

Development Permit

DP23-0224



This permit relates to land in the City of Kelowna municipally known as

925 Laurier Ave

and legally known as

Lot 1 DL 138 ODYD PLAN EPP137592

and permits the land to be used for the following development:

Townhouse Housing

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.



Date of Council Approval: **September 23, 2024**

Development Permit Area: Form and Character

Existing Zone: MF2 – Townhouse Housing

Future Land Use Designation: C-NHD – Core Area Neighbourhood

This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.

This is NOT a Building Permit.

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

NOTICE

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Amarjit Singh Gill & Sarbjit Kaur Gill

Applicant: Brandon Dobrosky – Lime Architecture

Nola Kilmartin
Development Planning Department Manager
Planning & Development Services

Date of Issuance

1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP23-0224 for Lot 1 DL 138 ODYD PLAN EPP137592 located at 925 Laurier Ave, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan.

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Manager approval, with no opportunity to extend.

3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$25,000**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall ONLY be returned to the signatory of the
Landscape Agreement or their designates.**

925 LAURIER AVE, KELOWNA, BC

SCHEDULE A

This forms part of application
DP23-0224



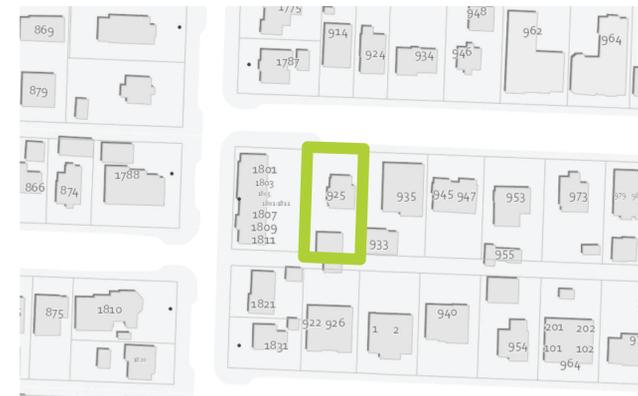
Planner Initials **SS**



NORTHWEST VIEW FROM LAURIER AVENUE



NORTHEAST VIEW FROM LAURIER AVENUE



SITE KEY PLAN (NOT TO SCALE)

ARCHITECTURAL SHEET LIST

- A-000 COVER SHEET
- A-001 LOCATION CONTEXT
- A-002 2040 OCP RESPONSE
- A-003 PROJECT INFORMATION
- A-101 LEVEL 1 PLAN
- A-102 LEVEL 2 PLAN
- A-103 LEVEL 3 PLAN
- A-104 ROOF TOP PATIO PLAN
- A-200 ELEVATIONS
- A-201 ELEVATIONS
- A-202 ELEVATIONS
- A-203 ELEVATIONS

PROPERTY DESCRIPTION

CIVIC: 925 LAURIER AVE, KELOWNA BC
LEGAL: LOT B, DL 138, ODYD, PLAN KAP2255

CONSULTANT TEAM

OWNER / OPERATOR

Patrika Media
1481 Tracey Street
Abbotsford, BC V2T 6G4
604-621-1827

Contact(s):
Dave Sidhu

ARCHITECTURAL

LIME Architecture
205-1626 Richter Street
Kelowna, BC V1Y 2M3
250-448-7801

Contact(s):
Brandon Dobroskay

CIVIL

D E Pilling & Associates
540 Groves Avenue
Kelowna, BC V1Y 4Y7
250-763-2315

Contact(s):
David Mori

LANDSCAPING

Meghan Nimegeers Landscape Design
15675 McDonagh Rd
Lake Country, BC V4V 2E7
250-864-3873

Contact(s):
Meghan Nimegeers



SOUTHEAST VIEW FROM LANE



SOUTHWEST VIEW FROM LANE

ADDENDUM A



PHONE: 250-448-7801
205-1626 Richter Street,
Kelowna, BC V1Y 2M3
www.limearchitecture.com

COPYRIGHT
ALL RIGHTS RESERVED
All ideas, designs, drawings and specifications are the exclusive property of LIME Architecture Inc. As instruments of service, they may not be used or reproduced in any manner without the expressed written consent of LIME Architecture Inc. All Contracting Trades shall check and verify all levels, dimensions, data and conditions on the site prior to commencement of any work. Any discrepancies are to be reported immediately to LIME Architecture Inc. Do not Scale any dimensions from this drawing.

All trades are to execute the work in accordance with the current municipality building by-laws and requirements of other local authorities having jurisdiction as well as the British Columbia Building Code - (most recent edition) including all published revisions and addenda. All trades shall assume full responsibility for the locations and protection of all under and above ground utilities, wires and conduit connections, including (but not limited to) water, sewer, gas, hydro and telephone.

Revision No., Date and Description
11.17.23 FOR REZONING / DP
02.27.24 FOR REZONING / DP
04.22.24 ADDENDUM A

Plot Date
4/22/2024 1:23:22 PM

PROJECT
925 LAURIER AVENUE

DRAWING TITLE
COVER SHEET

Drawing No.
A-000



925 LAURIER AVE, KELOWNA, BC

PROPERTY DESCRIPTION:

CIVIC: 925 LAURIER AVE, KELOWNA, BC
 LEGAL: LOT B, PLAN KAP2255

ZONING CALCULATIONS:

CURRENT: CITY OF KELOWNA RU4 ZONING
 CORE AREA NEIGHBOURHOOD
 PROPOSED: MF2 ZONING

SITE INFORMATION:

GROSS SITE AREA =	9,494 SF (882.1m ²)	
	<u>ALLOWED/REQUIRED</u>	<u>PROPOSED</u>
SITE COVERAGE =	55% (5,222 SF)	54% (4,948 SF)
SITE COVERAGE + HARDSCAPING =	80% (7,596 SF)	70% (6,612 SF)
FAR =	1.0 (9,494 SF)	1.0 (9,484 SF)
HEIGHT =	11.0m (3 STOREYS)	11.0m (3 STOREYS)

PRIVATE & COMMON AMENITY SPACE:

