

# Development Permit

## DP23-0095



This permit relates to land in the City of Kelowna municipally known as

**1310 & 1320 Belaire Ave**

and legally known as

**Lot 29 District Lot 137 ODYD Plan 10011 & Lot 30 District Lot 137 ODYD Plan 10011**

and permits the land to be used for the following development:

### **Apartment Housing**

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

**Date of Council Approval:** September 9, 2024

Development Permit Area: Form and Character

Existing Zone: UC2r – Capri-Landmark Urban Centre Rental Only

Future Land Use Designation: UC – Urban Centre

**This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.**

### **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

### **NOTICE**

This permit does not relieve the owner or the owner’s authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: 432623 B.C. Limited, Inc. No. BC1007009

Applicant: BlueGreen Architecture Inc

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Nola Kilmartin  
Development Planning Department Manager  
Planning & Development Services

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Date of Issuance

## 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## 2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP23-0095 for Lot 29 District Lot 137 ODYD Plan 10011 located at 1310 Belaure Ave, Kelowna, BC and Lot 30 District Lot 137 ODYD Plan 10011, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Manager approval, with no opportunity to extend.

## 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$215,138.00**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

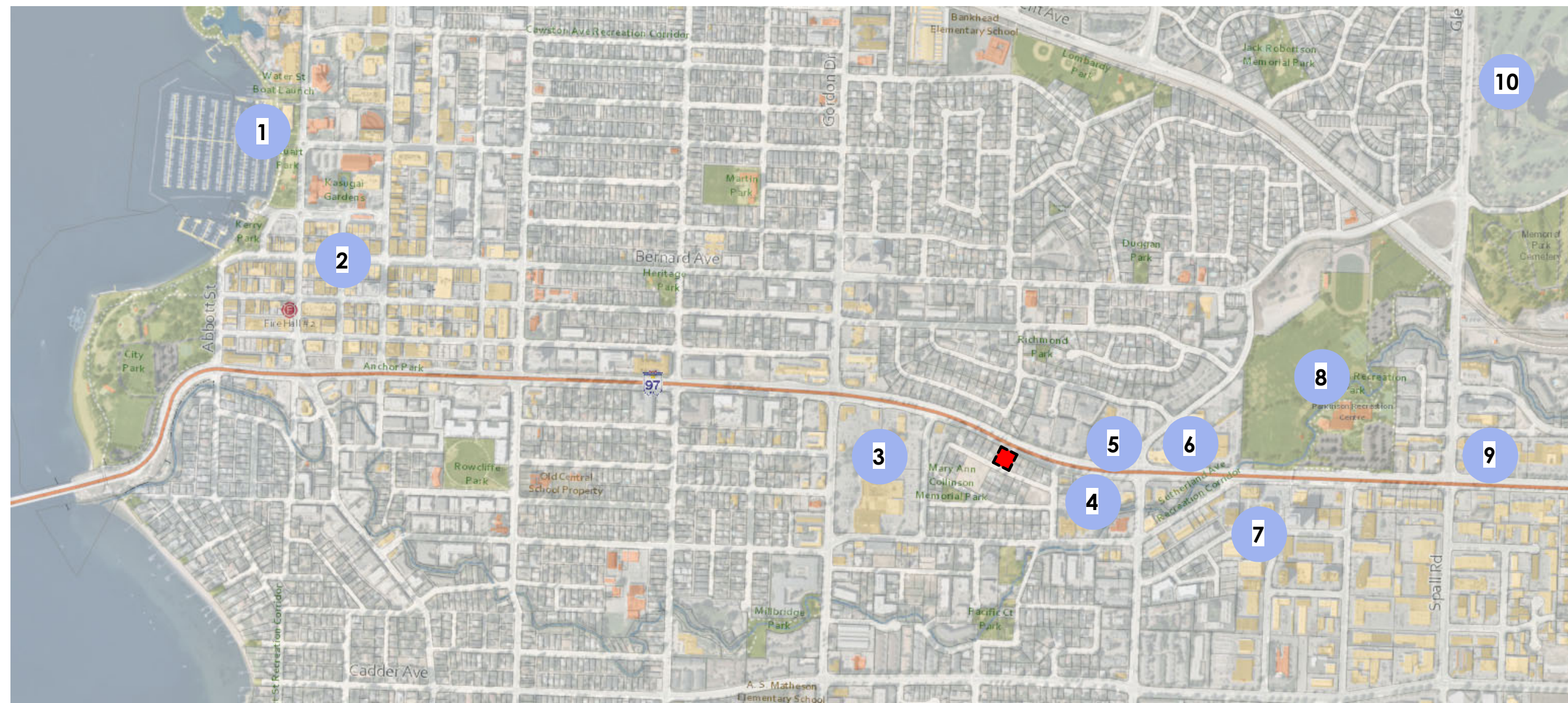
## 4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

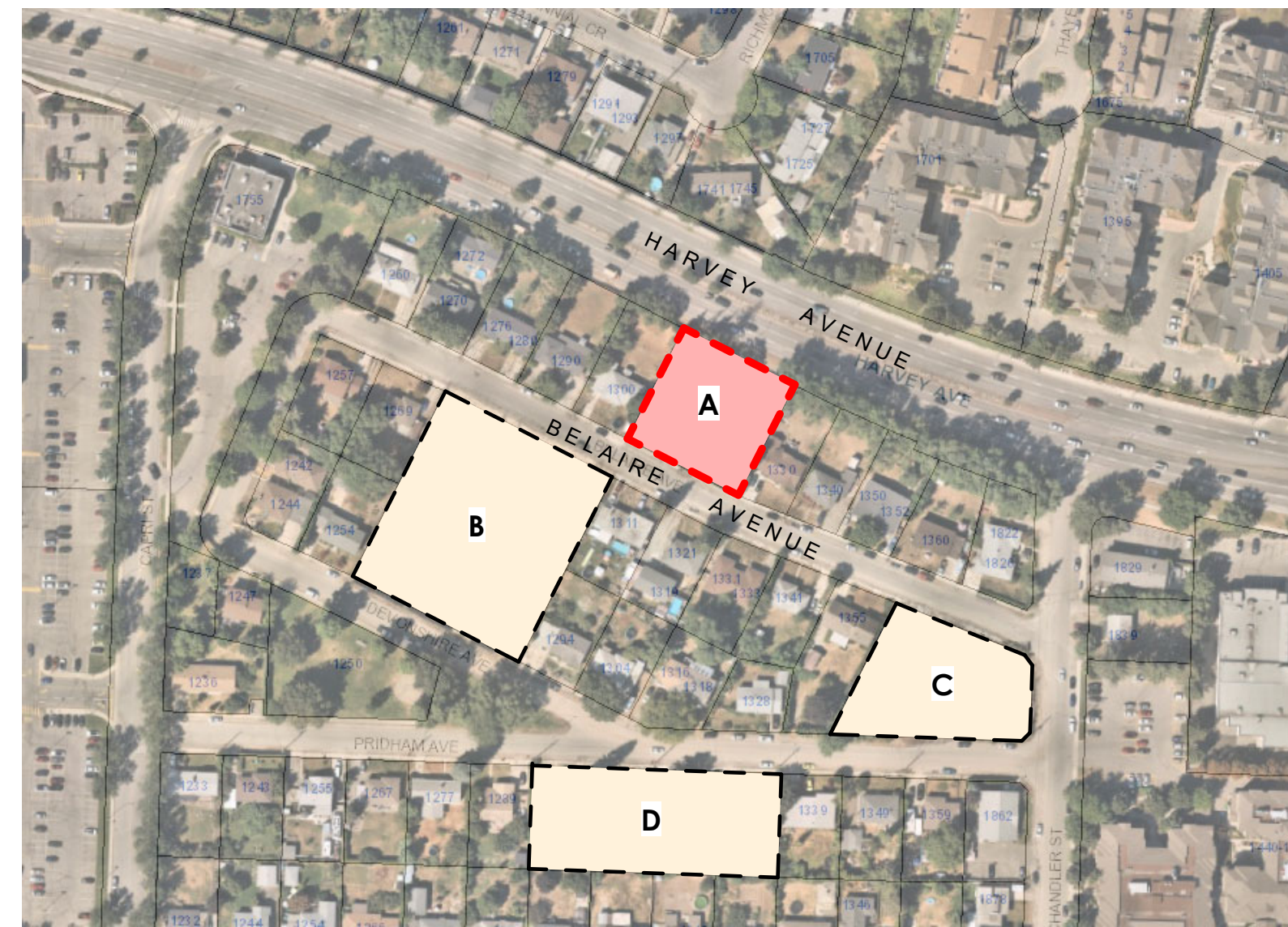
All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**



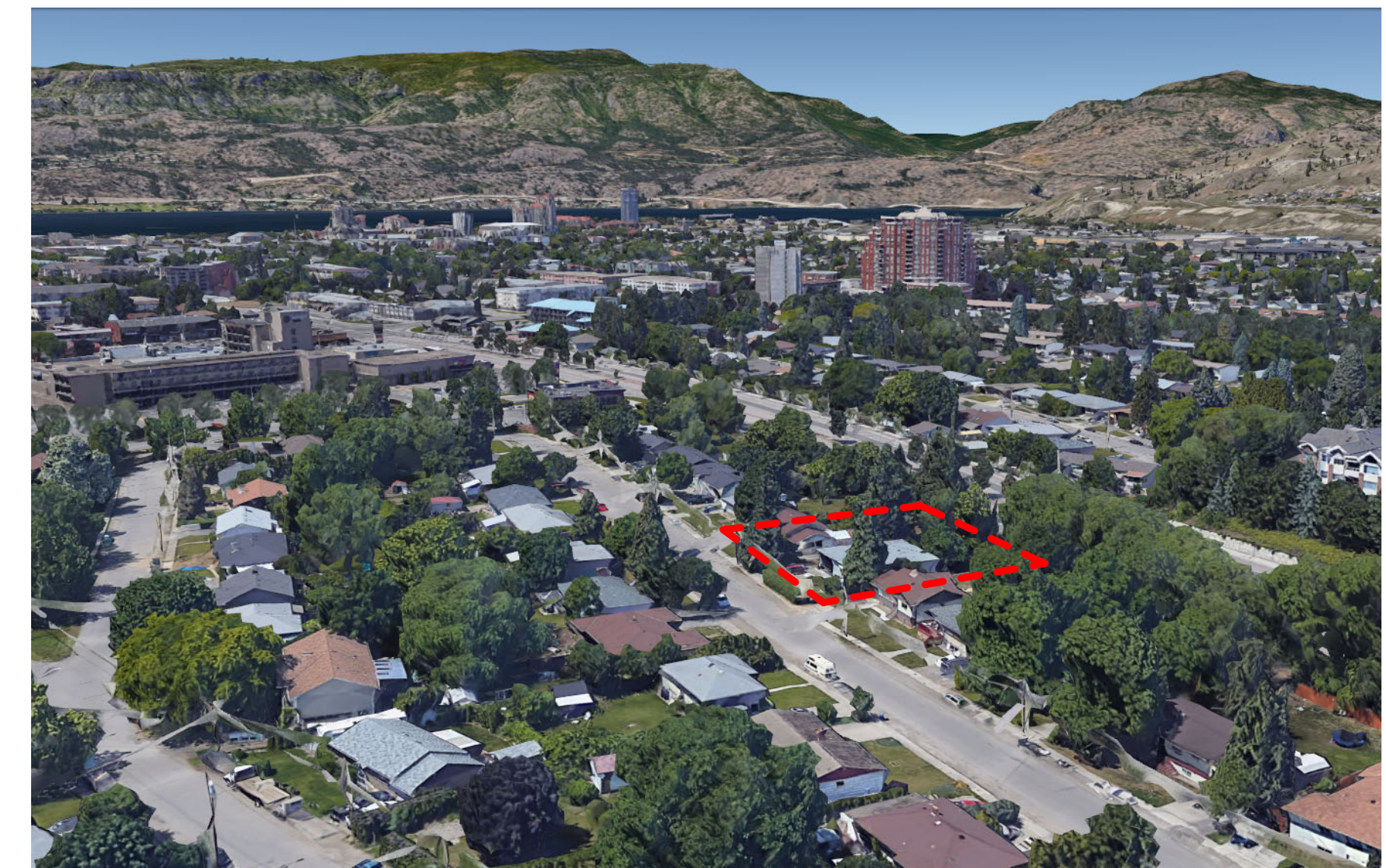
**NEIGHBOURHOOD CONTEXT - AMENITY**

- |  |  |
|--|--|
| 1. KELOWNA YACHT CLUB<br>2.5 KM / 32 MINUTE WALK | 6. GATEWAY PLAZA<br>600 M / 8 MINUTE WALK                  |
| 2. DOWNTOWN KELOWNA<br>2 KM / 26 MINUTE WALK     | 7. LANDMARK DISTRICT<br>1 KM / 12 MINUTE WALK              |
| 3. CAPRIS CENTRE<br>500 M / 6 MINUTE WALK        | 8. PARKINSON RECREATION CENTRE<br>1.4 KM / 14 MINUTE WALK  |
| 4. CENTRE 97<br>400 M / 5 MINUTE WALK            | 9. SPALL PLAZA<br>1.6 KM / 20 MINUTE WALK                  |
| 5. BURTC PLAZA<br>450 M / 6 MINUTE WALK          | 10. KELOWNA GOLF & COUNTRY CLUB<br>2.4 KM / 30 MINUTE WALK |



**LOCAL CONTEXT - ADJACENT DEVELOPMENT / DENSIFICATION**

- A. SUBJECT PROPERTY : 62 TENANCIES  
6 STOREY APARTMENT BUILDING
- B. FIVE CROSSINGS : 206 TENANCIES  
6 STOREY APARTMENT BUILDING
- C. THE ANACAPRIS : 100 TENANCIES  
6 STOREY APARTMENT BUILDING
- D. PRIDHAM 1319 : 85 TENANCIES  
5 1/2 STOREY CONDOMINIUM BUILDING



**AERIAL VIEW FROM SOUTH EAST**



**AERIAL VIEW FROM NORTH EAST**



**AERIAL VIEW FROM SOUTH WEST**

**ZONING INFORMATION**

**CIVIC ADDRESS:** 1310 & 1320 Belaire Avenue

**LEGAL INFORMATION:** PLAN KAP10011 LOT 29 DISTRICT LOT 137  
PLAN KAP10011 LOT 30 DISTRICT LOT 137

**PROPOSED ZONING:** UC2r

**LOT AREA:** 2,082.894 m<sup>2</sup> (22,420.08 sq.ft) (0.514 Acres)

**PROPOSED SETBACKS:**

	<u>REQUIRED</u>	<u>PROPOSED</u>
FRONT:	2.0m (Ground oriented)	2.0m
SIDE:	0.0m (UC)	0.45m & 1.8m @ 1.6m AFL
PROVINCIAL HIGHWAY		
FRONT:	4.5m	4.5m

**MAX. BLDG HEIGHT:** 6 Storeys/22 metres      6 Storeys (21.545m)

**SETBACK 3 METRES ABOVE 16m IN BUILDING HEIGHT**  
SOUTH ELEVATION SET BACK 2.0m TO TITLE ABUTTING BELAIRE AT GROUND LEVEL, 3.0 m FROM LEVEL 2

**FLOOR AREA RATIO**

BUILDING GFA = 5198.7 m<sup>2</sup>  
BUILDING NET = 4,218.1 m<sup>2</sup>  
FLOOR AREA RATIO 2.1: 4,374.1 m<sup>2</sup> PERMITTED (BASE 1.8 + RENTAL BONUS 0.3)  
4,226.0 / 2,082.894 = 2.025

**SITE COVERAGE**

LOT AREA = 2,082.894m<sup>2</sup> (0.514 Acres)

BUILDING FOOTPRINT = 947.7m<sup>2</sup> BUILDING + 707m<sup>2</sup> PARKADE = 1,654.7m<sup>2</sup>  
1,654.7m<sup>2</sup> / 2,082.894 m<sup>2</sup> = 79.4% (85% PERMITTED)

SITE COVERAGE = 1,774.4 m<sup>2</sup> / 2,082.894 m<sup>2</sup> = 85% (90% PERMITTED)

