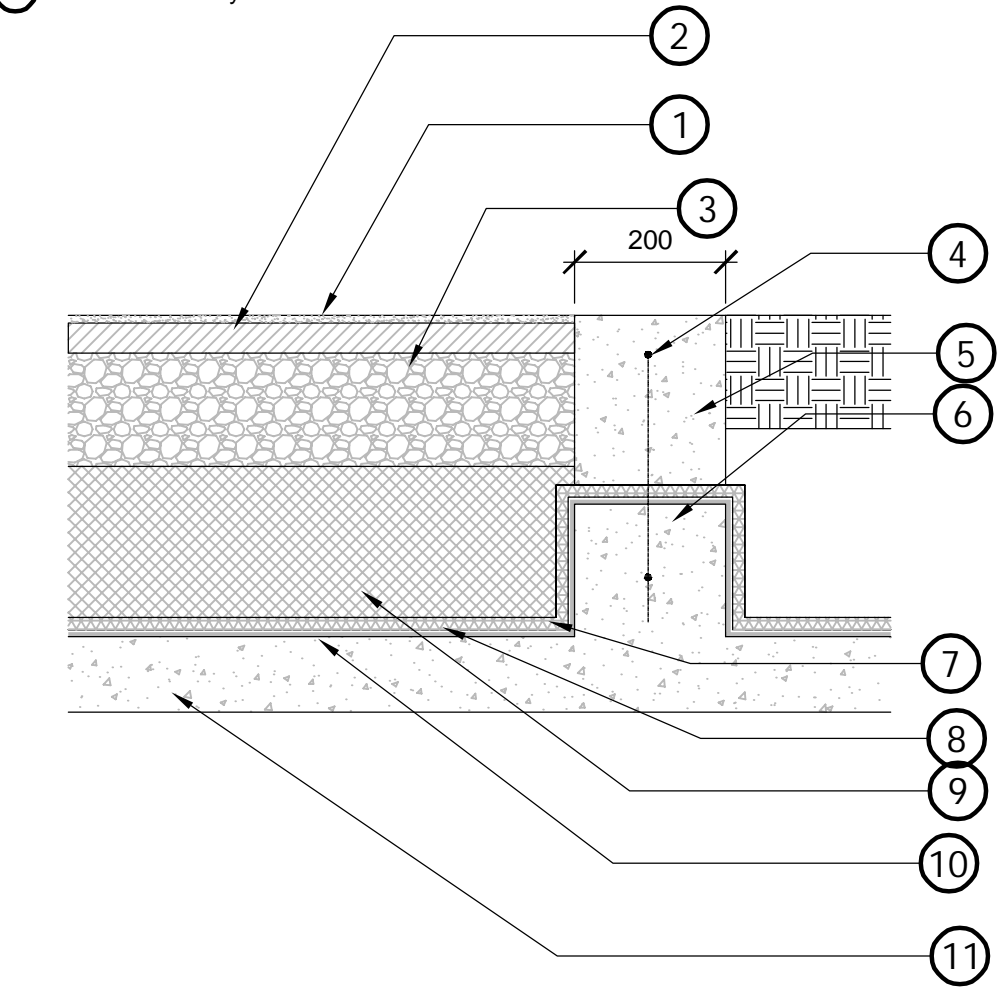
Location:
1930 UNDERHILL STREET,
KELOWNA, BC

Drawn: DC LA	Stamp:
Checked: KM	
Approved: KM	Original Sheet 24"x36" 2024-05-08
Scale: AS SHOWN	CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL RESPONSIBILITIES FOR ANY DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.

Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVE\DP2023-70 UNDERHILL 2.015.DWG\SHEETS\LD-03 DETAILS.DWG

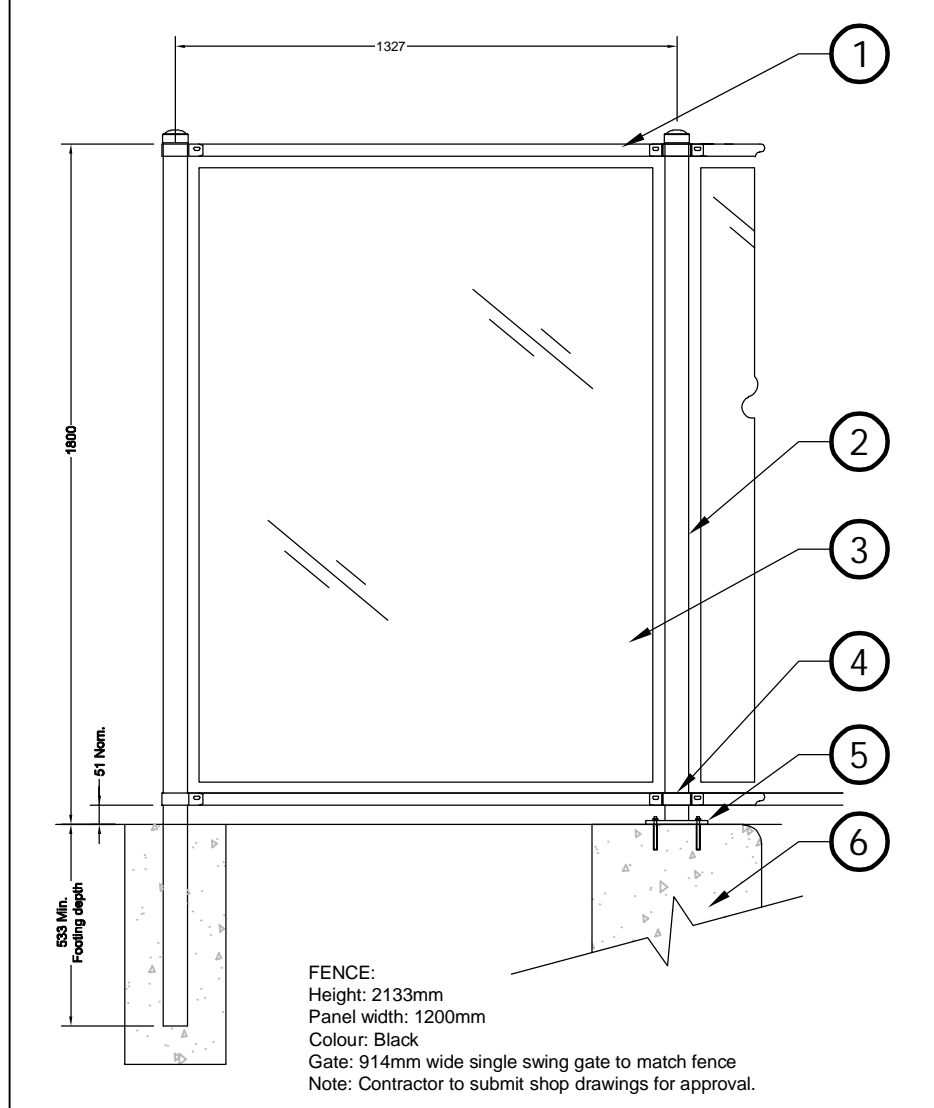
SCHEDULE C
 This forms part of application
 # DP24-0095 DVP24-0152
 Planner Initials **KB**
 City of Kelowna
 COMMUNITY PLANNING

- 1 10mm Landsafe Wearing Layer
- 2 40mm Landsafe Cushioning Layer (Base Mat)
- 3 150mm permeable granular base (19mm minus) compacted to 95% MPD
- 4 10M rebar reinforcement @ 450 O.C.
- 5 150mm concrete curb
- 6 Extend rebar 150mm min. from up-stand to facilitate wall construction and tie points for wall reinforcement. Refer to Architectural and Structural Drawings
- 7 Fabric separator
- 8 Drainage layer & filter
- 9 Void Form, depth varies refer to Architecture.
- 10 Water proof membrane by others
- 11 Structural slab by others