COMMON =	N/A	0 SF
PRIVATE =	N/A	734-740 SF/UNIT (SEE TABLE)

YARD SETBACKS:

FRONT YARD =	3.0m	3.0m
FRONT YARD (GROUND ORIENTED) =	3.0m	3.0m
SIDE YARD (EAST) =	2.1m	3.0m
SIDE YARD (WEST) =	2.1m	3.0m
REAR YARD =	0.9m	2.7m

PARKING CALCULATIONS:

3 BEDROOM UNITS =	5 UNITS x 1.6 = 8	10
VISITOR =	5 UNITS x 0.14 = 0.7	1
TOTAL =	9	11
ACCESSIBLE PARKING =	1 (0 VAN ACCESSIBLE)	1 (0 VAN ACCESSIBLE)

LONG-TERM BICYCLE STORAGE:

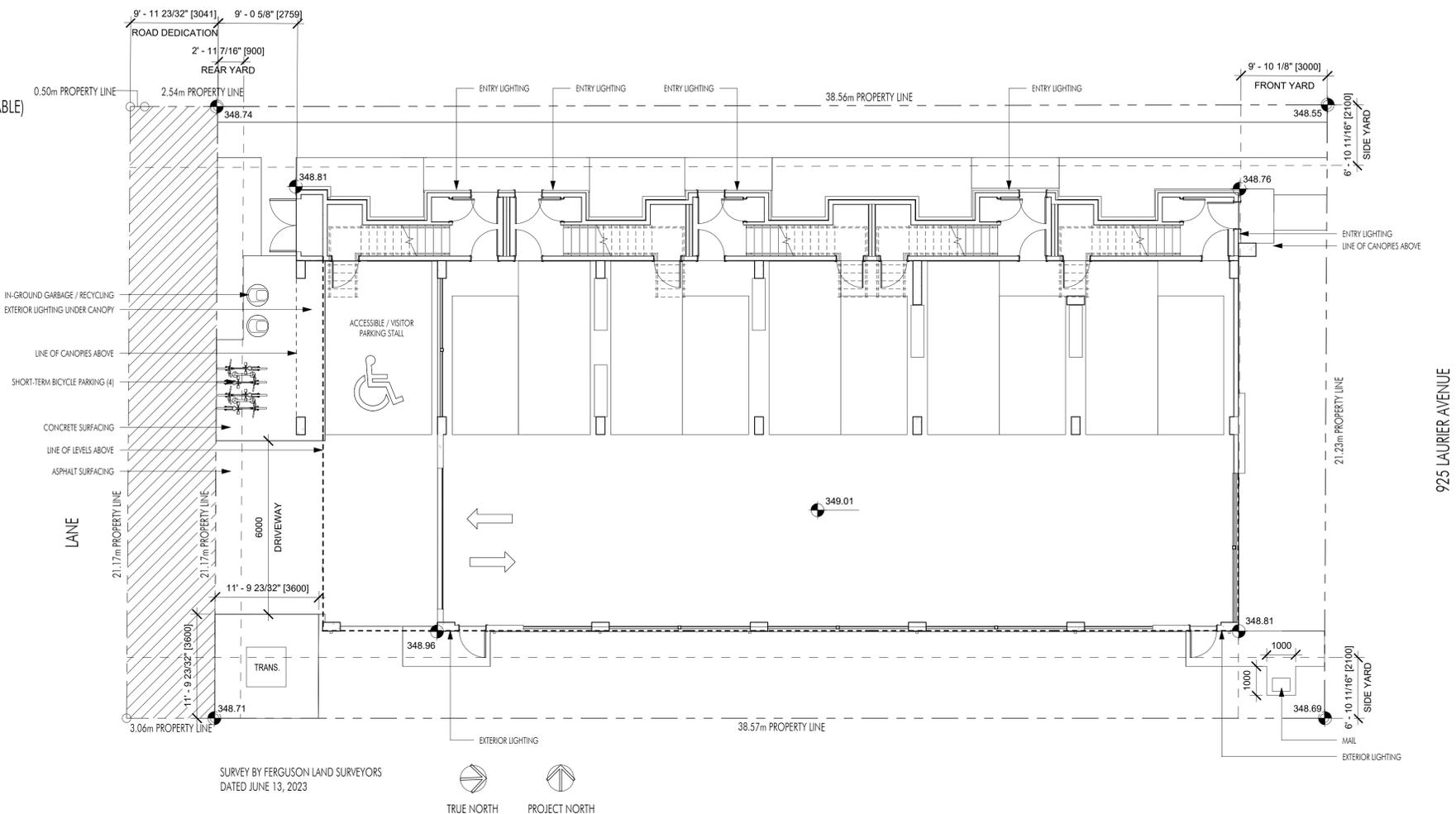
3 BEDROOM =	5 UNITS x 1 = 5	
TOTAL =	5	5

SHORT-TERM BICYCLE STORAGE:

TOWNHOUSES =	4	
TOTAL =	4	4

PARKING	
COUNT	TYPE
1	ACCESSIBLE - 90 deg
5	REGULAR - 90 deg
5	SMALL - 90 deg
11	

UNIT CALCULATIONS			
UNIT	# OF BEDROOMS	UNIT AREA	PRIVATE AMENITY SPACE
UNIT 1	3	1891 SF	734 SF
UNIT 2	3	1909 SF	734 SF
UNIT 3	3	1910 SF	734 SF
UNIT 4	3	1908 SF	734 SF
UNIT 5	3	1865 SF	740 SF
TOTAL UNIT AREAS		9482 SF	



SCHEDULE A
 This forms part of application
 # DP23-0224
 Planner Initials **SS**
 City of Kelowna COMMUNITY PLANNING

LIME ARCHITECTURE INC.
 PHONE: 250-448-7801
 205-1626 Richter Street, Kelowna, BC V1Y 2M3
 www.limearchitecture.com

COPYRIGHT
 ALL RIGHTS RESERVED
 All ideas, designs, drawings and specifications are the exclusive property of LIME Architecture Inc. As instruments of service, they may not be used or reproduced in any manner without the expressed written consent of LIME Architecture Inc. All Contracting Trades shall check and verify all levels, dimensions, data and conditions on the site prior to commencement of any work. Any discrepancies are to be reported immediately to LIME Architecture Inc. Do not Scale any dimensions from this drawing.