**UNIT MIX**

**1-BEDROOM:** 18 UNITS

**1-BEDROOM + DEN:** 5 UNITS

**2-BEDROOM:** 39 UNITS

**TOTAL NUMBER OF UNITS:** 62 UNITS

**REFUSE CONTAINERS**

1 x 5m<sup>3</sup>, 2 x 3m<sup>3</sup> IN GROUND MOLOKS: REQUIRED SETBACK 0.5m      PROPOSED: 0.575m

**PARKING REQUIREMENT:**

	<u>CARS</u>
<b>1-BED AND 1-BED + DEN :</b>	
41 UNITS x 0.9/DWELLING UNIT,	36.9
<b>2-BED:</b>	
21 UNITS x 1.0/DWELLING UNIT,	21.0
<b>TOTAL</b>	<b>57.9</b>
<b>14% FOR VISITOR,</b>	8.868 (62 x 0.14)
SUB TOTAL	66.768
<b>-20% REDUCTION FOR RENTAL,</b>	<b>-13.376</b>
<b>-5 BONUS BICYCLE PARKING</b>	<b>-5</b>
<b>TOTAL:</b>	<b>48.392</b>
<b>PROVIDED:</b>	<b>49</b>
<b>49 x 14% VISITOR:</b>	

**BICYCLE PARKING**  
0.75 x STUDIO, 1 BED, 2 BED

**BONUS BICYCLE PARKING**

STUDIO x 1.25	0
1 BED x 1.25 x 23	28.75
2 BED x 1.5 x 39	58.5
SUB TOTAL	87.25
SHORT TERM	6 PER ENTRANCE
<b>TOTAL</b>	<b>93</b>

**AMENITY SPACE (1 BED 10 m<sup>2</sup>, 2 BED 15m<sup>2</sup>)**

	<u>EXTERNAL PRIVATE</u>	<u>EXTERNAL PUBLIC</u>	<u>INTERNAL PUBLIC</u>
GROUND	83.8 m <sup>2</sup>	440 m <sup>2</sup>	43.7 m <sup>2</sup>
SECOND FLOOR	97.8 m <sup>2</sup>		
THIRD FLOOR	91.9 m <sup>2</sup>		
FOURTH FLOOR	91.9 m <sup>2</sup>		
FIFTH FLOOR	97.8 m <sup>2</sup>		
SIXTH FLOOR	170.9 m <sup>2</sup>		
<b>SUB TOTALS</b>	<b>667.0 m<sup>2</sup></b>	<b>440 m<sup>2</sup></b>	<b>43.7 m<sup>2</sup></b>
<b>TOTAL AMENITY</b>	<b>1,117.8 m<sup>2</sup></b>	(740 m <sup>2</sup> Required)	
COMMON AMENITY (NOT IN A REQUIRED SETBACK) REQUIRED: (4 x 62 TENANCIES):	<b>248m<sup>2</sup></b>	PROVIDED (CLEAR OF SETBACKS):	<b>483.7 m<sup>2</sup></b>

**VISITOR CAR SPACES** 7

**TENANT CAR SPACES** 42  
(INCLUDING)

**ACCESSIBLE CAR SPACES** 2

**VAN ACCESSIBLE SPACES** 1  
(INCLUDED IN 2 ACCESSIBLE)

**23 SMALL CAR 26 REGULAR CAR**  
**7 REGULAR CAR**

**BICYCLE PARKING PROVISION**

GROUND ORIENTED	
BASEMENT	22
LEVEL 01	24
SUB TOTAL	46
WALL HUNG	
BASEMENT	17
LEVEL 01	24
SUB TOTAL	40
GROUND ORIENTED (PUBLIC)	
LEVEL 01	6
<b>TOTAL</b>	<b>93</b>

**REZONING & DEVELOPMENT PERMIT**

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NO.	DATE	DESCRIPTION
RECORD OF REVISIONS		
H	12/04/24	DP RESUBMISSION
G	20/10/23	DP RESUBMISSION
F	15/10/23	DP RESUBMISSION
E	17/08/23	IRS COMMENTS
D	03/05/23	DP RESUBMISSION
C	04/04/23	PRE-DEVELOPMENT REVIEW
B	14/02/23	DP SUBMISSION
A	13/01/23	PRE-DEVELOPMENT REVIEW

Project  
**1310 & 1320 BELAIRE AVE.**

RESIDENTIAL DEVELOPMENT

1310 1320 Belaire Ave.  
Kelowna, BC.

Sheet Title  
**SITE ANALYSIS**

Job Number: 22.1051  
Issue Date: 2024.06.14  
Scale: As indicated  
Drawing Number: A0.5

**SCHEDULE A**

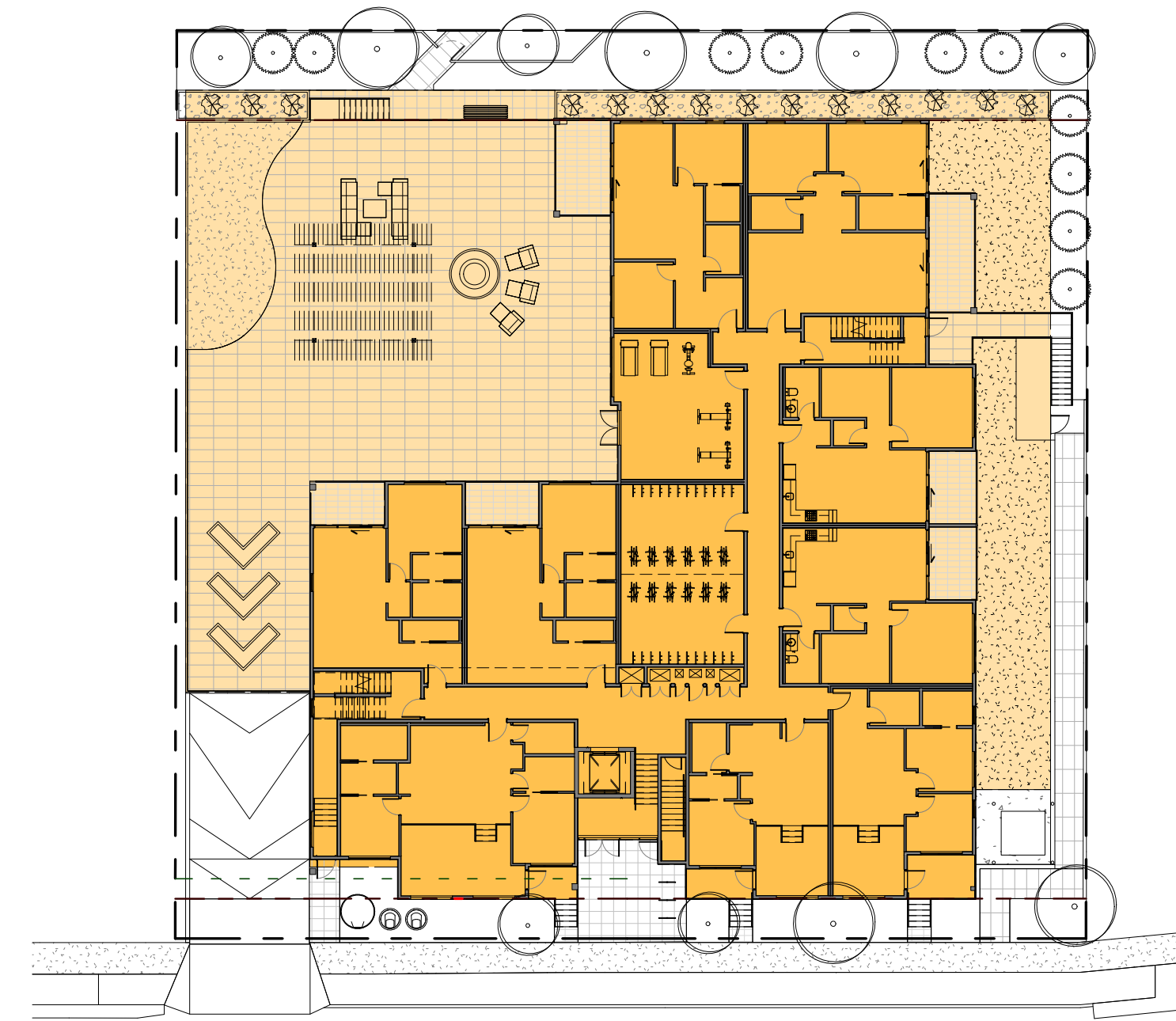
This forms part of application  
# DP23-0095

Planner Initials: AF

City of Kelowna  
COMMUNITY PLANNING

**REZONING & DEVELOPMENT PERMIT**

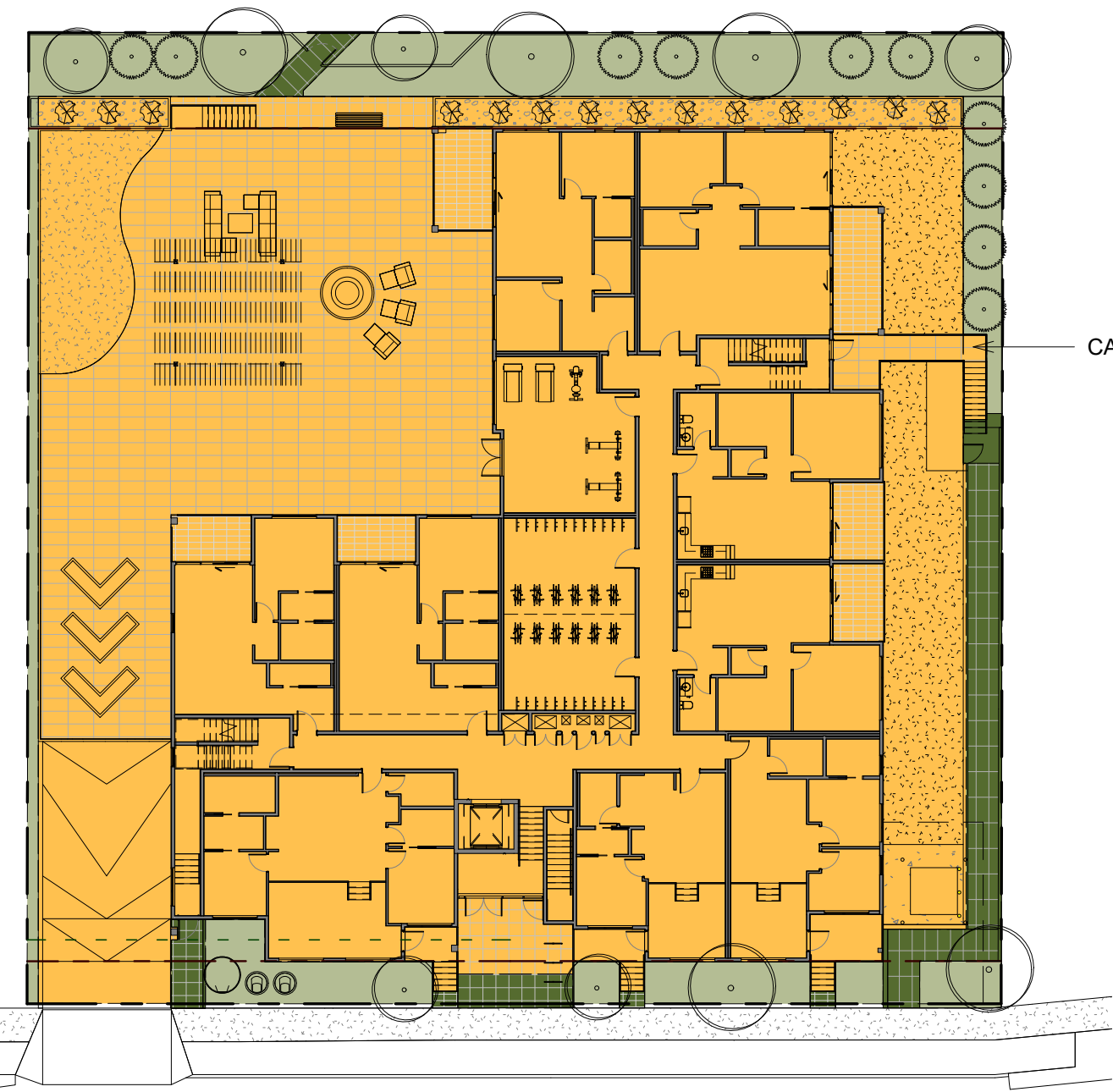
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**01 BUILDING COVERAGE**  
 A3.0 1 : 300

