



City of  
**Kelowna**

# Z24-0037 3199 Appaloosa Rd

Rezoning Application

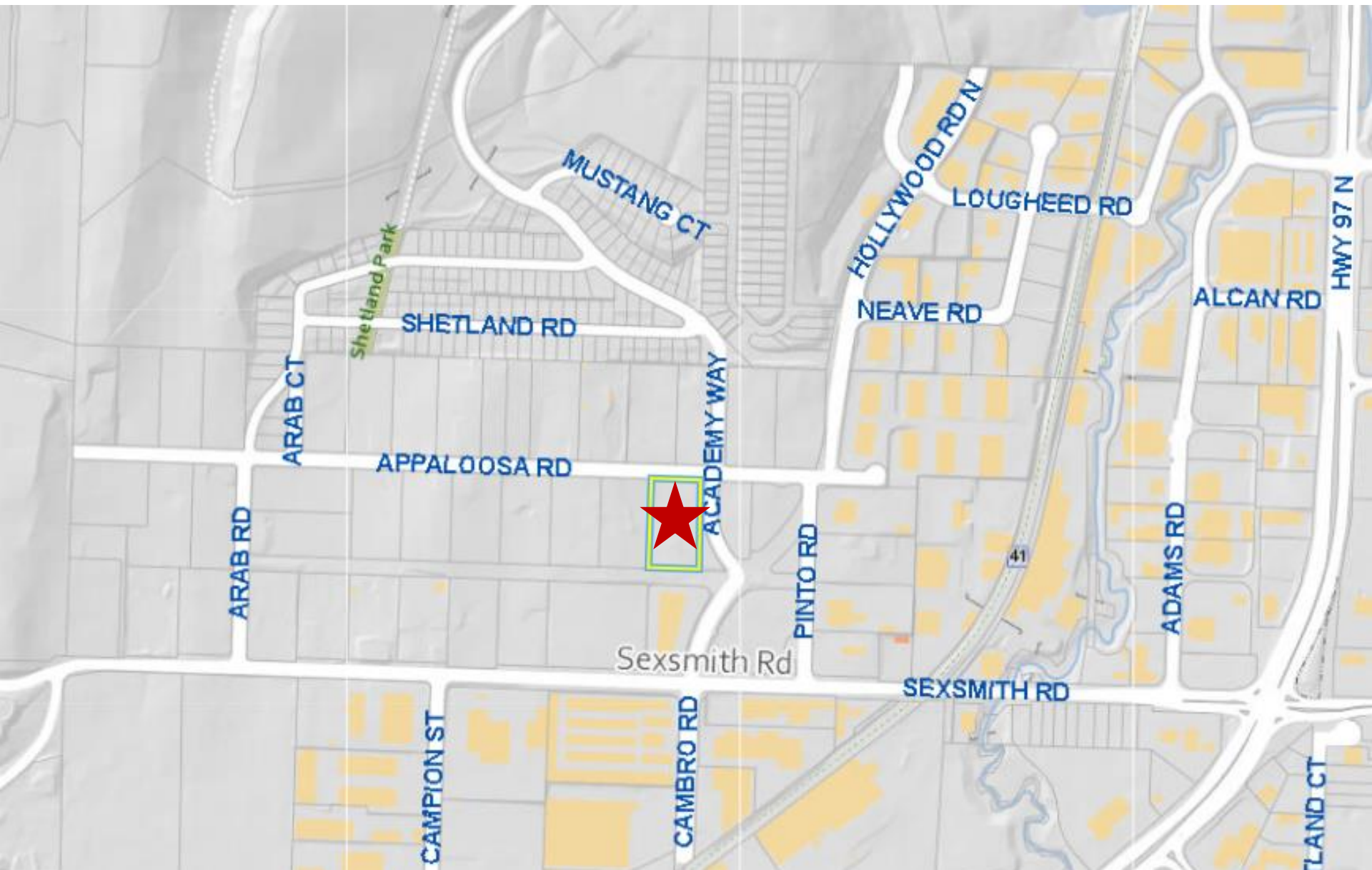
# Purpose

- ▶ To rezone the subject property from the A2 – Agriculture / Rural Residential zone to the I2 – General Industrial zone to facilitate future development