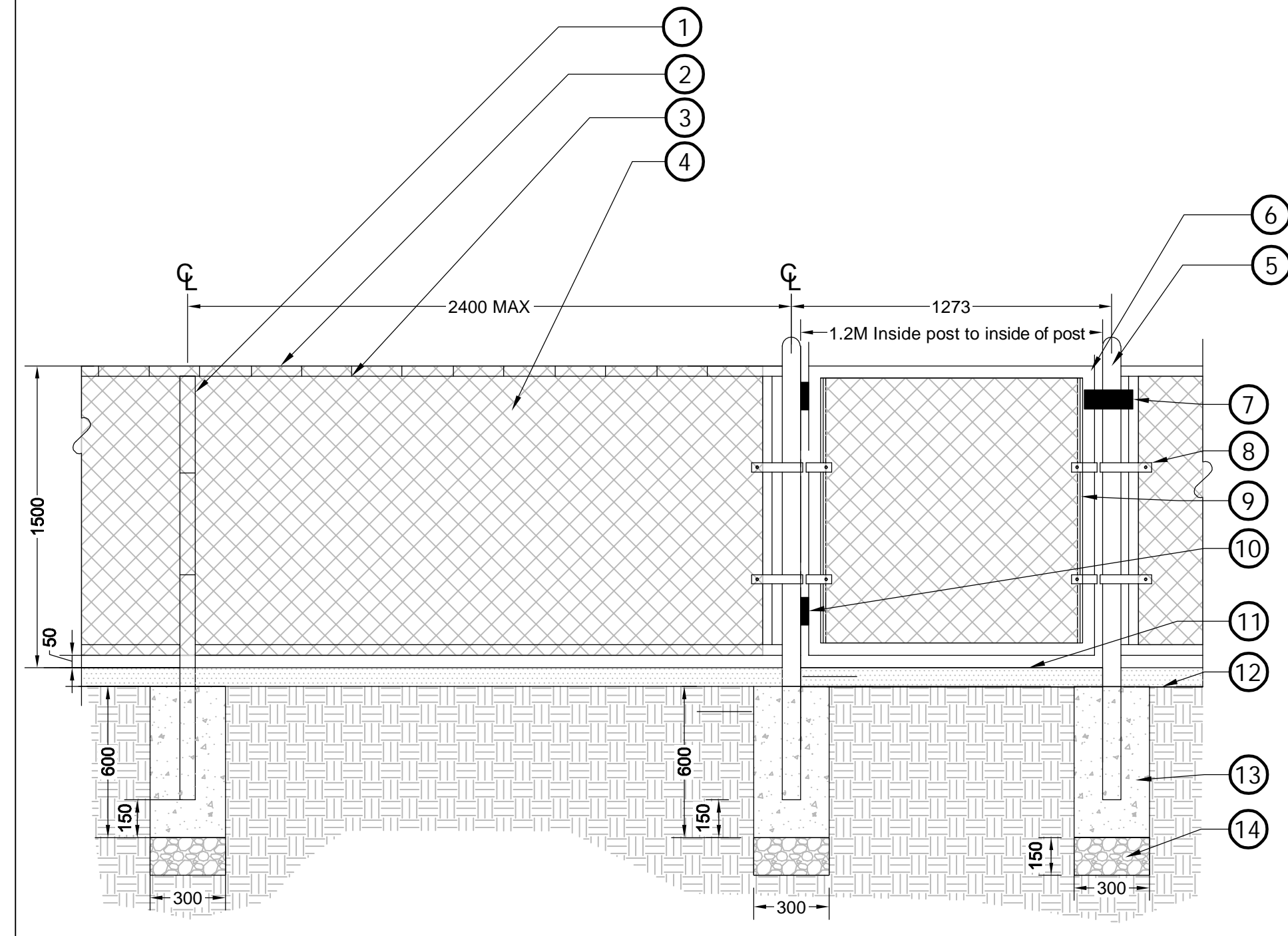
Notes:
 1. Contractor to install rubber play surface, filter fabric and drainage system as per manufactures specifications.
 2. Provide Additional Depth as Required in Accordance of Toy Heights and Manufactures Specifications.