**BUILDING FOOTPRINT**  
 947.7 m<sup>2</sup>

**PARKADE SURFACE**  
 707 m<sup>2</sup> 1654.7 m<sup>2</sup> (79.4%)

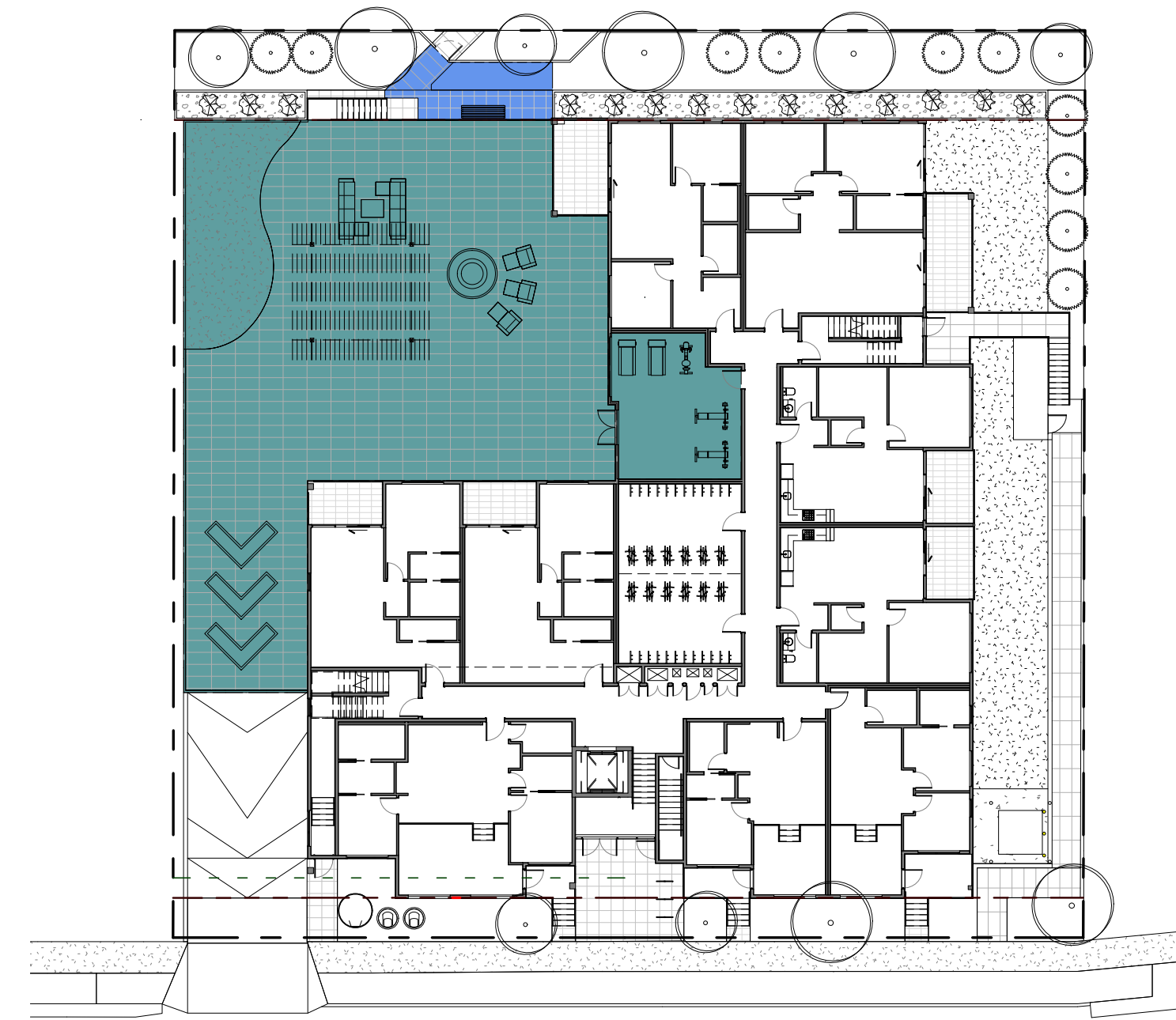


**02 SITE COVERAGE**  
 A3.0 1 : 300

**IMPERMEABLE SURFACE**  
 1,765.8m<sup>2</sup> (84.8% OF SITE)

**PERMEABLE PAVING**

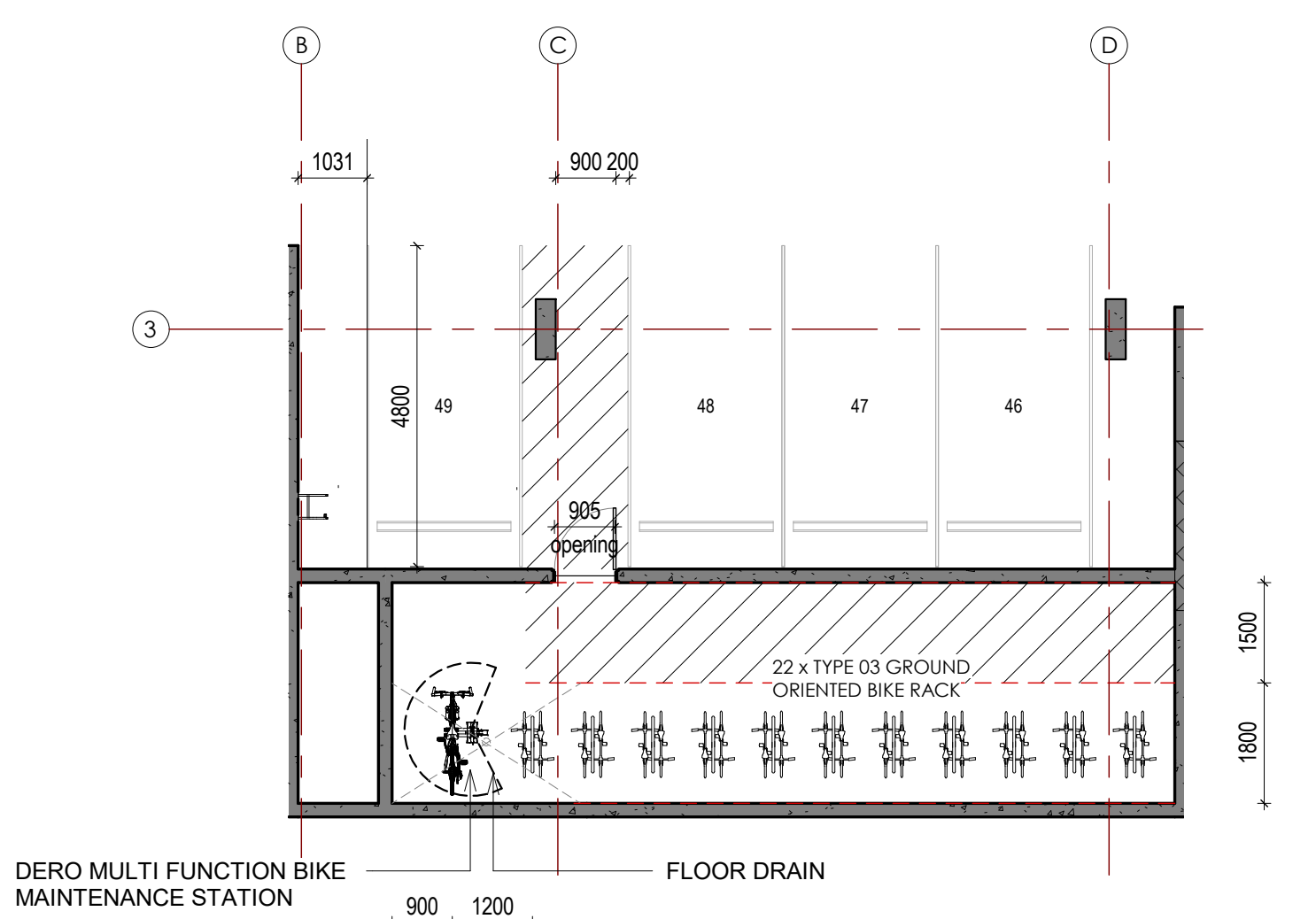
**PERMEABLE SOFT LANDSCAPE**



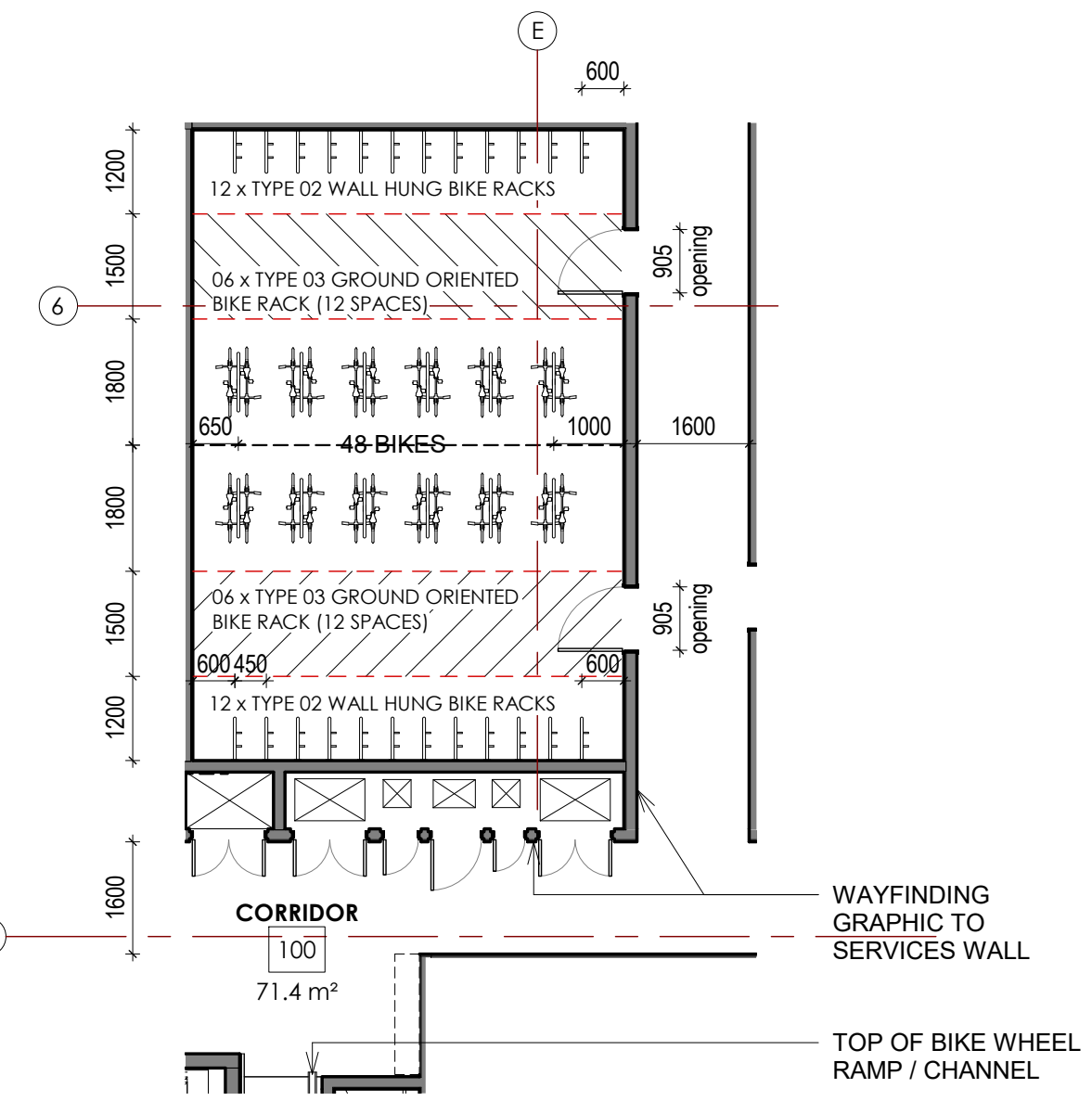
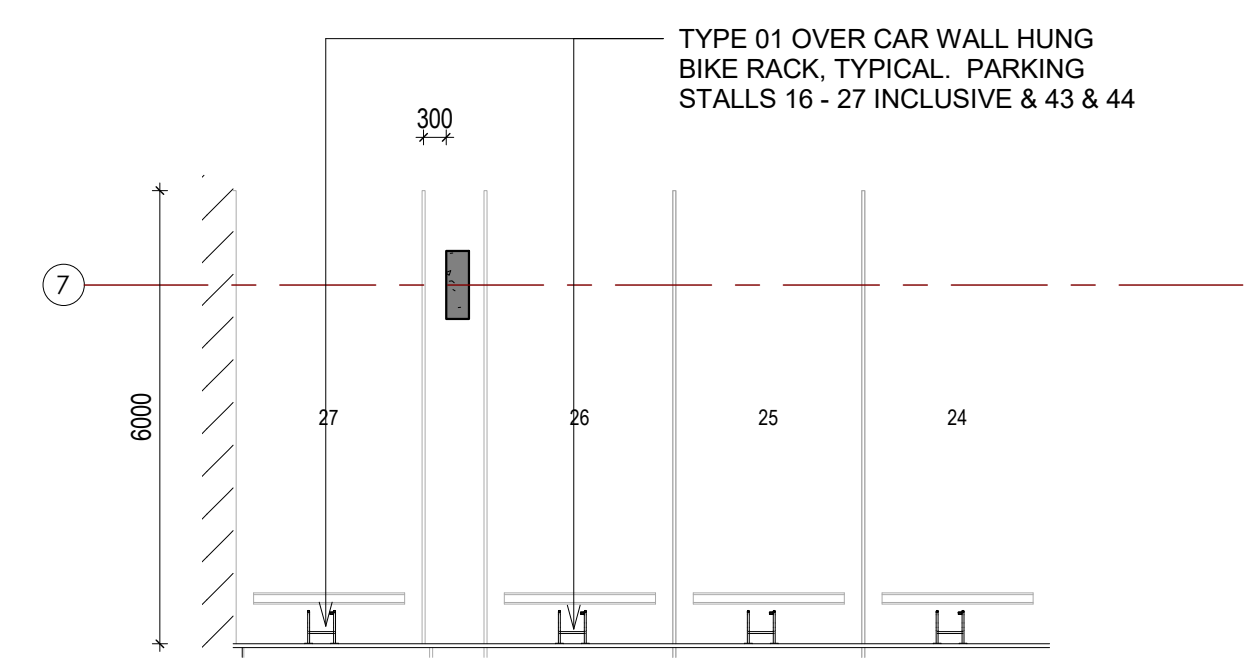
**03 PUBLIC OUTDOOR SPACE**  
 A3.0 1 : 300

**COMMON AMENITY SPACE - POS**  
 OUTDOOR 440m<sup>2</sup> INDOOR 43m<sup>2</sup> (REQUIRED 4m PER TENANCY: 62x4) (REQUIRED: 248m<sup>2</sup>)

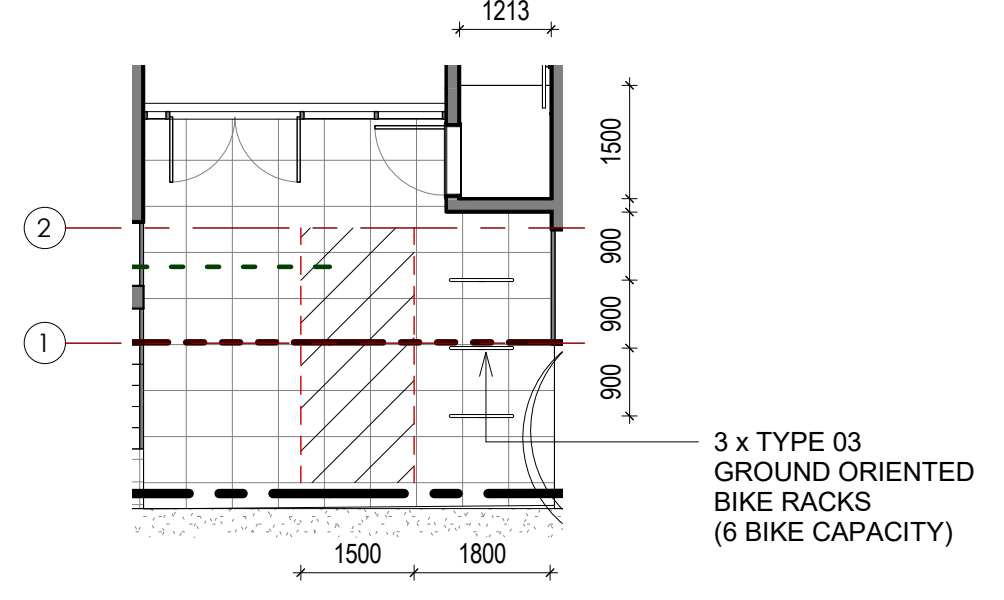
**OUTDOOR SPACE IN SETBACK**  
 22.4m<sup>2</sup>



**04 LONG TERM BICYCLE STORAGE - BASEMENT PARKING**  
 A4.0 1 : 100

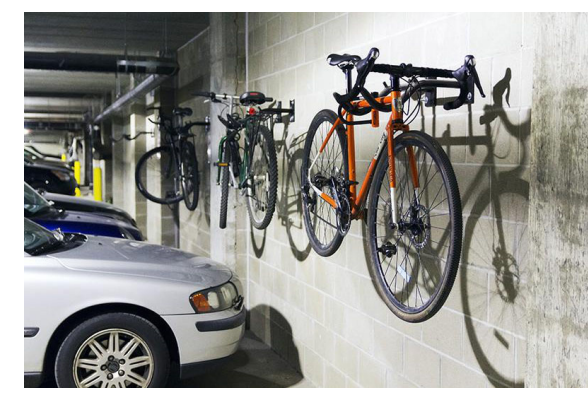


**06 LONG TERM BICYCLE STORAGE - LEVEL 01**  
 A3.0 1 : 100



**07 SHORT TERM BICYCLES - LEVEL 01**  
 A3.0 1 : 100

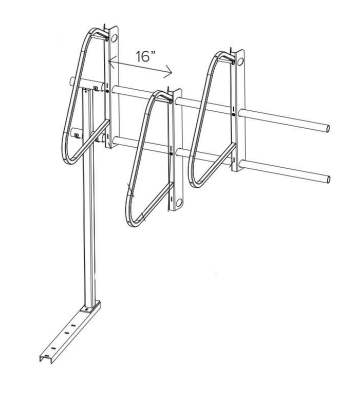
TYPE	BASEMENT PARKING	LEVEL 01	TOTAL BICYCLE PARKING	PERCENTAGE MIX
TYPE 01 BIKE RACK WALL HUNG BIKE RACK - PRIVATE DERO 'WALL RACK' OR EQUIVALENT BICYCLES PARKED @ END OF PARKING STALLS 1-16	14		14	15.5%
TYPE 02 BIKE RACK WALL HUNG BIKE RACK - PRIVATE DERO 'ULTR SPACE SAVER' OR EQUIVALENT BICYCLES HUNG @ 450mm CENTRES		24	24	26.7%
TYPE 03 BIKE RACK GROUND ORIENTED BIKE RACK CLASSIC DISPLAYS 'ARCH' OR EQUIVALENT BICYCLES PARKED @ 900MM CENTRES	22	30 (24 LONG TERM, 6 SHORT TERM)	52	57.8%
<b>TOTALS</b>	<b>36</b>	<b>54</b>	<b>90 (INCLUDES 6 PUBLIC)</b>	<b>42% WALL 58% GROUND</b>



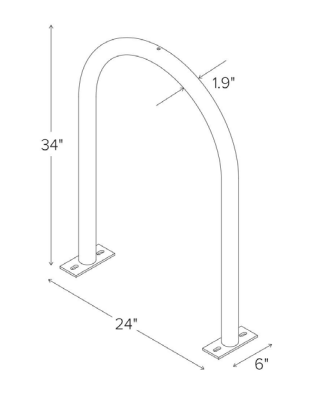
TYPE 01



TYPE 02



TYPE 03



**SCHEDULE A**  
 This forms part of application # DP23-0095  
 City of Kelowna COMMUNITY PLANNING  
 Planner Initials AF

NO.	DATE	DESCRIPTION
E	20/10/23	DP RESUBMISSION
D	13/10/23	DP RESUBMISSION
C	17/08/23	RES COMMENTS
B	03/05/23	DP RESUBMISSION
A	06/04/23	PRE DP REVIEW

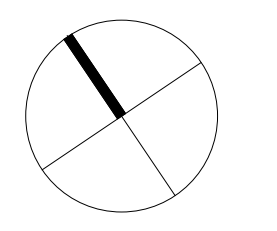
Project  
**1310 & 1320 BELAIRE AVE.**  
 RESIDENTIAL DEVELOPMENT  
 1310 1320 Belaire Ave.  
 Kelowna, BC.