All trades are to execute the work in accordance with the current municipality building by-laws and requirements of other local authorities having jurisdiction as well as the British Columbia Building Code - (most recent edition) including all published revisions and addenda. All trades shall assume full responsibility for the locations and protection of all under and above ground utilities, wires and conduit connections, including (but not limited to) water, sewer, gas, hydro and telephone.

Revision No.	Date	Description
11.17.23	FOR REZONING / DP	
02.27.24	FOR REZONING / DP	

Plot Date
 2/27/2024 11:51:11 AM
PROJECT
 925 LAURIER AVENUE
DRAWING TITLE
 PROJECT INFORMATION

Drawing No.
A-002



PRELIMINARY DESIGN

SCHEDULE A

This forms part of application
DP23-0224

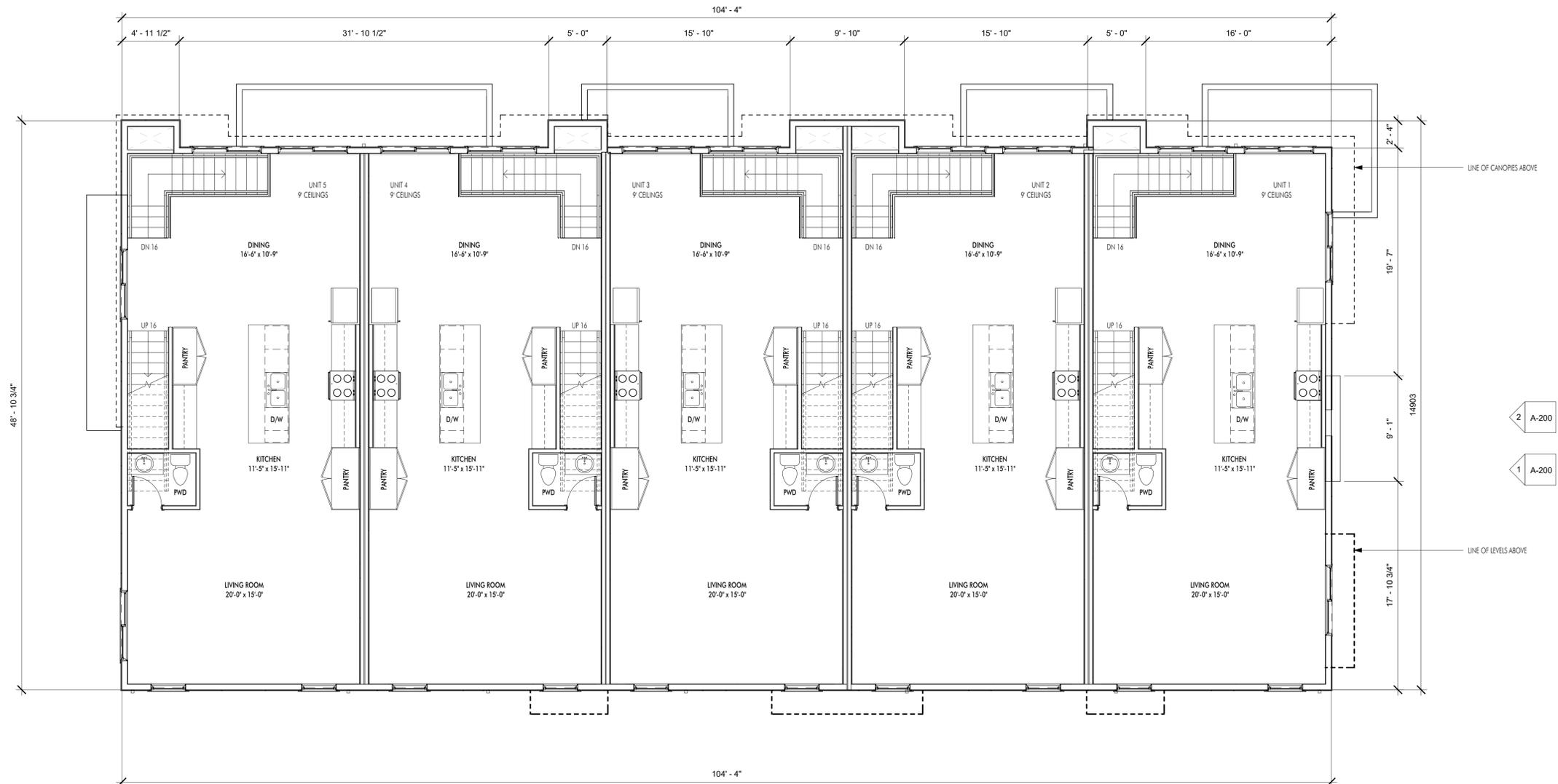


City of
Kelowna
COMMUNITY PLANNING

Planner Initials **SS**

A-201
2

A-201
1



A-202 1

A-202 2

2 A-200

1 A-200

1 LEVEL 2
A-102 3/16" = 1'-0"

2 A-203

1 A-203

Plot Date
2023-11-16 11:30:30 AM

PROJECT
925 LAURIER AVENUE

DRAWING TITLE
LEVEL 2 PLAN

Drawing No.
A-102



PRELIMINARY DESIGN

SCHEDULE A

This forms part of application
DP23-0224



City of
Kelowna
COMMUNITY PLANNING

Planner Initials **SS**

A-201
2

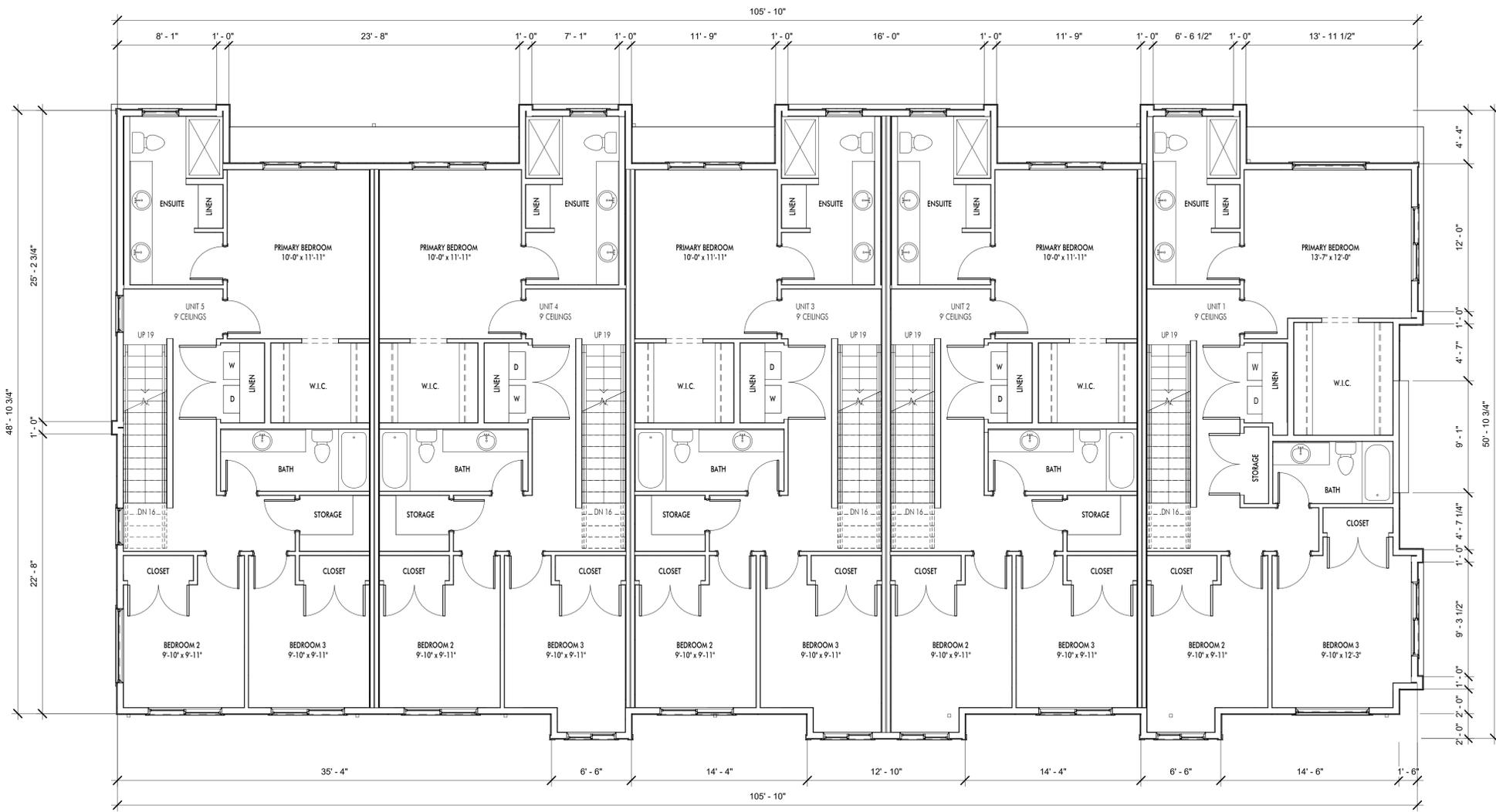
A-201