# Development Process










# Context Map

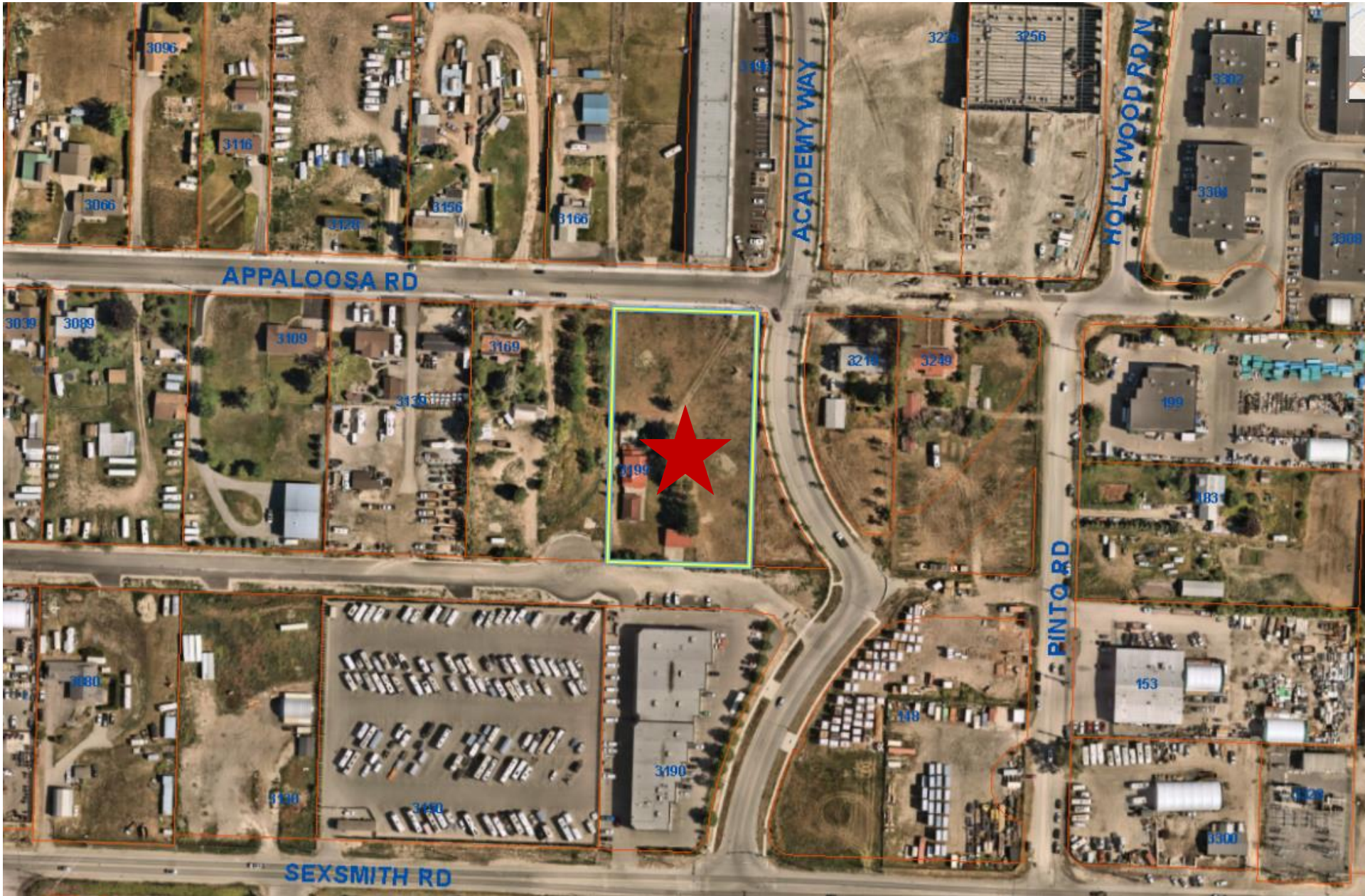


# OCP Future Land Use



	VC – Village Centre
	S-RES – Suburban Residential
	R-AGR – Rural Agricultural & Resource
	IND - Industrial
	EDINST – Educational / Institutional
	NAT – Natural Area
	PSU – Public Service Utilities

# Subject Property Map



# I2 – General Industrial Zone

## Purpose

- To provide a zone for general industrial uses.
- General Industrial Use includes processing & manufacturing; storage; repairing and testing of materials and goods; terminals for distribution of materials and goods; and training of personnel for industrial operations.

## Summary of Uses

- General Industrial Use
- Automotive & Equipment
- Boat Storage
- Breweries & Restaurants
- Fleet Services
- Non-Accessory Parking
- Storage (Indoor & Outdoor)
- Recycling Depot
- Warehousing
- Temporary Shelter Services

# I2 – General Industrial Zone

Regulation	Maximum Permitted
Height	16.0 m
Floor Area Ratio	1.5
Site Coverage Buildings	60%
Site Coverage Total	90%



# OCP Objectives – Climate Resilience

## Climate Criteria

**Dark Green** – Meets Climate Criteria

**Light Green** – Will Meet Criteria Soon

**Yellow** – Does not meet Climate Criteria

10 min Walk to Retail/Restaurants	Yellow
5 min Walk to Park	Yellow
10 min Bike to Public School	Yellow
20 min Bus to Urban Centre/Village Centre/Employment Hub	Dark Green
Retaining Trees and/or Adding Trees	Light Green
<b>OCP Climate Resilience Consistency</b>	Light Green

# OCP Objectives & Policies

- ▶ Policy 6.4.3 Reid's Corner
  - ▶ Support continued development of Reid's Corner, centered on the intersection of Rutland Road and Old Vernon Road.
- ▶ Policy 6.4.7 Industrial Employment
  - ▶ Support development of industrial lands in the Gateway, recognizing the important role that industrial activities play in meeting employment and service needs of the city and region
- ▶ Policy 6.9.2 Range of Housing Tenure
  - ▶ Support a range of rental and ownership tenures that support a variety of households and income levels. In addition, support underrepresented forms of tenure, including but not limited to co-housing, fee-simple row housing, co-ops, and rent-to-own.

# Staff Recommendation

- ▶ Staff recommend **support** for the proposed rezoning as it is consistent with:
  - ▶ OCP Future Land Use IND
  - ▶ OCP Objectives in Chapter 6 - Gateway
    - ▶ Continued development of Reid's Corner
    - ▶ Employment opportunity
    - ▶ Range of housing tenure
- ▶ Building Permit