**BUILDING STATISTICS**

Job Number 22.1051  
 Issue Date 2024.06.14  
 Scale As indicated  
 Drawing Number

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2024-08-16

NO.	DATE	DESCRIPTION
J	12/04/24	DP RESUBMISSION
I	20/10/23	DP RESUBMISSION
H	13/10/23	DP RESUBMISSION
G	17/08/23	DS COMMENTS
F	03/05/23	DP RESUBMISSION
E	06/04/23	PRE DP REVIEW
D	14/02/23	DP SUBMISSION
C	13/01/23	PRE-OP REVIEW
B	15/12/22	Coordination
A	03/11/22	Review

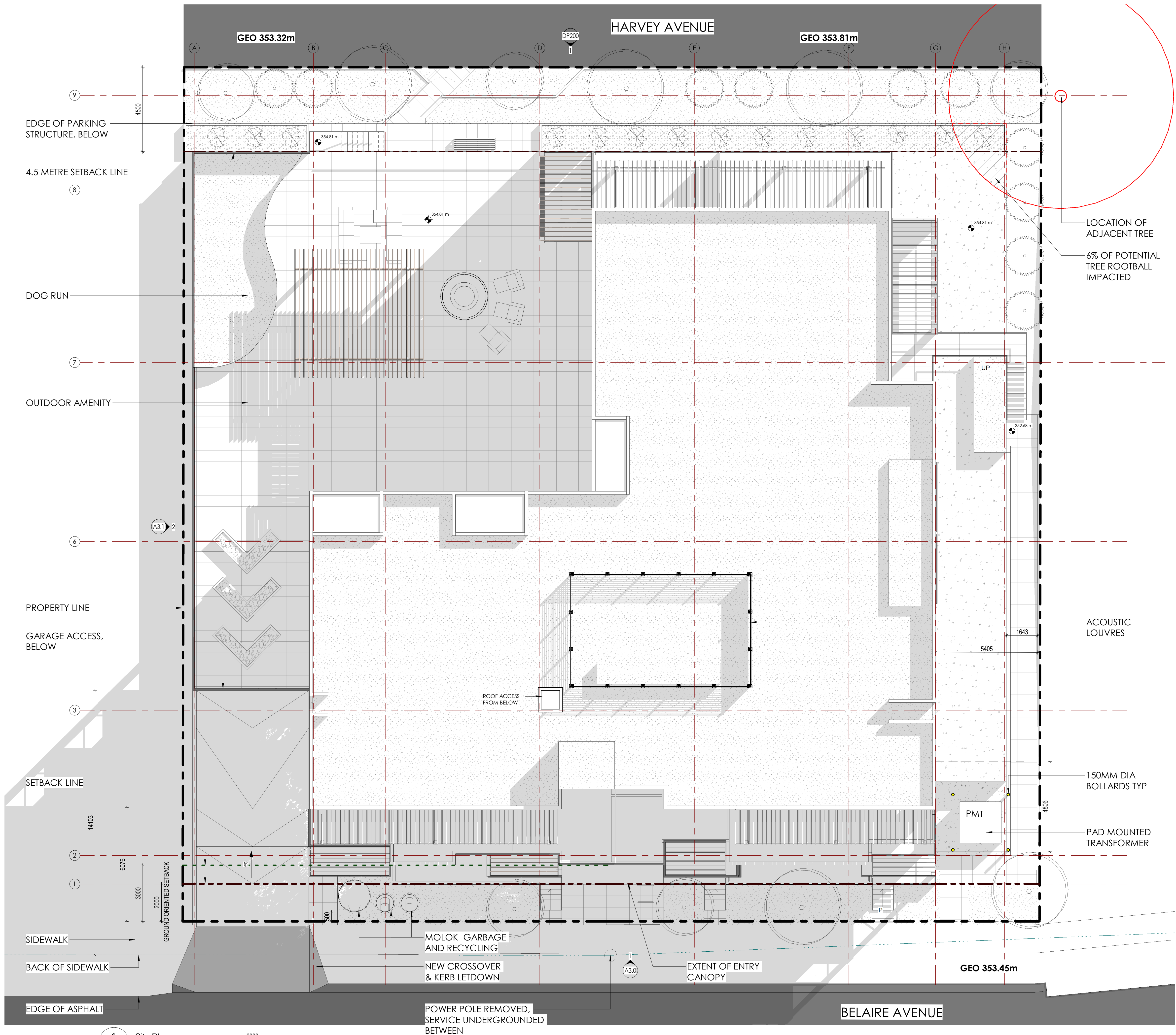
NO.	DATE	DESCRIPTION
RECORD OF REVISIONS		

Project  
**1310 & 1320 BELAIRE AVE.**  
 RESIDENTIAL DEVELOPMENT  
 1310 1320 Belaire Ave.  
 Kelowna, BC.

Sheet Title  
**SITE PLAN**

Job Number 22.1051  
 Issue Date 2024.06.14  
 Scale 1 : 100  
 Drawing Number

**SCHEDULE A**  
 This forms part of application  
 # DP23-0095  
 Planner Initials AF  
 City of Kelowna COMMUNITY PLANNING



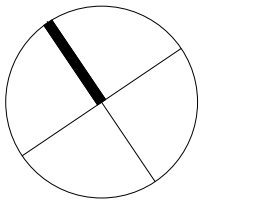
1 Site Plan  
 A1.0 1 : 100

A1.0

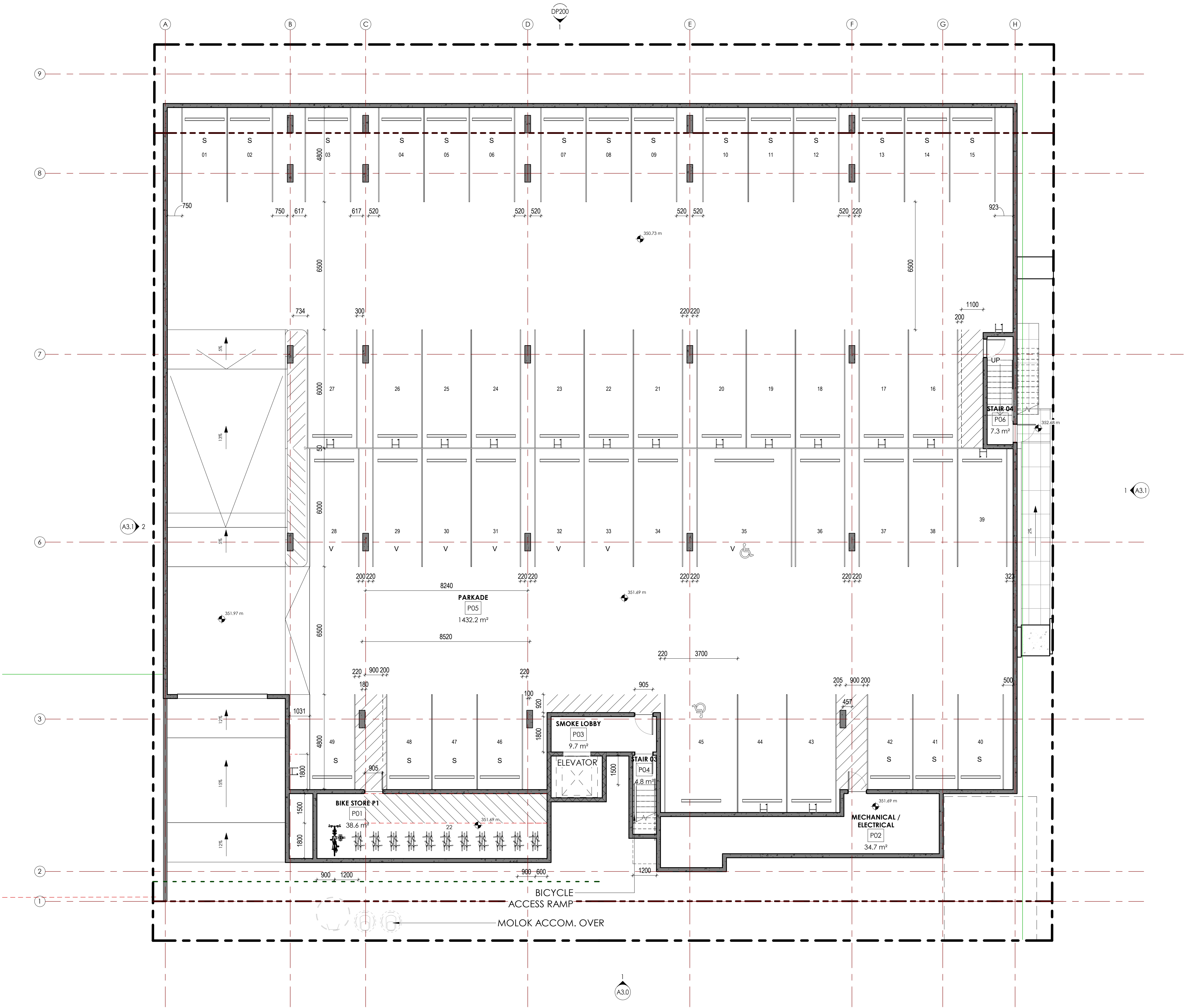
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2024-08-16



PARKING SCHEDULE		
Mark	Size	Type
01	2300w)x4800(d)	SMALL - END
02	2300w)x4800(d)	SMALL - END
03	2300w)x4800(d)	SMALL - END
04	2300w)x4800(d)	SMALL - END
05	2300w)x4800(d)	SMALL
06	2300w)x4800(d)	SMALL - END
07	2300w)x4800(d)	SMALL - END
08	2300w)x4800(d)	SMALL
09	2300w)x4800(d)	SMALL - END
10	2300w)x4800(d)	SMALL - END
11	2300w)x4800(d)	SMALL
12	2300w)x4800(d)	SMALL - END
13	2300w)x4800(d)	SMALL - END
14	2300w)x4800(d)	SMALL
15	2300w)x4800(d)	SMALL - END
16	2500w)x6000(d)	REGULAR - END
17	2500w)x6000(d)	REGULAR - END
18	2500w)x6000(d)	REGULAR - END
19	2500w)x6000(d)	REGULAR
20	2500w)x6000(d)	REGULAR - END
21	2500w)x6000(d)	REGULAR - END
22	2500w)x6000(d)	REGULAR
23	2500w)x6000(d)	REGULAR - END
24	2500w)x6000(d)	REGULAR - END
25	2500w)x6000(d)	REGULAR
26	2500w)x6000(d)	REGULAR - END
27	2500w)x6000(d)	REGULAR - END
28	2500w)x6000(d)	VISITOR, REGULAR - END
29	2500w)x6000(d)	VISITOR, REGULAR - END
30	2500w)x6000(d)	VISITOR, REGULAR
31	2500w)x6000(d)	VISITOR, REGULAR - END
32	2500w)x6000(d)	VISITOR, REGULAR - END
33	2500w)x6000(d)	VISITOR, REGULAR
34	2500w)x6000(d)	VISITOR, REGULAR - END
35	4800w)x8000(d), LIA VAN	VAN ACCESSIBLE
36	2500w)x6000(d)	REGULAR - END
37	2500w)x6000(d)	REGULAR - END
38	2500w)x6000(d)	REGULAR
39	2500w)x6000(d)	SMALL - END
40	2300w)x4800(d)	SMALL
41	2300w)x4800(d)	SMALL
42	2300w)x4800(d)	SMALL - END
43	2500w)x6000(d)	SMALL - END
44	2500w)x6000(d)	REGULAR
45	2500w)x6000(d), LIA	ACCESSIBLE SPACE
46	2300w)x4800(d)	SMALL - END
47	2300w)x4800(d)	SMALL
48	2300w)x4800(d)	SMALL - END
49	2300w)x4800(d)	SMALL - END

TY	COU	%	PERMIT
PE	NT	TOTAL	TED
SMALL	2	47	(OF
SMALL	2	47	(OF
STANDARD	2	53	(OF
VAN	1	2	(OF

(STANDARD CAR COUNT INCLUDES TWO ACCESSIBLE SPACES)

1 Parkade Level  
 A2.0 1:100

**SCHEDULE A**  
 This forms part of application  
 # DP23-0095  
 City of Kelowna  
 COMMUNITY PLANNING  
 Planner Initials: AF

NO.	DATE	DESCRIPTION
1	20/02/23	DP SUBMISSION
2	13/03/23	DP SUBMISSION
3	17/08/23	DIS COMMENTS
4	03/05/23	DP SUBMISSION
5	06/04/23	PRE DP REVIEW
6	14/02/23	DP SUBMISSION
7	13/01/23	PRE-OP REVIEW
8	15/12/22	Coordination
9	03/11/22	Review

Project  
**1310 & 1320 BELAIRE AVE.**  
 RESIDENTIAL DEVELOPMENT  
 1310 1320 Belaire Ave.  
 Kelowna, BC.