1

A-202
1

A-202
2

2
A-200

1
A-200



1 LEVEL 3
A-103 3/16" = 1'-0"

2
A-203

1
A-203

Plot Date
2023-11-16 11:30:30 AM

PROJECT
925 LAURIER AVENUE

DRAWING TITLE
LEVEL 3 PLAN

Drawing No.
A-103



PRELIMINARY DESIGN

SCHEDULE A

This forms part of application

DP23-0224

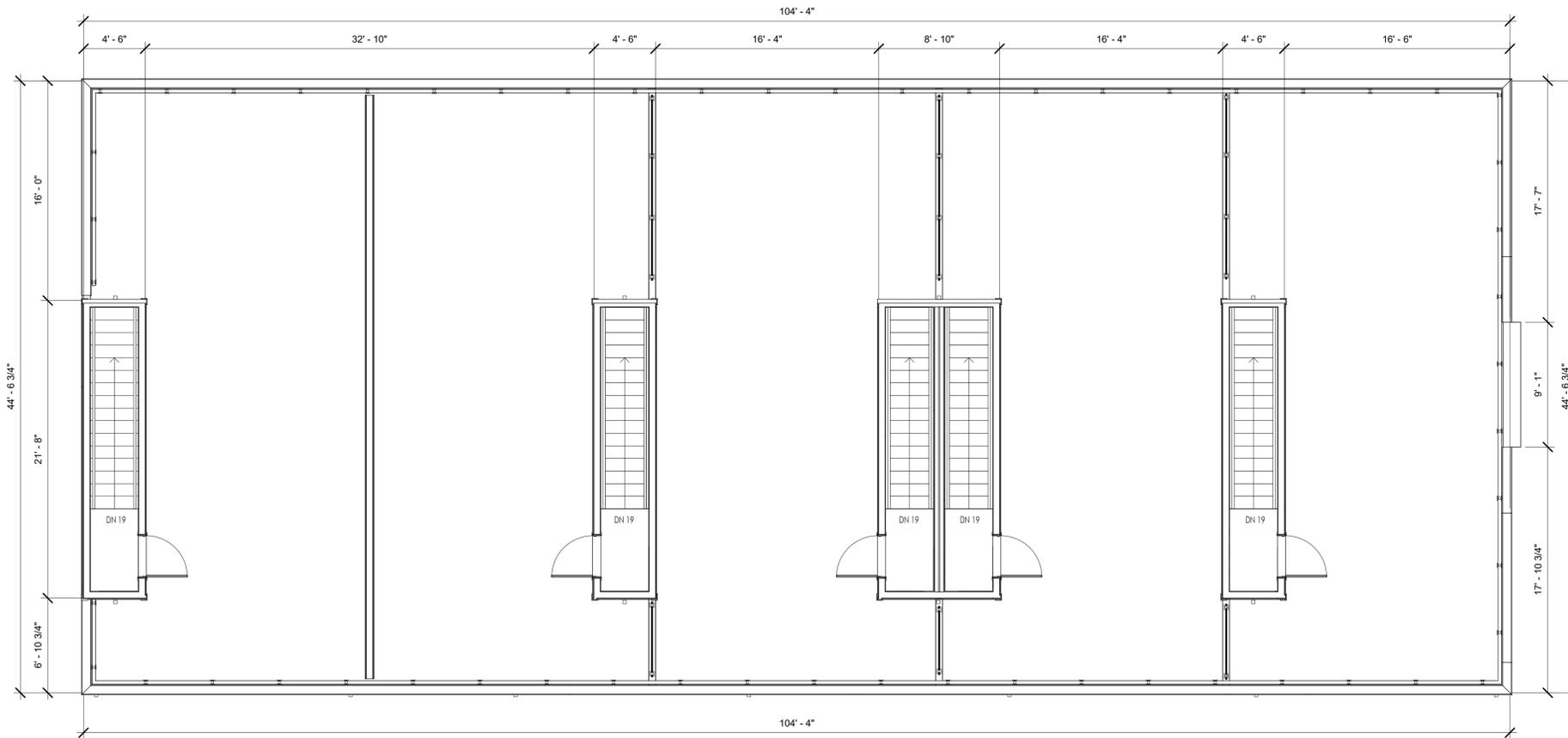


City of
Kelowna
COMMUNITY PLANNING

Planner Initials **SS**

A-201
2

A-201
1



A-202 1

A-202 2

2 A-200

1 A-200

1 ROOF TOP PATIO
A-104 3/16" = 1'-0"

2 A-203

1 A-203

Plot Date
2023-11-16 11:30:30 AM

PROJECT
925 LAURIER AVENUE

DRAWING TITLE

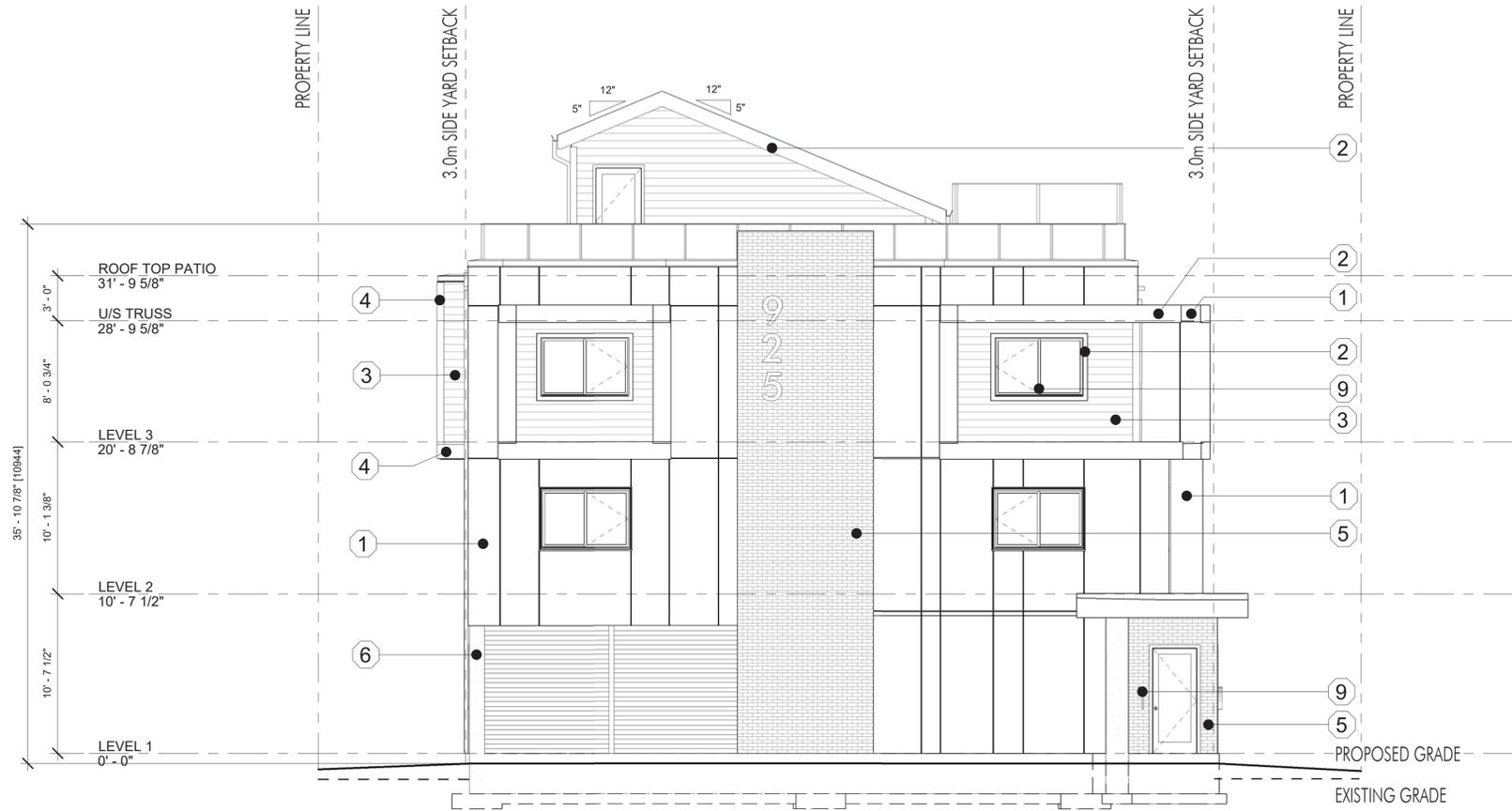
ROOF TOP PATIO PLAN

Drawing No.