1 RUBBER SURFACING ON SLAB
 1:10



- 1 32x37mm aluminum rail
- 2 4" Aluminum post with cap
- 3 Single glazed laminate glass (finish to match Architecture railing)
- 4 Bracket
- 5 Base plate welded to bottom of post. Attach to top of wall with 4 bolts per plate.
- 6 Concrete wall

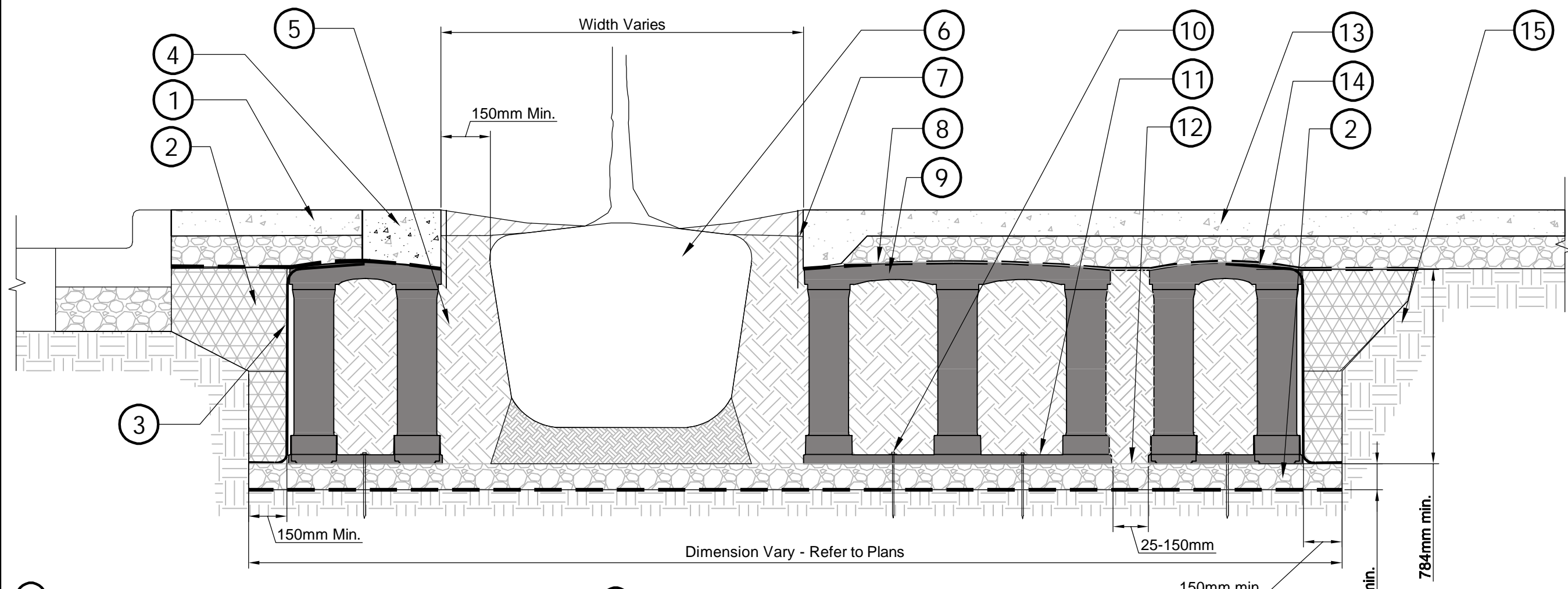
2 GLASS PRIVACY SCREEN
 1:20



- 1 Schedule 40, 60mm O.D. Line post
- 2 Schedule 40, 40mm O.D. Top rail
- 3 Galvanized Steel tie wire (9 ga.) tied at every knuckle
- 4 9 gauge 50mm diamond fabric, knuckled selvage, top and bottom
- 5 Schedule 40, 75mm O.D. Terminal post
- 6 Schedule 40, 40mm O.D. gate frame
- 7 Heavy duty gate latch. Drop latch and catch.
- 8 Connector bands - Typical
- 9 10mm X 5mm Beveled edge tension bands wherever fabric ends (typical)
- 10 Self closing hinge (non spring loaded) - 180 degree swing
- 11 Refer to plans and details for surface treatment
- 12 Finish grade
- 13 Concrete footing 300mmØ, 600mm depth, typ. Concrete sonotube. Post to be set in cement grout or hot poured sulphur.
- 14 Min. 150mm granular base (19mm minus) compacted to 95% MPD