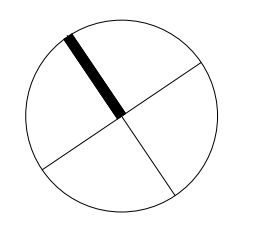
Sheet Title  
**BASEMENT 01 - PARKADE**

Job Number: 22.1051  
 Issue Date: 2024.06.14  
 Scale: 1:100  
 Drawing Number

**A2.0**

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2024-08-16

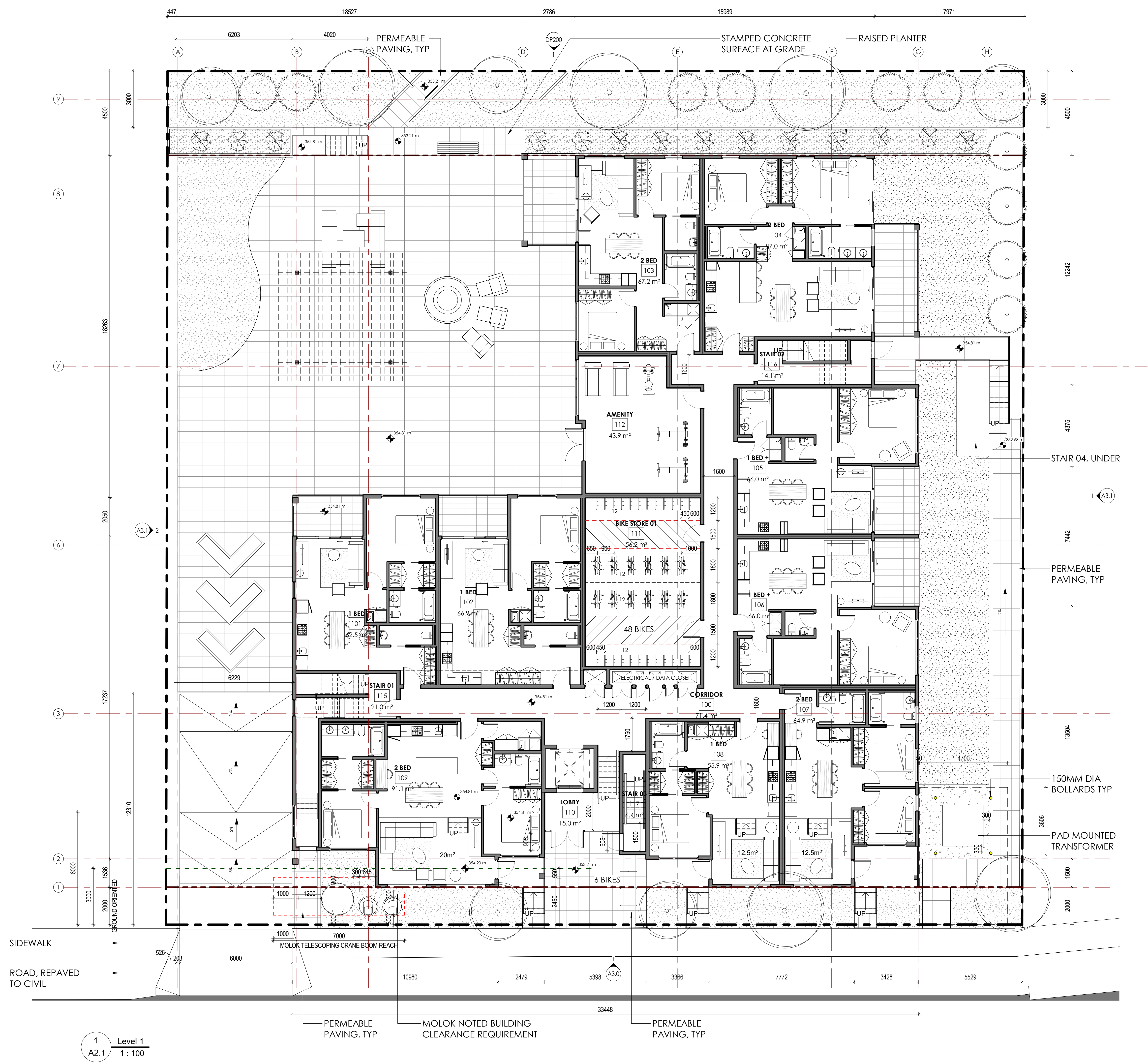
NO.	DATE	DESCRIPTION
RECORD OF REVISIONS		
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G	13/10/23	DP RESUBMISSION
F	17/08/23	DRE COMMENTS
E	03/05/23	DP SUBMISSION
D	06/04/23	PRE-DP REVIEW
C	14/02/23	DP SUBMISSION
B	13/01/23	PRE-DP REVIEW
A	03/11/22	Review

Project  
**1310 & 1320 BELAIRE AVE.**  
 RESIDENTIAL DEVELOPMENT  
 1310 1320 Belaire Ave.  
 Kelowna, BC.

Sheet Title  
**LEVEL 01**

Job Number 22.1051  
 Issue Date 2024.06.14  
 Scale 1 : 100  
 Drawing Number

**SCHEDULE A**  
 This forms part of application  
 # DP23-0095  
 City of Kelowna  
 COMMUNITY PLANNING  
 Planner Initials AF



1 Level 1  
 A2.1 1 : 100

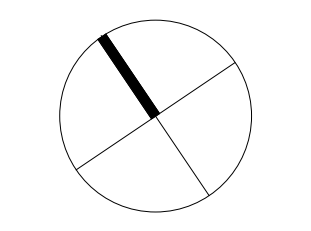
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2024-08-16 3:44:03 PM

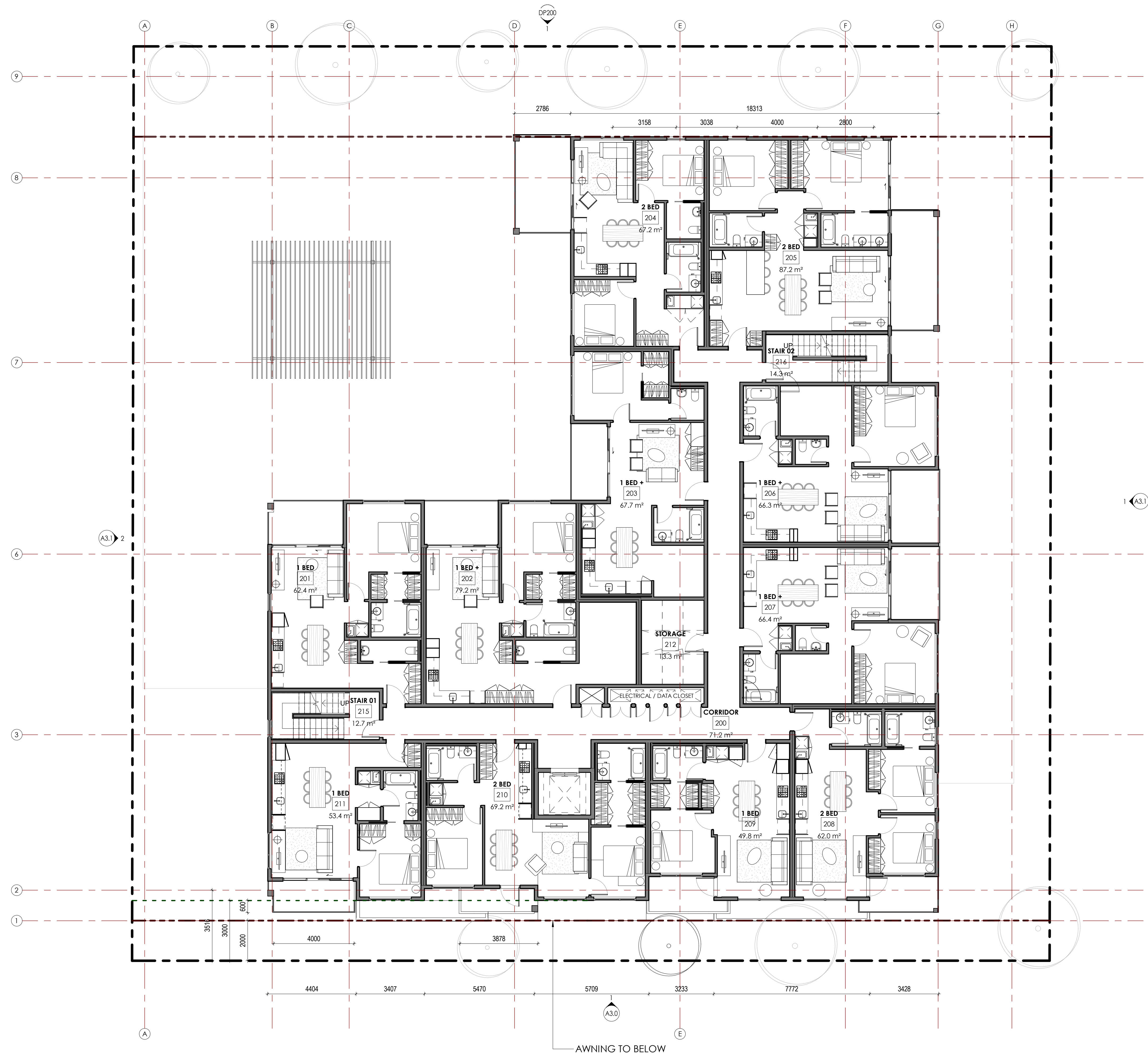
**REZONING & DEVELOPMENT PERMIT**

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2024-08-16



1 Level 2  
 A2.2 1:100

**SCHEDULE A**  
 This forms part of application  
 # DP23-0095  
 Planner Initials AF  
 City of Kelowna COMMUNITY PLANNING

NO.	DATE	DESCRIPTION
H	20/10/23	DP SUBMISSION
G	13/10/23	DP RESUBMISSION
F	17/08/23	PRE COMMENTS
E	03/05/23	DP RESUBMISSION
D	06/04/23	PRE DP REVIEW
C	14/02/23	DP SUBMISSION
B	13/01/23	PRE DP REVIEW
A	03/11/22	Review

**RECORD OF REVISIONS**

Project  
**1310 & 1320 BELAIRE AVE.**  
 RESIDENTIAL DEVELOPMENT  
 1310 1320 Belaire Ave.  
 Kelowna, BC.

Sheet Title  
**LEVEL 02**

Job Number 22.1051  
 Issue Date 2024.06.14  
 Scale 1:100  
 Drawing Number

**A2.2**

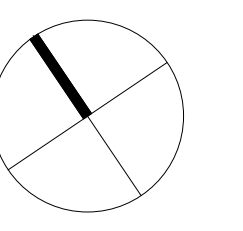
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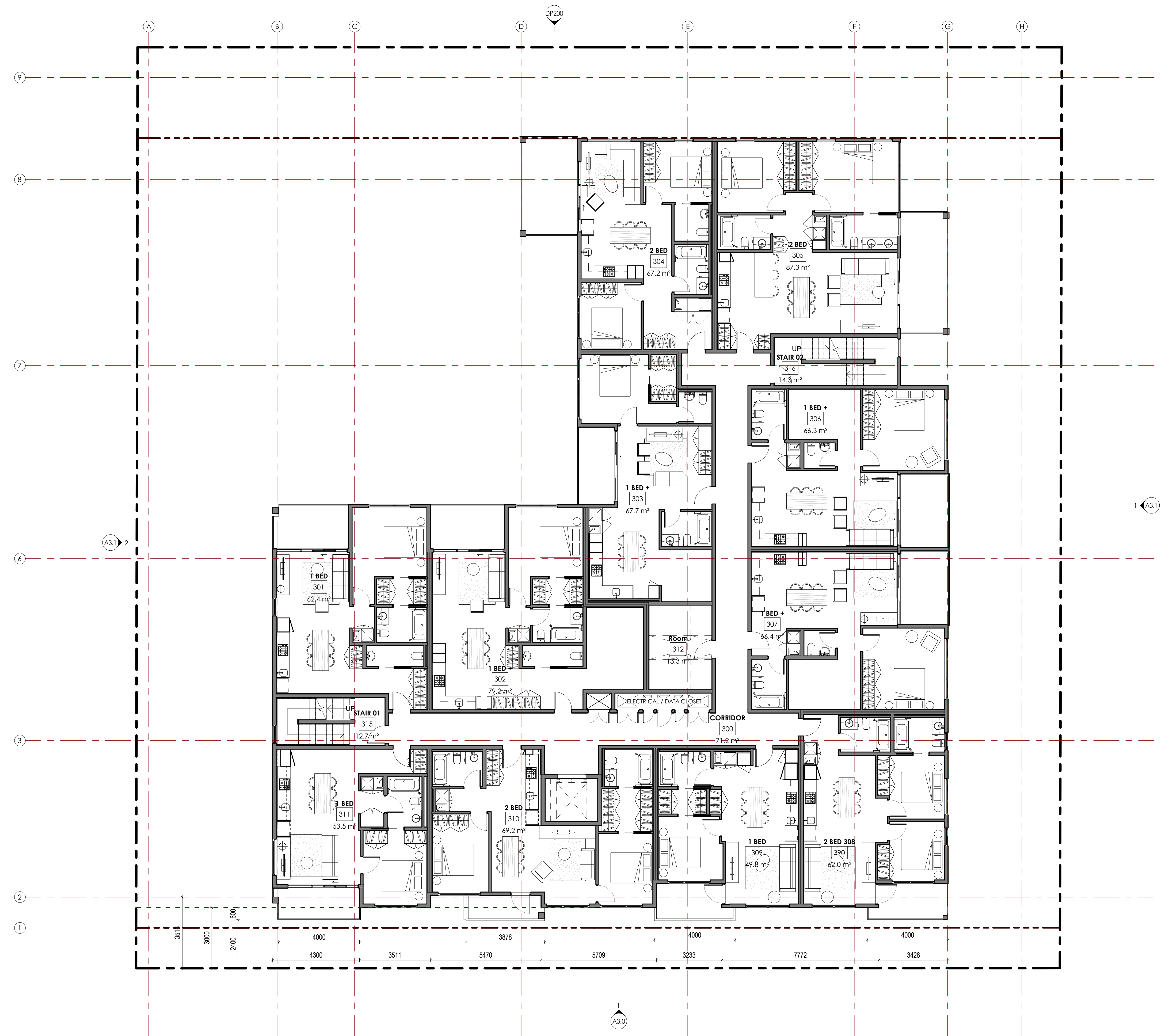
**REZONING & DEVELOPMENT PERMIT**

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2024-08-16



1 Level 3  
 A2.3 1 : 100

NO.	DATE	DESCRIPTION
H	20/10/23	DP RESUBMISSION
G	13/10/23	DP RESUBMISSION
F	17/08/23	PRE COMMENTS
E	03/05/23	DP RESUBMISSION
D	06/04/23	PRE DP REVIEW
C	14/02/23	DP SUBMISSION
B	13/01/23	PRE DP REVIEW
A	03/11/22	Review

RECORD OF REVISIONS

Project  
 1310 & 1320 BELAIRE AVE.  
 RESIDENTIAL DEVELOPMENT  
 1310 1320 Belaire Ave.  
 Kelowna, BC.

Sheet Title  
 LEVEL 03

Job Number 22.1051  
 Issue Date 2024.06.14  
 Scale 1 : 100  
 Drawing Number

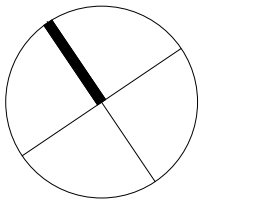
**SCHEDULE A**  
 This forms part of application  
 # DP23-0095  
 Planner Initials AF  
 City of Kelowna  
 COMMUNITY PLANNING

A2.3

2024-08-16 3:44:07 PM

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2024-08-16

NO.	DATE	DESCRIPTION
H	20/10/23	DP RESUBMISSION
G	13/10/23	DP RESUBMISSION
F	17/08/23	PRE COMMENTS
E	03/05/23	DP RESUBMISSION
D	06/04/23	PRE DP REVIEW
C	14/02/23	DP SUBMISSION
B	13/01/23	PRE DP REVIEW
A	03/11/22	Review

NO.	DATE	DESCRIPTION
RECORD OF REVISIONS		

Project  
**1310 & 1320 BELAIRE AVE.**  
 RESIDENTIAL DEVELOPMENT  
 1310 1320 Belaire Ave.  
 Kelowna, BC.

Sheet Title  
**LEVEL 04**

Job Number 22.1051  
 Issue Date 2024.06.14  
 Scale 1 : 100  
 Drawing Number



1 Level 4  
 A2.4 1 : 100

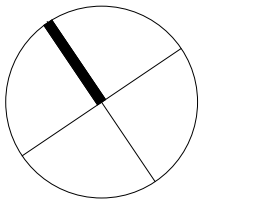
**SCHEDULE A**  
 This forms part of application  
 # DP23-0095  
 Planner Initials AF  
 City of Kelowna COMMUNITY PLANNING

**A2.4**

2024-08-16 3:44:09 PM

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2024-08-16

NO.	DATE	DESCRIPTION
H	20/10/23	DP SUBMISSION
G	13/10/23	DP SUBMISSION
F	17/08/23	PRE COMMENTS
E	03/05/23	DP SUBMISSION
D	06/04/23	PRE DP REVIEW
C	14/02/23	DP SUBMISSION
B	13/01/23	PRE DP REVIEW
A	03/11/22	Review

NO.	DATE	DESCRIPTION
RECORD OF REVISIONS		

Project  
**1310 & 1320 BELAIRE AVE.**  
 RESIDENTIAL DEVELOPMENT  
 1310 1320 Belaire Ave.  
 Kelowna, BC.