A-104



PRELIMINARY DESIGN



1 NORTH ELEVATION
A-200 3/16" = 1'-0"



2 NORTH ELEVATION (COLOURED)
A-200 3/16" = 1'-0"

EXTERIOR FINISHES		
#	IMAGE	MATERIAL
1		PANEL SIDING & FASCIAS: JAMES HARDIE, ARCTIC WHITE
2		PANEL SIDING, TRIM, & FASCIAS: JAMES HARDIE, MIDNIGHT BLACK
3		HORIZONTAL SIDING: JAMES HARDIE, GRAY SLATE
4		TRIM: JAMES HARDIE, GRAY SLATE
5		BRICK: SIRENIS, ICY GREY
6		CONCRETE: SEALED, SMOOTH FINISH
7		HORIZONTAL PRIVACY SLATS: LUX, CYPRESS
8		FLASHINGS & RWLS: WHITE ALUMINIUM
9		DOORS, WINDOWS, RAILINGS, SOFFITS, GUTTERS, RWLS, LIGHTS, & UNIT #s: BLACK ALUMINIUM
10		TORCH-ON ROOFING: IKO, CHARCOAL GREY
11		ASPHALT SHINGLE ROOFING: IKO, HARVARD SLATE

SCHEDULE B
This forms part of application
DP23-0224

Planner Initials **SS**

COPYRIGHT
ALL RIGHTS RESERVED
All ideas, designs, drawings and specifications are the exclusive property of LIME Architecture Inc. As instruments of service, they may not be used or reproduced in any manner without the expressed written consent of LIME Architecture Inc. All Contracting Trades shall check and verify all levels, dimensions, data and conditions on the site prior to commencement of any work. Any discrepancies are to be reported immediately to LIME Architecture Inc. Do not Scale any dimensions from this drawing.

All trades are to execute the work in accordance with the current municipality building by-laws and requirements of other local authorities having jurisdiction as well as the British Columbia Building Code - (most recent edition) including all published revisions and addenda. All trades shall assume full responsibility for the locations and protection of all under and above ground utilities, wires and conduit connections, including (but not limited to) water, sewer, gas, hydro and telephone.

Revision No., Date and Description

11.17.23	FOR REZONING / DP
02.27.24	FOR REZONING / DP
04.22.24	ADDENDUM A

Plot Date
4/22/2024 10:20:57 AM

PROJECT
925 LAURIER AVENUE

DRAWING TITLE
ELEVATIONS

Drawing No.
A-200





1 WEST ELEVATION
A-201 3/16" = 1'-0"



2 WEST ELEVATION (COLOURED)
A-201 3/16" = 1'-0"

EXTERIOR FINISHES		
#	IMAGE	MATERIAL
1		PANEL SIDING & FASCIAS: JAMES HARDIE, ARCTIC WHITE
2		PANEL SIDING, TRIM, & FASCIAS: JAMES HARDIE, MIDNIGHT BLACK
3		HORIZONTAL SIDING: JAMES HARDIE, GRAY SLATE
4		TRIM: JAMES HARDIE, GRAY SLATE
5		BRICK: SIRENIS, ICY GREY
6		CONCRETE: SEALED, SMOOTH FINISH
7		HORIZONTAL PRIVACY SLATS: LUX, CYPRESS
8		FLASHINGS & RWLs: WHITE ALUMINIUM
9		DOORS, WINDOWS, RAILINGS, SOFFITS, GUTTERS, RWLs, LIGHTS, & UNIT #s: BLACK ALUMINIUM
10		TORCH-ON ROOFING: IKO, CHARCOAL GREY
11		ASPHALT SHINGLE ROOFING: IKO, HARVARD SLATE

SCHEDULE B
This forms part of application
DP23-0224
Planner Initials SS
City of Kelowna
COMMUNITY PLANNING



PHONE: 250-448-7801
205-1626 Richter Street,
Kelowna, BC V1Y 2M3
www.limearchitecture.com

COPYRIGHT
ALL RIGHTS RESERVED
All ideas, designs, drawings and specifications are the exclusive property of LIME Architecture Inc. As instruments of service, they may not be used or reproduced in any manner without the expressed written consent of LIME Architecture Inc. All Contracting Trades shall check and verify all levels, dimensions, data and conditions on the site prior to commencement of any work. Any discrepancies are to be reported immediately to LIME Architecture Inc. Do not Scale any dimensions from this drawing.

All trades are to execute the work in accordance with the current municipality building by-laws and requirements of other local authorities having jurisdiction as well as the British Columbia Building Code - (most recent edition) including all published revisions and addenda. All trades shall assume full responsibility for the locations and protection of all under and above ground utilities, wires and conduit connections, including (but not limited to) water, sewer, gas, hydro and telephone.