NOTES:
 1. Post spacing shall be equidistant to a maximum of 2400mm o.c. unless noted otherwise on layout and materials plan.
 2. Wire mesh to be galvanized and coated black vinyl.
 3. All posts and hardware to be galvanized rails and painted black.
 4. All Dimensions are in mm unless noted.
 5. Contractor to provide shop detail drawings for fencing and gates to Landscape Architect for approval prior to manufacturing.
 6. Refer to specifications and notes for clarification.
 7. All interior gates to open 180°
 8. All gates to open away from playing surface.
 9. Field welds to be painted with zinc rich paint.

3 1.5M (5') CHAINLINK FENCE AND GATE
 1:20



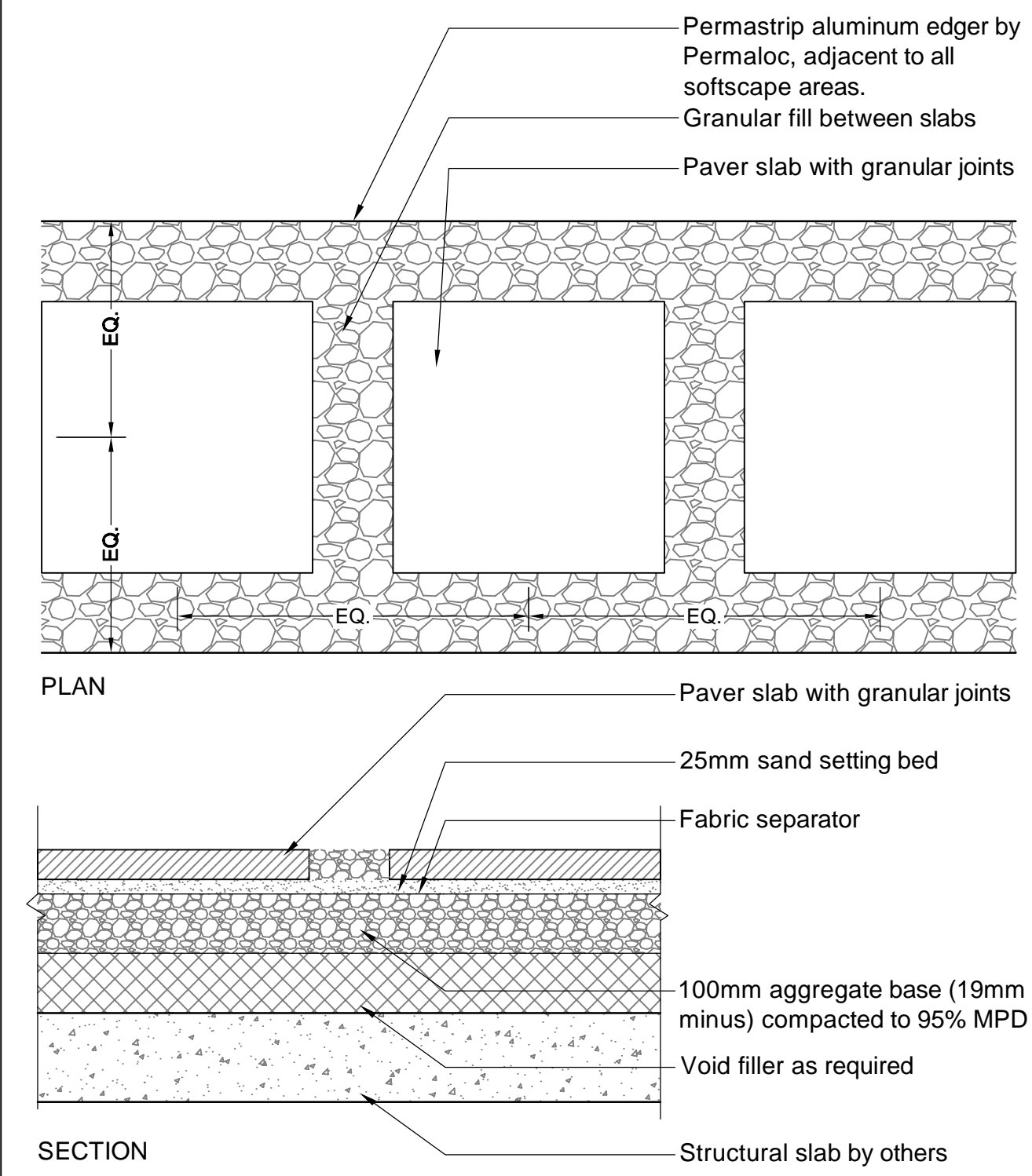
- 1 Adjacent pavement - Refer to site plan and hardscape details
- 2 100mm granular base (19mm minus) compacted to 95% MPD
- 3 Geogrid, wrapped around perimeter of system, with 150mm toe (outward from base) and 300mm excess (over top of deck)
- 4 Ribbon curb at tree opening (to be used with pavers or asphalt)
- 5 Planting soil below root ball. Compacted well to prevent settling.
- 6 Install tree as per Tree Planting - Deciduous Tree detail
- 7 Install approved root barrier system - 'Deeproot' model UB 18-2; 'Vespro' model RS-18; or 'NDS' model
- 8 Geotextile fabric to edge of excavation
- 9 Silva Cell (deck, base, and posts)
- 10 Anchoring spikes
- 11 Silva cell base slope 10% Max.
- 12 25 to 150 mm spacing between Silva Cell bases
- 13 Adjacent surface - Refer to plans
- 14 Cable tie, attaching geogrid to Silva Cell at base of upper leg flare, as needed.
- 15 Silva cell depth based on model and number of stacked units. Refer to plans for layout and depth.