Sheet Title  
**LEVEL 05**

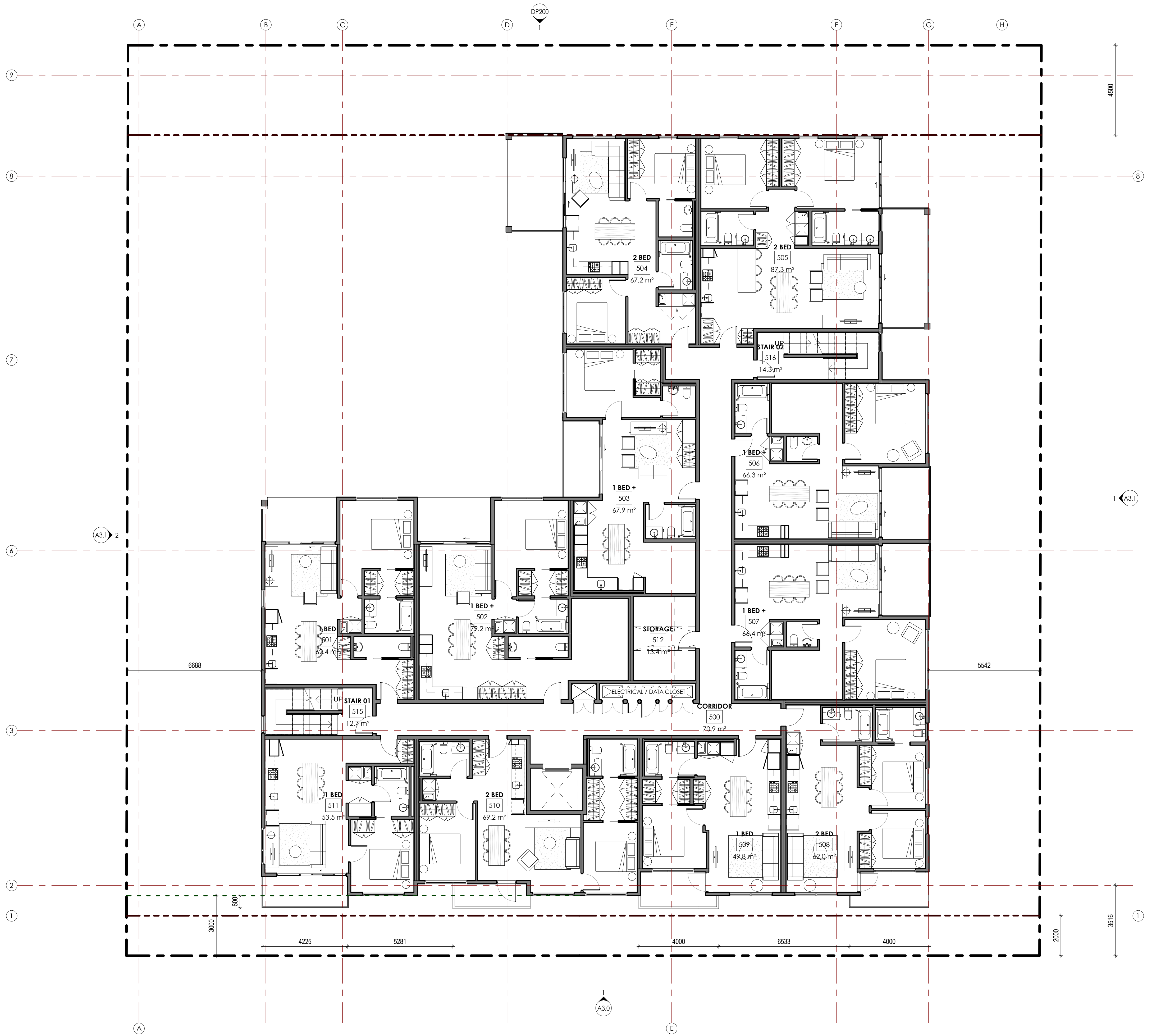
Job Number 22.1051

Issue Date 2024.06.14

Scale 1 : 100

Drawing Number

**A2.5**



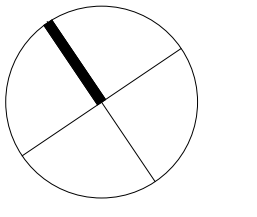
1 Level 5  
 A2.5 1 : 100

**SCHEDULE A**  
 This forms part of application  
 # DP23-0095  
 Planner Initials AF  
 City of Kelowna  
 COMMUNITY PLANNING

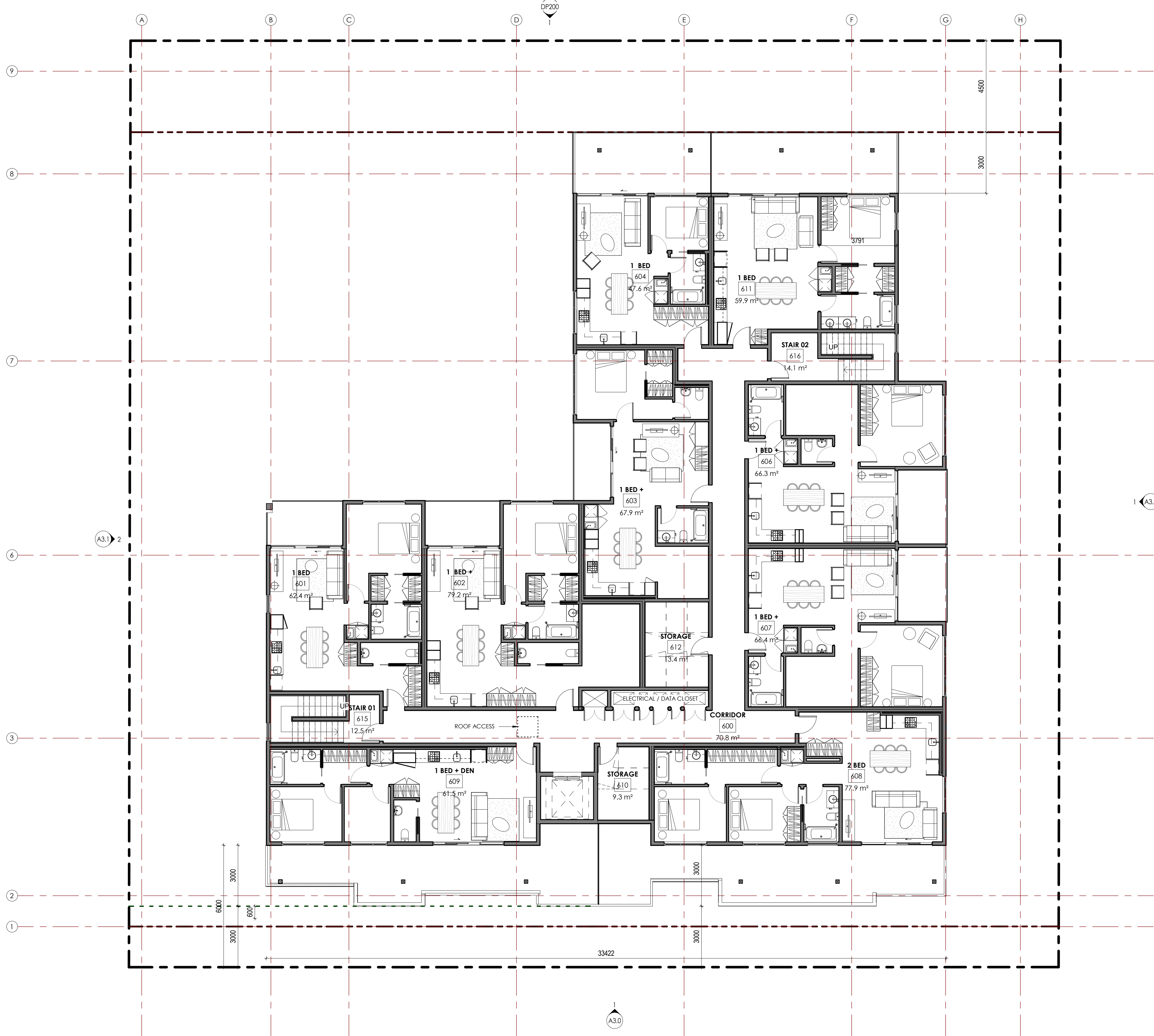
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2024-08-16



1 Level 6  
 A2.6 1:100

NO.	DATE	DESCRIPTION
1	12/04/24	DP RESUBMISSION
2	20/10/23	DP RESUBMISSION
3	13/10/23	DP RESUBMISSION
4	17/08/23	PRE COMMENTS
5	03/05/23	DP RESUBMISSION
6	06/04/23	PRE DP REVIEW
7	14/02/23	DP SUBMISSION
8	13/01/23	PRE DP REVIEW
9	03/11/22	Review

Project  
**1310 & 1320 BELAIRE AVE.**  
 RESIDENTIAL DEVELOPMENT  
 1310 1320 Belaire Ave.  
 Kelowna, BC.

Sheet Title  
**LEVEL 06**

Job Number 22.1051  
 Issue Date 2024.06.14  
 Scale 1:100  
 Drawing Number

**SCHEDULE A**  
 This forms part of application  
 # DP23-0095  
 City of Kelowna  
 COMMUNITY PLANNING  
 Planner Initials AF

**A2.6**

2024-08-16 3:44:18 PM

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2024-08-16

NO.	DATE	DESCRIPTION
I	12/04/24	DP RESUBMISSION
H	20/10/23	DP RESUBMISSION
G	13/10/23	DP RESUBMISSION
F	17/08/23	DR COMMENTS
E	03/05/23	DP RESUBMISSION
D	06/04/23	PRE-CP REVIEW
C	14/02/23	DP SUBMISSION
B	13/01/23	PRE-CP REVIEW
A	03/11/22	Review

**RECORD OF REVISIONS**

Project  
**1310 & 1320 BELAIRE AVE.**  
 RESIDENTIAL DEVELOPMENT  
 1310 1320 Belaire Ave.  
 Kelowna, BC.

**SHEET TITLE**  
**BUILDING ELEVATIONS**

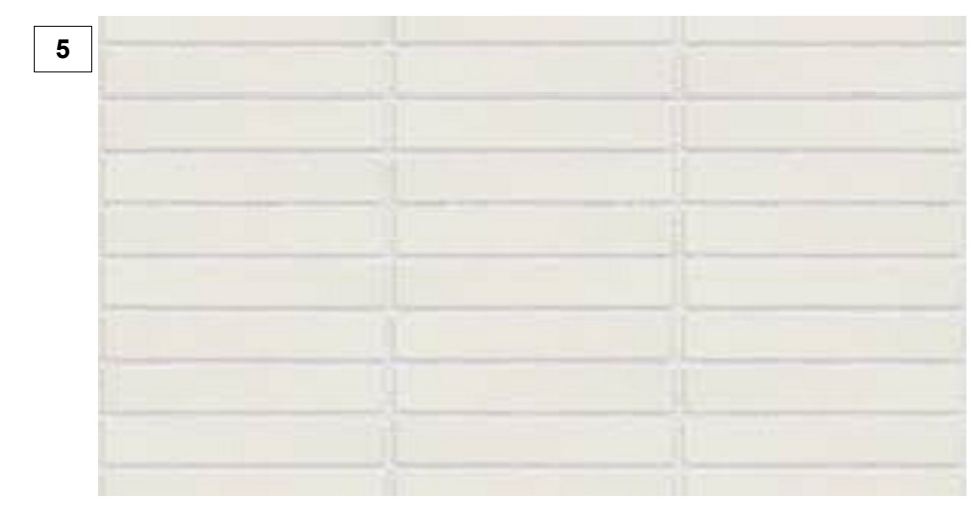
Job Number: 22.1051  
 Issue Date: 2024.06.14  
 Scale: 1 : 100  
 Drawing Number:

**A3.0**

**LEGEND**

- 1 PANELISED COMPRESSED FIBROUS CEMENT SHEET WITH SHADOWLINE REVEALS - OFF WHITE
- 2 PANELISED COMPRESSED FIBROUS CEMENT SHEET WITH SHADOWLINE REVEALS - SAND
- 3 COMPRESSED FIBROUS CEMENT SHEET, SMOOTH FINISH - CHARCOAL
- 4 HORIZONTAL BOARD FINISH - TIMBER LOOK
- 5 STACK BOND MASONRY - OFF WHITE
- 6 SMOOTH PARGED FINISH - CHARCOAL
- 7 GLAZING & BALUSTRADES - CLEAR VISION GLASS
- 8 WINDOW / DOOR FRAMING: MATTE BLACK
- 9 TIMBER BATTEN PERGOLA, SHADE AND BALUSTRADE FRAMING - JATOBA
- 10 PERFORATED METAL BOARD
- 11 TIMBER TRELLIS CANOPY

NOTE:  
 1. All figures have been based on preliminary information and are subject to verification.  
 2. The material contained herein is indicative only and may be subject to approval by the responsible authorities, or other factors beyond the control of Bluegreen Architecture Inc. receiving parties should not use this material to form the basis of any financial feasibility, contractual negotiation or sale documents.



**SCHEDULE B**  
 This forms part of application # DP23-0095  
 City of Kelowna  
 COMMUNITY PLANNING  
 Planner Initials: AF



1 South Elevation  
 A3.0 1 : 100



2 North Elevation  
 A3.0 1 : 100

2024-08-16 3:45:06 PM

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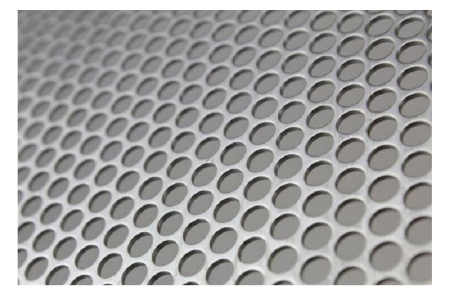
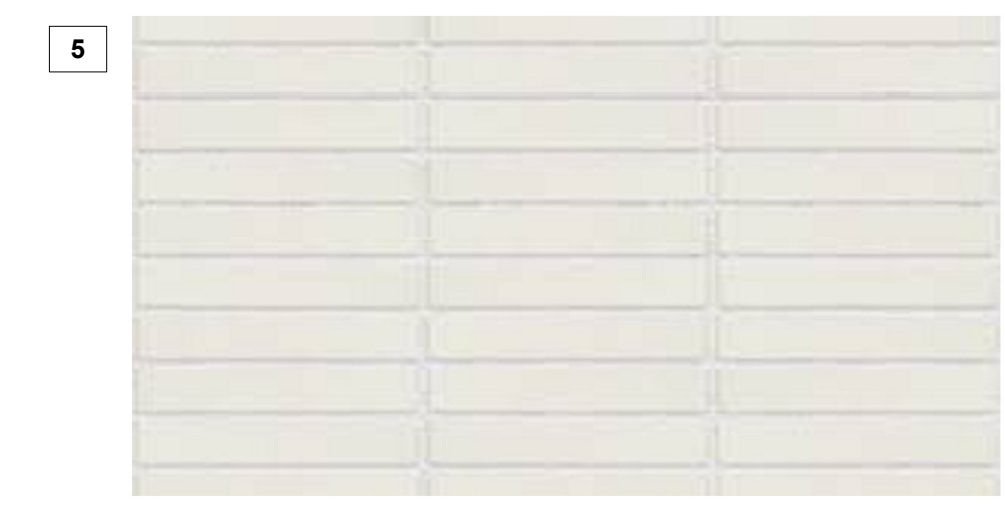


2024-08-16

**LEGEND**

- 1 PANELISED COMPRESSED FIBROUS CEMENT SHEET WITH SHADOWLINE REVEALS - OFF WHITE
- 2 PANELISED COMPRESSED FIBROUS CEMENT SHEET WITH SHADOWLINE REVEALS - SAND
- 3 COMPRESSED FIBROUS CEMENT SHEET, SMOOTH FINISH - CHARCOAL
- 4 HORIZONTAL BOARD FINISH - TIMBER LOOK
- 5 STACK BOND MASONRY - OFF WHITE
- 6 SMOOTH PARGED FINISH - CHARCOAL
- 7 GLAZING & BALUSTRADES - CLEAR VISION GLASS
- 8 WINDOW / DOOR FRAMING: MATTE BLACK
- 9 TIMBER BATTEN PERGOLA, SHADE AND BALUSTRADE FRAMING - JATOBA
- 10 PERFORATED METAL BOARD
- 11 TIMBER TRELLIS CANOPY

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NO.	DATE	DESCRIPTION
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H	20/10/23	DP RESUBMISSION
G	13/10/23	DP RESUBMISSION
F	17/08/23	PRE COMMENTS
E	03/05/23	DP RESUBMISSION
D	06/04/23	PRE DP REVIEW
C	14/02/23	DP SUBMISSION
B	13/01/23	PRE DP REVIEW
A	03/11/22	Review