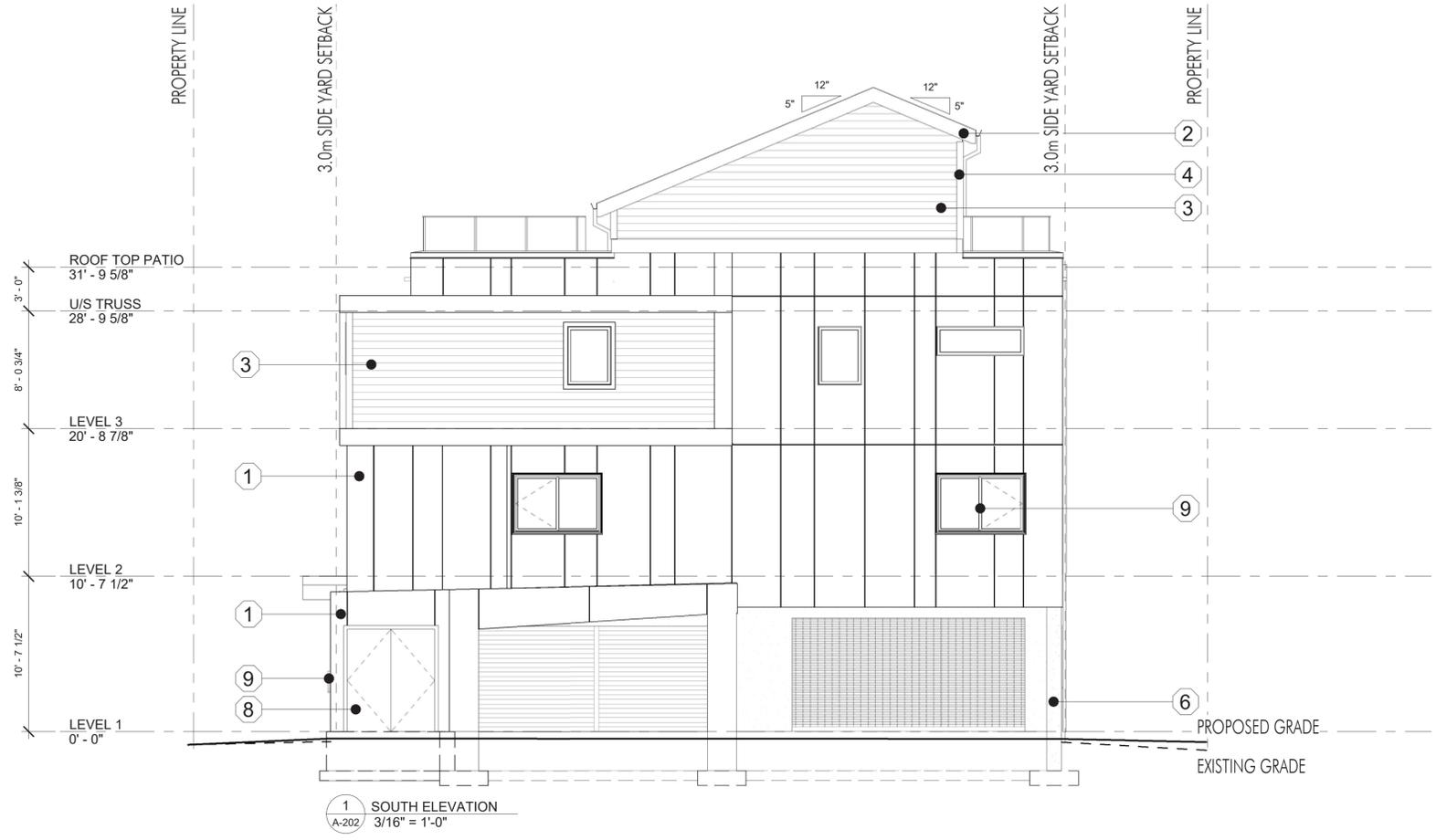
Revision No.	Date	Description
11.17.23	FOR REZONING / DP	
02.27.24	FOR REZONING / DP	
04.22.24	ADDENDUM A	

Plot Date
4/22/2024 10:21:02 AM
PROJECT
925 LAURIER AVENUE
DRAWING TITLE
ELEVATIONS

Drawing No.
A-201



ADDENDUM A



EXTERIOR FINISHES		
#	IMAGE	MATERIAL
1		PANEL SIDING & FASCIAS: JAMES HARDIE, ARCTIC WHITE
2		PANEL SIDING, TRIM, & FASCIAS: JAMES HARDIE, MIDNIGHT BLACK
3		HORIZONTAL SIDING: JAMES HARDIE, GRAY SLATE
4		TRIM: JAMES HARDIE, GRAY SLATE
5		BRICK: SIRENIS, ICY GREY
6		CONCRETE: SEALED, SMOOTH FINISH
7		HORIZONTAL PRIVACY SLATS: LUX, CYPRESS
8		FLASHINGS & RWLs: WHITE ALUMINIUM
9		DOORS, WINDOWS, RAILINGS, SOFFITS, GUTTERS, RWLs, LIGHTS, & UNIT #s: BLACK ALUMINIUM
10		TORCH-ON ROOFING: IKO, CHARCOAL GREY
11		ASPHALT SHINGLE ROOFING: IKO, HARVARD SLATE

SCHEDULE B

This forms part of application
DP23-0224

Planner Initials **SS**

City of Kelowna
COMMUNITY PLANNING

COPYRIGHT
ALL RIGHTS RESERVED

All ideas, designs, drawings and specifications are the exclusive property of LIME Architecture Inc. As instruments of service, they may not be used or reproduced in any manner without the expressed written consent of LIME Architecture Inc. All Contracting Trades shall check and verify all levels, dimensions, data and conditions on the site prior to commencement of any work. Any discrepancies are to be reported immediately to LIME Architecture Inc. Do not Scale any dimensions from this drawing.

All trades are to execute the work in accordance with the current municipality building by-laws and requirements of other local authorities having jurisdiction as well as the British Columbia Building Code - (most recent edition) including all published revisions and addenda. All trades shall assume full responsibility for the locations and protection of all under and above ground utilities, wires and conduit connections, including (but not limited to) water, sewer, gas, hydro and telephone.

Revision No., Date and Description

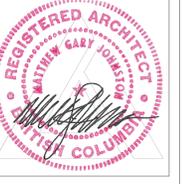
11.17.23	FOR REZONING / DP
02.27.24	FOR REZONING / DP
04.22.24	ADDENDUM A

Plot Date
4/22/2024 10:21:07 AM

PROJECT
925 LAURIER AVENUE

DRAWING TITLE
ELEVATIONS

Drawing No.
A-202



EXTERIOR FINISHES		
#	IMAGE	MATERIAL
1		PANEL SIDING & FASCIAS: JAMES HARDIE, ARCTIC WHITE
2		PANEL SIDING, TRIM, & FASCIAS: JAMES HARDIE, MIDNIGHT BLACK
3		HORIZONTAL SIDING: JAMES HARDIE, GRAY SLATE
4		TRIM: JAMES HARDIE, GRAY SLATE
5		BRICK: SIRENIS, ICY GREY
6		CONCRETE: SEALED, SMOOTH FINISH
7		HORIZONTAL PRIVACY SLATS: LUX, CYPRESS
8		FLASHINGS & RWLs: WHITE ALUMINIUM
9		DOORS, WINDOWS, RAILINGS, SOFFITS, GUTTERS, RWLs, LIGHTS, & UNIT #s: BLACK ALUMINIUM
10		TORCH-ON ROOFING: IKO, CHARCOAL GREY
11		ASPHALT SHINGLE ROOFING: IKO, HARVARD SLATE