4 SOIL CELL PIT
 1:25



Supplier: Sanderson Concrete
 Size: 600mm x 600mm x 450mm
 Finish: Light Sandblast
 Colour: Natural Grey

5 CUBE SEAT
 1:1



Notes:
 1. Install all components as per manufacturer's specifications.
 2. Slabs to be spaced equally between adjacent surfaces.
 3. Limit slab cuts to 1/2 slab.

Paver Slab:
 Type: Concrete Slate Slab
 Size: L600 X W600 X T50mm
 Colour: Natural
 Manufacturer: Basalite Concrete Products
 www.basalite.ca
 1-604-596-3844
 Or approved equal.

6 CONCRETE STEPPING STONES
 1:10

No.	By:	Description	Date
5	KM	Issued for DP	May 8, 2024
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No.	By:	Description	Date
REVISIONS TABLE FOR SHEET			

Project:
 UNDERHILL MIXED USE
 Location:
 1930 UNDERHILL STREET,
 KELOWNA, BC

Drawn:
 DC
 LA

Checked:
 KM

Approved:
 KM

Scale:
 AS SHOWN

Stamp:
 REGISTERED MEMBER
STEPHEN HELLER
 546
 LANDSCAPE ARCHITECT
 2024-05-08
 Original Sheet Size:
 24"x36"

CONTRACTOR SHALL CHECK ALL DIMENSIONS ON THE WORK AND REPORT ANY DISCREPANCY TO THE CONSULTANT BEFORE PROCEEDING. ALL DRAWINGS AND SPECIFICATIONS ARE THE EXCLUSIVE PROPERTY OF THE OWNER AND MUST BE RETURNED AT THE COMPLETION OF THE WORK. ALL REVISIONS/CHANGES TO DRAWINGS MUST NOT BE PRICED FOR CONSTRUCTION UNLESS LABELED ISSUED FOR TENDER/CONSTRUCTION.