**RECORD OF REVISIONS**

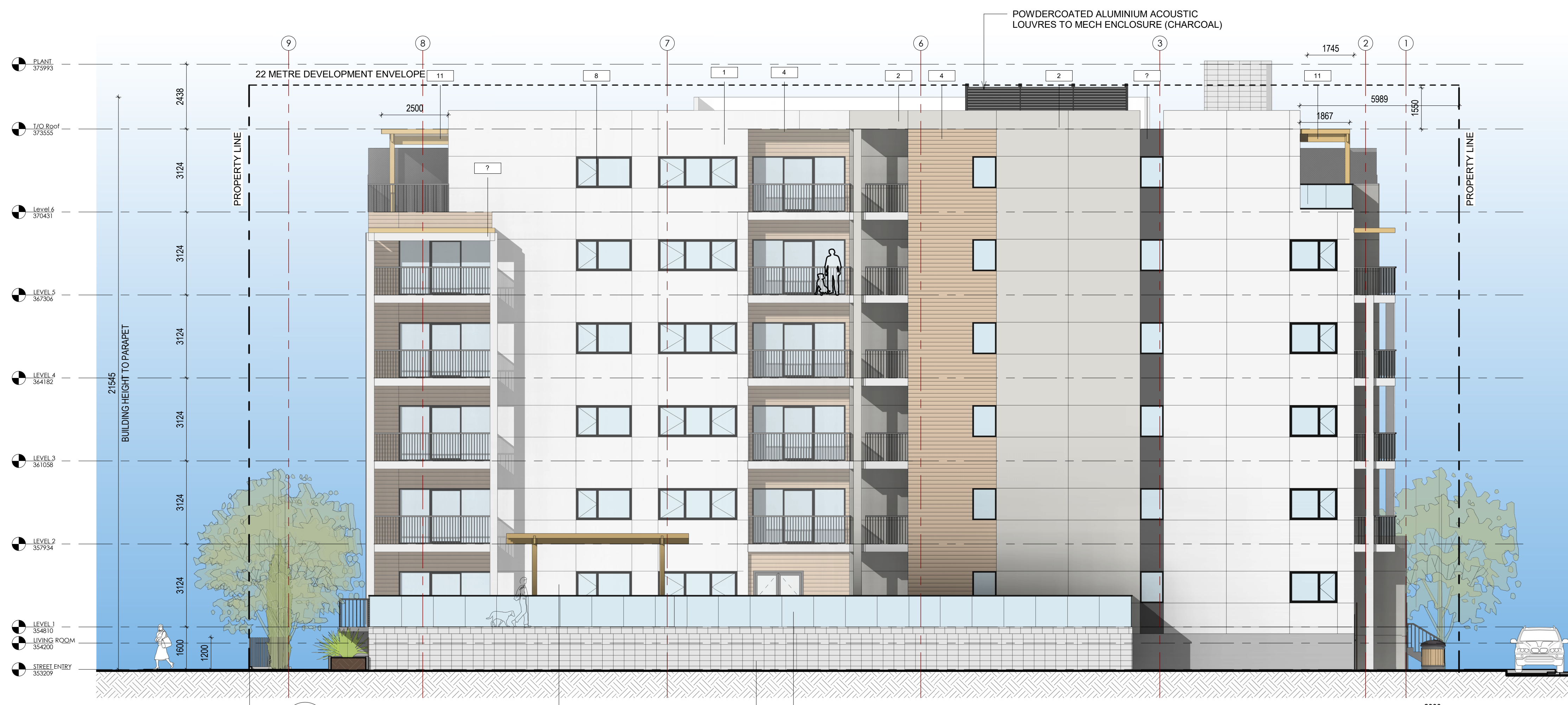
Project  
**1310 & 1320 BELAIRE AVE.**  
 RESIDENTIAL DEVELOPMENT  
 1310 1320 Belaire Ave.  
 Kelowna, BC.

**SHEET TITLE**

**BUILDING ELEVATIONS**  
 Job Number: 22.1051  
 Issue Date: 2024.06.14  
 Scale: 1 : 100  
 Drawing Number: A3.1



1 East Elevation  
 A3.1 1 : 100

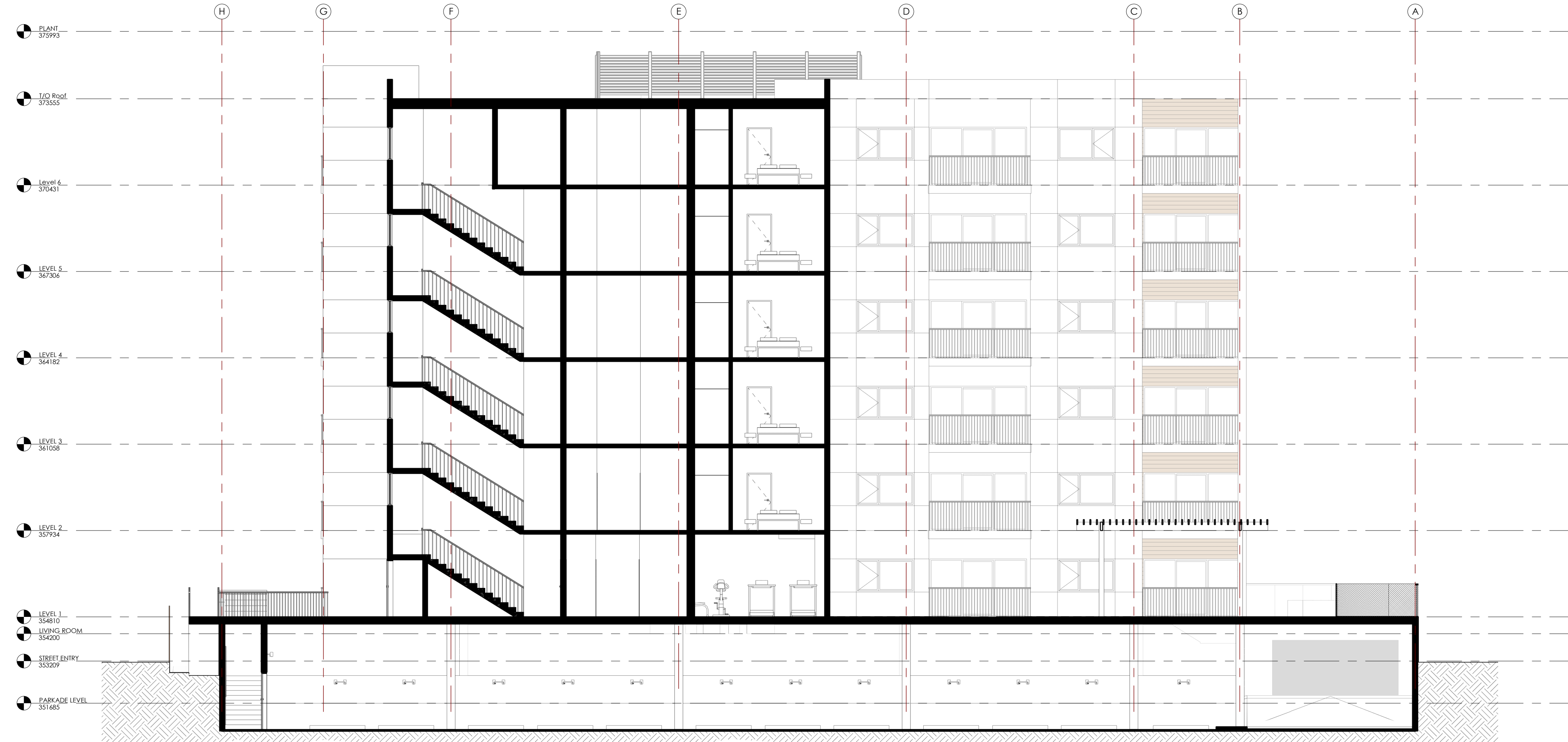


2 West Elevation  
 A3.1 1 : 100

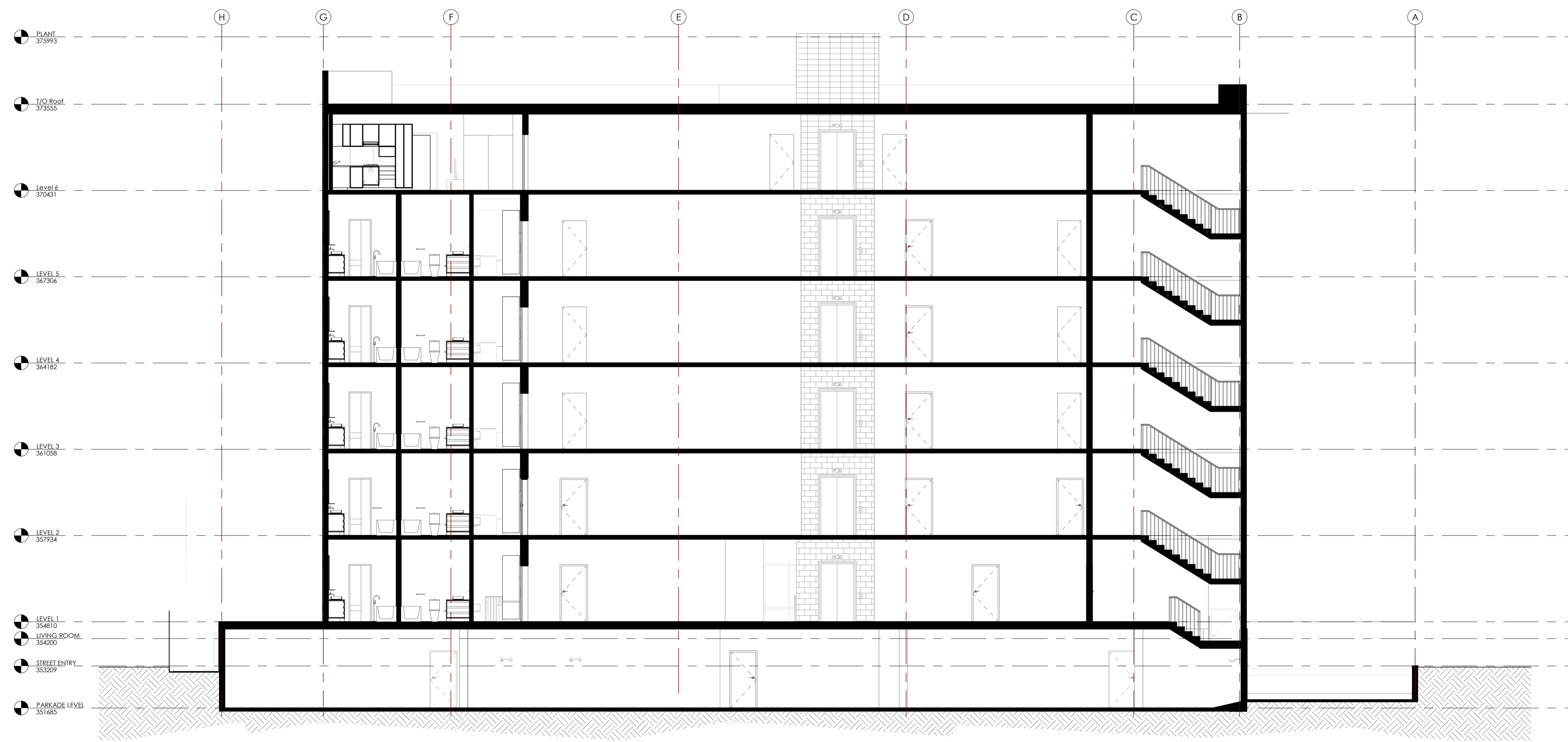
**SCHEDULE B**  
 This forms part of application # DP23-0095  
 City of Kelowna  
 COMMUNITY PLANNING  
 Planner Initials: AF

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1 Section 01  
 A4.0 1 : 100



2 Section 02  
 A4.0 1 : 100

NO.	DATE	DESCRIPTION
H	12/04/24	DP RESUBMISSION
G	20/10/23	DP RESUBMISSION
F	18/07/23	DP RESUBMISSION
E	17/08/23	IRS COMMENTS
D	03/05/23	DP RESUBMISSION
C	06/04/23	PRE DP REVIEW
B	14/02/23	DP SUBMISSION
A	13/01/23	PRE-DP REVIEW

Project  
**1310 & 1320 BELAIRE AVE.**  
 RESIDENTIAL DEVELOPMENT  
 1310 1320 Belaire Ave.  
 Kelowna, BC.

Sheet Title  
**BUILDING SECTIONS**

Job Number 22.1051  
 Issue Date 2024.06.14  
 Scale 1 : 100  
 Drawing Number

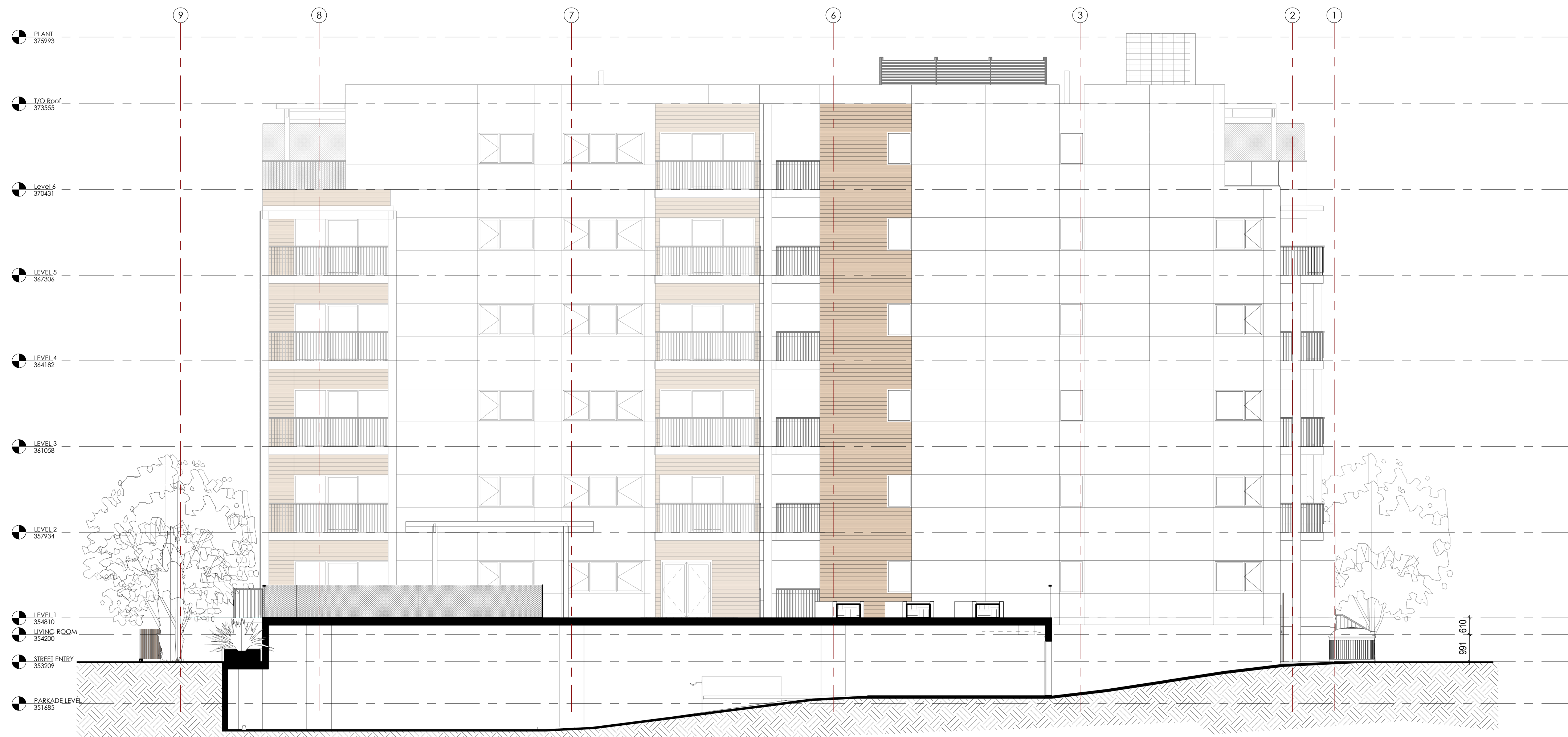
**SCHEDULE B**  
 This forms part of application # DP23-0095  
 City of Kelowna  
 COMMUNITY PLANNING  
 Planner Initials AF