SCHEDULE B

This forms part of application
DP23-0224

Planner Initials **SS**

City of Kelowna
COMMUNITY PLANNING

Plot Date
4/22/2024 10:21:11 AM

PROJECT
925 LAURIER AVENUE

DRAWING TITLE
ELEVATIONS

Drawing No.
A-203



1 EAST ELEVATION
A-203 3/16" = 1'-0"



2 EAST ELEVATION (COLOURED)
A-203 3/16" = 1'-0"

SCHEDULE C

This forms part of application
DP23-0224



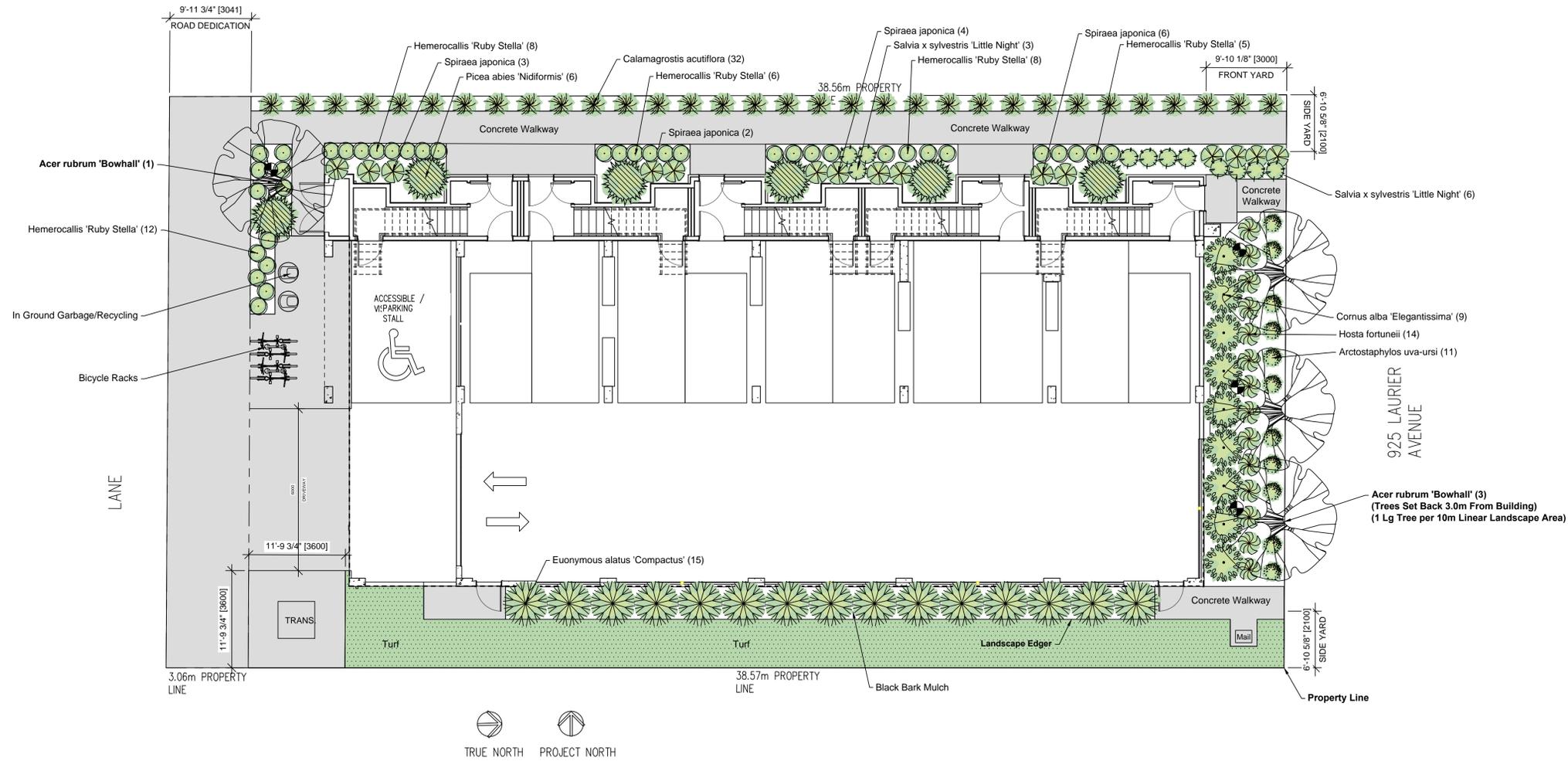
City of
Kelowna
COMMUNITY PLANNING

Planner Initials **SS**

L/1

Scale: 1/8" = 1'0"

Medhan Nimegeers Landscape Design
medhanimegeers@gmail.com
250-864-3873



Plant List

Qty	Botanical	Common	Size
4	Acer rubrum 'Bowhall'	'Bowhall' Red Maple	5cm Cal Min.
9	Cornus alba 'Elegantissima'	Variegated Dogwood	#2
6	Picea abies 'Nidiformis'	Nest Spruce	#2
15	Euonymus alatus 'Compactus'	Dwarf Burning Bush	#2
31	Calamagrostis acutiflora	Foerster's Feather Reed Grass	#1
15	Spiraea japonica	Double Play Red Spirea	#2
11	Salvia x sylvestris	May Night Salvia	#1
39	Hemerocallis 'Ruby Stella'	Ruby Stella Dwarf Daylily	#1
14	Hosta fortunei 'Patriot'	Patriot Hosta	#1
11	Arctostaphylos uva-ursi	Vancouver Jade Kinnickinnick	#1

4 Low Voltage Landscape Lighting

Notes:

- Planting beds to be dressed with Black Bark Mulch and have a landscape fabric underlay for weed prevention.
- Site to be watered with a fully automated irrigation system.
- Landscape lighting to be low voltage.
- All structures to have positive drainage.
- All materials and methods to conform to the Canadian Landscape Standard.
- Plant material to be locally sourced.
- Landscape edger to be used wherever turf touches bark mulch.

Landscape Plan

Date: November 05, 2023
Revised: November 15, 2023
Revised: February 09, 2024

925 Laurier Ave
KELOWNA, BC