COST ESTIMATE FOR BONDING

Date Issued: 2024-08-23

Attention:	Gordon Easton	VDZ File Number:	DP2023-70
Firm Name:	Lorval Developments Ltd.	DP Application Number:	
Address/Fax:	1473 Water Street	Project Name:	1930 Underhill St.
	Kelowna, BC	Prepared by:	KM
	V1Y 1J6	Checked by:	SH

Re: Cost Estimate for Bonding

Dear Gordon,

Please find attached a cost estimate for bonding for the development permit application for Collina / 1930 Underhill Street Development. Key Components of this estimate include:

HARDSCAPE	\$215,587.00
SOFTSCAPE	\$55,514.00
IRRIGATION	\$13,200.00
FENCING	\$7,895.00
FURNISHINGS	\$107,900.00
OVERALL TOTAL:	\$400,096.00

This estimate is for bonding only. This estimate has been prepared for Landscape works only, and does not include civil works, architectural elements, large-scale earthworks and fill, electrical or mechanical works etc. The cost estimate is not to be used for construction cost budgeting purposes or any other use other than for bonding at the development permit stage.

Signature: *Stephen Heller*

2024-08-23
 Date:



Seal: 2024-08-26

FORT LANGLEY STUDIO 101-9181 Church Street Fort Langley, BC V1M 1A0	MOUNT PLEASANT STUDIO 102 - 355 Kingsway Vancouver, BC V5T 3J7	KELOWNA STUDIO 302-1181 Sunset Drive Kelowna, BC V1Y 0L4
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Project Name: 1930 Underhill St.
VDZ File Number: DP2023-70

Detailed Cost Breakdown

Category	Description	Quantity	Unit	Unit Cost	Price
HARDSCAPE					
Unit Pavers	Unit Pavers	384	m2	\$150.00	\$57,600.00
Amenity Area Paving	Hydrapressed Pavers	139.3	m2	\$200.00	\$27,860.00
Private Patio	Hydrapressed Pavers	299.5	m2	\$200.00	\$59,900.00
Rubber Surfacing		54.1	m2	\$450.00	\$24,345.00
Decking	Composite Decking	41.5	m2	\$300.00	\$12,450.00
Artificial Turf		151.3	m2	\$180.00	\$27,234.00
Granular	Drip Strips	72.6	m2	\$30.00	\$2,178.00
Bocce Court	Sand	67	m2	\$60.00	\$4,020.00
				Subtotal	\$215,587.00
SOFTSCAPE					
Soil	Imported (Depth at 450mm for shrubs, 150mm for turf + 1m for trees)	258	cubic meters	\$30.00	\$7,740.00
	Landscape Area Trees (10-20 cu.m, varies per bylaw)	269	cubic meters	\$30.00	\$8,070.00
Soil Cells	Landscape Area Trees (10-20 cu.m, varies per bylaw)	35	cubic meters	\$250.00	\$8,750.00
Mulching	50mm Depth	25	cubic meters	\$22.00	\$550.00
Sod	As per specification	228	m2	\$5.00	\$1,140.00
Deciduous Trees	Installed to BCLNA Standards	25	Each	\$500.00	\$12,500.00
Coniferous Trees	Installed to BCLNA Standards	4	Each	\$450.00	\$1,800.00
Tree Stakes	Installed to BCLNA Standards	58	Each	\$8.00	\$464.00
Shrubs/groundcovers/grasses	General Price materials	490	Each	\$10.00	\$4,900.00
Installation					\$9,600.00
				Subtotal	\$55,514.00
IRRIGATION					
Irrigation	Including all wires, valves, piping	1	LS	\$12,000.00	\$12,000.00
	Connection to source	1	LS	\$1,200.00	\$1,200.00
				Subtotal	\$13,200.00
FENCING					
Privacy Screen	1.2m Picket Fence	39	Lm	\$145.00	\$5,655.00
Dog Run Fence	1.5m Chainlink Fence	32	Each	\$70.00	\$2,240.00
				Subtotal	\$7,895.00
FURNISHINGS					
Seating +Tables	Adirondack Chair	7	Each	\$750.00	\$5,250.00
	Outdoor sofa	1	Each	\$4,500.00	\$4,500.00
	Fire Pit	1	Each	\$4,000.00	\$4,000.00
	Dining Table and Chairs	2	Each	\$3,000.00	\$6,000.00
	Table and Chairs	7	Set	\$1,500.00	\$10,500.00
	Bar Stools	5	LS	\$900.00	\$4,500.00
	Cube bench	10	LS	\$1,500.00	\$15,000.00
	Bench	5	LS	\$1,200.00	\$6,000.00
Stepping Stones		10	Each	\$50.00	\$500.00
Garbage Receptacle		4	Each	\$1,000.00	\$4,000.00
Movable Planter		3	Each	\$750.00	\$2,250.00
Pingpong Table		2	Each	\$6,000.00	\$12,000.00
Outdoor Kitchen	BBQ + Sink	2	Each	\$3,500.00	\$7,000.00
Pergola		3	Each	\$7,000.00	\$21,000.00
Bike Racks	Bike Racks	6	Each	\$900.00	\$5,400.00
				Subtotal	\$107,900.00
Overall Total:					\$400,096.00

8 May 2024

Attn: Carrie Dawson
 Lorval Developments Ltd.
 1473 Water Street
 Kelowna, BC V1Y 1J6

RE: 1930 Underhill St. – Zoning Summary Spreadsheet: Landscape Requirements

The following table summarizes the proposed landscape buffer improvements for the site.

<i>Landscaping Standards</i>	<i>Zone</i>	<i>Proposed</i>
	UC3	UC3
<i>Min. Number of Trees within Landscape Areas</i>	Total: 21	Total: 21
<i>Minimum Growing Medium Area</i>	75% soil based landscaping & no minimum if soil cells are installed	61% and soil cells are utilized.
<i>Minimum Landscaping for surface parking lot over 15 vehicles.</i>	Not applicable as all parking is located within the parkade.	
<i>Maximum / Minimum Tree Spacing</i>	Minimum tree spacing is based on site requirements for sightlines or accessibility along with standard planting practices for the tree species. Trees may be planted closer together as needed and additional trees are highly encouraged. Spacing is not dictated by requirements for the number of trees required in the Landscape Area.	
<i>Minimum Setback from buildings, raised patios, and balconies to on-site trees</i>	Large 3m radius* Medium 2m radius* Small 1m radius*	Large 3m radius* Medium 2m radius* Small 1m radius*
	* Up to second storey of the building. Any underground parkade or structure to be setback 1m measured from centre of tree at finished grade	* Up to second storey of the building. Raised planters have been sizes to allow a minimum of 1m from trees to parkade structures.
<i>Min. Deciduous Tree Planting Stock Caliper</i>	Large 5cm Medium 4cm Small 3cm	Large 5cm + 9cm Medium 4cm Small 3cm
<i>Min. Coniferous Tree Planting Stock Height</i>	250 cm	250 cm

<i>Min. Ratio between Tree size</i>	Large Medium Small	50% min. No min. or max 25% max.	Large Medium Small	52% 34% 14% ²
<i>Min. Growing Medium Volumes per Tree</i>	Large Medium Small	30 m ³ if single 20 m ³ if pair 15 m ³ if shared 20 m ³ if single 15 m ³ if pair 12 m ³ if shared 15 m ³ if single 12 m ³ if paired 10 m ³ if shared	Large Medium Small	20 m ³ if pair ¹ 15 m ³ if shared ¹ 12 m ³ - shared ¹ 15 m ³ - single
<i>Landscape Graded Areas</i>	Max 33% for lawn, Max 50% for shrubs/ground cover areas, min. 2% cross slope for landscape areas		Min. 2% for hardscape and landscape areas, max 33% for lawn, shrub, and ground cover areas	
<i>Fence Height</i>	2.0m except shall not exceed 1.2m height within front yard or flanking yard setbacks		1.07m height guardrail in front/flanking setbacks and 1.8m height privacy screens (outside setback areas)	
<i>Riparian Management Area</i>	Y/N		No (not applicable)	
<i>Notes:</i>	¹ Soil cells have been proposed to connect landscape areas to create shared growing medium volumes, where possible. ² Two small trees have been located on the level 2 roof deck with raised planters to achieve required soil volume and 1m min. from trees to parkade structure below.			

Please let me know if you have any questions or need for clarification.

Sincerely,



Stephen Heller | MBCSLA, CSLA
 Landscape Architect / Kelowna Office Director
 VDZ+A Consulting inc.

SH

May 8, 2024