**REZONING & DEVELOPMENT PERMIT**

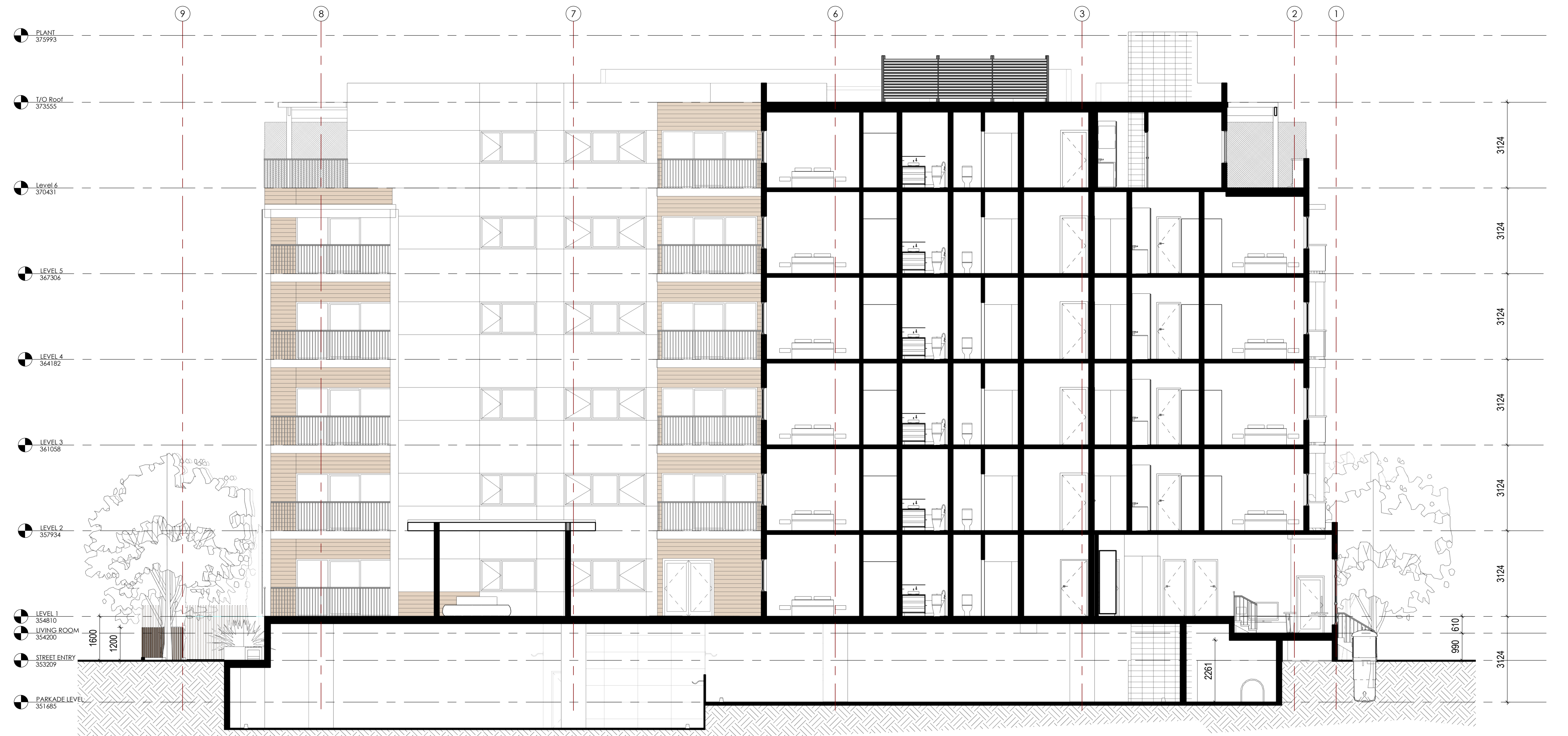
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2024-08-16



**2 Section 03**  
 A4.1 1 : 100



**1 Section 04**  
 A4.1 1 : 100

H	12/04/24	DP RESUBMISSION
G	20/10/23	DP RESUBMISSION
F	13/07/23	DP RESUBMISSION
E	17/08/23	IRS COMMENTS
D	03/05/23	DP RESUBMISSION
C	06/04/23	PRE DP REVIEW
B	14/02/23	DP SUBMISSION
A	13/01/23	PRE-DP REVIEW

NO.	DATE	DESCRIPTION
RECORD OF REVISIONS		

Project  
**1310 & 1320 BELAIRE AVE.**  
 RESIDENTIAL DEVELOPMENT  
 1310 1320 Belaire Ave.  
 Kelowna, BC.

Sheet Title  
**BUILDING SECTIONS**

Job Number 22.1051

Issue Date 2024.06.14

Scale 1 : 100

Drawing Number

**SCHEDULE B**  
 This forms part of application  
 # DP23-0095  
 Planner Initials AF  
 City of Kelowna  
 COMMUNITY PLANNING

**A4.1**

2024-08-16 3:46:03 PM





1 3D View 1  
A9.0



2 3D View 2  
A9.0



3 3D View 3  
A9.0



4 3D View 4  
A9.0

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Seal



2024-08-16

H	12/04/24	DP RESUBMISSION
G	20/10/23	DP RESUBMISSION
F	15/10/23	DP RESUBMISSION
E	17/08/23	IRS COMMENTS
D	03/05/23	DP RESUBMISSION
C	04/04/23	PRE DP REVIEW
B	14/02/23	DP SUBMISSION
A	13/01/23	PRE-DP REVIEW

NO.	DATE	DESCRIPTION
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RECORD OF REVISIONS

Project  
**1310 & 1320 BELAIRE AVE.**  
RESIDENTIAL DEVELOPMENT  
1310 1320 Belaire Ave.  
Kelowna, BC.

Sheet Title  
**PERSPECTIVES**

Job Number 22.1051

Issue Date 2024.06.14

Scale

Drawing Number

**A9.0**

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**SCHEDULE B**  
This forms part of application  
# DP23-0095  
Planner Initials AF  
**City of Kelowna**  
COMMUNITY PLANNING

2024-08-16 3:47:03 PM



**SCHEDULE C**  
 This forms part of application  
 # DP23-0095

Planner Initials: AF

City of Kelowna  
 COMMUNITY PLANNING



**LEGEND**

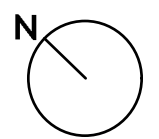
- CONCRETE PAVING
- ROCK MULCH
- CRUSHER FINES
- UNIT PAVERS
- PERMEABLE PAVERS
- DECORATIVE SHRUB, PERENNIAL, & ORNAMENTAL GRASS PLANTINGS
- ARTIFICIAL TURF
- VEGETABLE PLANTERS
- WOOD MULCH SURFACING
- EXISTING TURF BOULEVARD
- DECIDUOUS TREE PLANTING
- CONIFEROUS TREE PLANTING
- CHAINLINK FENCE (1.2m HT)
- SOLID PRIVACY SCREEN
- SOLID SCREEN FENCING (1.8M HT.)
- EXTENT OF SOIL CELLS

**NOTES**

- PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS. ALL OFFSITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 12375 STANDARDS.
- ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
- TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm WOOD MULCH. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
- GROWING MEDIUM SHALL BE PLACED AT 300mm MIN. DEPTH IN ALL PLANTING AREAS, AND 1 cu.m. MIN. DEPTH IN TREE PITS, AS SHOWN ON DRAWINGS, EXCEPT WHERE CANADIAN LANDSCAPE STANDARDS DESIGNATES A GREATER DEPTH BASED ON SEVERITY OF COMPACTION AND GRADING, UNLESS OTHERWISE NOTED. CONTRACTOR TO IMPORT GROWING MEDIUM OR SCREEN, AMEND & PLACE STOCKPILED ON SITE TOPSOIL. GROWING MEDIUM IS TO MEET TYPE 2P FOR PLANTING AREAS AND TREE PITS AS PER TABLE T-6.3.5.3 IN THE LATEST EDITION OF THE CANADIAN LANDSCAPE STANDARD.
- SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON OR PRIVATE PROPERTIES.

**PLANT LIST**

BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
<b>TREES</b>			
CORNUS KOUSA	KOUSA DOGWOOD	2	3m CAL
KOELREUTERIA PANICULATA	GOLDENRAIN TREE	1	4m CAL
PINUS NIGRA 'ARNOLD SENTINEL'	ARNOLD SENTINEL AUSTRIAN BLACK PINE	10	2.5m HT.
QUERCUS MACROCARPA	BUR OAK	3	5m CAL
TILIA CORDATA 'CORZAM'	LITTLELEAF LINDEN	2	5m CAL
<b>SHRUBS</b>			
BUXUS 'GREEN VELVET'	GREEN VELVET BOXWOOD	36	#02 CONT. /1.0M O.C. SPACING
EUCONYMIUS ALATUS 'COMPACTA'	DWARF BURNING BUSH	9	#02 CONT. /2.0M O.C. SPACING
PHYSCOCARPUS OPULIFOLIUS 'SPOTW'	TINY WINE NINEBARK	25	#02 CONT. /1.2M O.C. SPACING
SPIRAEA JAPONICA 'GOLDMOUND'	GOLDMOUND SPIRAEA	25	#02 CONT. /1.2M O.C. SPACING
VIBURNUM TRILOBUM 'BAILEY COMPACT'	BAILEY COMPACT AMERICAN CRANBERRY	11	#02 CONT. /1.8M O.C. SPACING
<b>PERENNIALS, GRASSES &amp; GROUNDCOVERS</b>			
ASTER ALPINUS 'DARK BEAUTY'	DARK BEAUTY ALPINE ASTER	31	#01 CONT. /0.6M O.C. SPACING
ASTER ALPINUS 'GOLIATH'	GOLIATH ALPINE ASTER	31	#01 CONT. /0.6M O.C. SPACING
ASTER FRIKARTII 'MONCH'	FRIKART'S ASTER	8	#01 CONT. /1.2M O.C. SPACING
CALAMAGROSTIS X ACUTIFLORA 'KARL FOERESTER'	KARL FOERESTER REED GRASS	14	#01 CONT. /0.9M O.C. SPACING
ECHINACEA PURPUREA 'MAGNUS'	MAGNUS CONEFLOWER	11	#01 CONT. /1.0M O.C. SPACING
ECHINACEA PURPUREA 'PRAIRIE SPLENDOR'	PRAIRIE SPLENDOR CONEFLOWER	31	#01 CONT. /0.6M O.C. SPACING
HAKONECHLOA MACRA	JAPANESE FOREST GRASS	31	#01 CONT. /0.6M O.C. SPACING
HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	31	#01 CONT. /0.6M O.C. SPACING
IRIS GERMANICA 'CRANBERRY ICE'	BERRY RED BEARDED IRIS	11	#01 CONT. /1.0M O.C. SPACING
LAVANDULA ANGUSTIFOLIA 'HIDCOTE'	HIDCOTE ENGLISH LAVENDER	31	#01 CONT. /0.6M O.C. SPACING
SALVIA MEMOROSA 'MAY NIGHT'	MAY NIGHT SALVIA	11	#01 CONT. /1.0M O.C. SPACING



PROJECT TITLE  
**1310 & 1320 BELAIRE AVE**

Kelowna, BC

DRAWING TITLE  
**CONCEPTUAL LANDSCAPE PLAN**

ISSUED FOR / REVISION

NO.	DATE	REVISION
1	23.01.24	Issued for DP
2	23.04.20	Issued for DP
3	23.09.14	Issued for DP
4		
5		

PROJECT NO: 22-1261  
 DESIGN BY: PH  
 DRAWN BY: AMC / PH  
 CHECKED BY: FB  
 DATE: SEP. 14, 2023  
 SCALE: 1:125  
 PAGE SIZE: 24"x36"

SEAL



DRAWING NUMBER

**LS-101**

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Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying &amp; 5 is highly complying)</i>	N/A	1	2	3	4	5
<b>2.1 General residential &amp; mixed use guidelines</b>						
<b>2.1.1 Relationship to the Street</b>	N/A	1	2	3	4	5
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.						✓
b. On corner sites, orient building facades and entries to both fronting streets.	✓					
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.						✓
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.						✓
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.						✓
f. Avoid blank, windowless walls along streets or other public open spaces.						✓
g. Avoid the use of roll down panels and/or window bars on retail and commercial frontages that face streets or other public open spaces.	✓					
h. In general, establish a street wall along public street frontages to create a building height to street width ration of 1:2, with a minimum ration of 11:3 and a maximum ration of 1:1.75. <ul style="list-style-type: none"> <li>Wider streets (e.g. transit corridors) can support greater streetwall heights compared to narrower streets (e.g. local streets);</li> <li>The street wall does not include upper storeys that are setback from the primary frontage; and</li> <li>A 1:1 building height to street width ration is appropriate for a lane of mid-block connection condition provided the street wall height is no greater than 3 storeys.</li> </ul>						✓
<b>2.1.2 Scale and Massing</b>	N/A	1	2	3	4	5
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.	✓					
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.						✓
c. Step back the upper storeys of buildings and arrange the massing and siting of buildings to: <ul style="list-style-type: none"> <li>Minimize the shadowing on adjacent buildings as well as public and open spaces such as sidewalks, plazas, and courtyards; and</li> </ul>						✓

<ul style="list-style-type: none"> <li>Allow for sunlight onto outdoor spaces of the majority of ground floor units during the winter solstice.</li> </ul>						
<b>2.1.3 Site Planning</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.						✓
b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.						✓
c. Limit the maximum grades on development sites to 30% (3:1)						✓
d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: <ul style="list-style-type: none"> <li>Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible;</li> <li>Incorporating terracing to create usable open spaces around the building</li> <li>Using the slope for under-building parking and to screen service and utility areas;</li> <li>Design buildings to access key views; and</li> <li>Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped).</li> </ul>	✓					
e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planned future public street, bicycle, and/or pedestrian network.						✓
f. Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks.	✓					
g. Apply universal accessibility principles to primary building entries, sidewalks, plazas, mid-block connections, lanes, and courtyards through appropriate selection of materials, stairs, and ramps as necessary, and the provision of wayfinding and lighting elements.						✓
<b>2.1.4 Site Servicing, Access, and Parking</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view.						✓
b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.						✓
c. Avoid locating off-street parking between the front façade of a building and the fronting public street.						✓
d. In general, accommodate off-street parking in one of the following ways, in order of preference: <ul style="list-style-type: none"> <li>Underground (where the high water table allows)</li> </ul>						✓

<ul style="list-style-type: none"> <li>• Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage);</li> <li>• Garages or at-grade parking integrated into the building (located at the rear of the building); and</li> <li>• Surface parking at the rear, with access from the lane or secondary street wherever possible.</li> </ul>						
e. Design parking areas to maximize rainwater infiltration through the use of permeable materials such as paving blocks, permeable concrete, or driveway planting strips.	✓					
f. In cases where publicly visible parking is unavoidable, screen using strategies such as: <ul style="list-style-type: none"> <li>• Landscaping;</li> <li>• Trellises;</li> <li>• Grillwork with climbing vines; or</li> <li>• Other attractive screening with some visual permeability.</li> </ul>	✓					
g. Provide bicycle parking at accessible locations on site, including: <ul style="list-style-type: none"> <li>• Covered short-term parking in highly visible locations, such as near primary building entrances; and</li> <li>• Secure long-term parking within the building or vehicular parking area.</li> </ul>						✓
h. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.						✓
i. Consolidate driveway and laneway access points to minimize curb cuts and impacts on the pedestrian realm or common open spaces.						✓
j. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping.						✓
<b>2.1.5 Streetscapes, Landscapes, and Public Realm Design</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Site buildings to protect mature trees, significant vegetation, and ecological features.	✓					
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.						✓
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.						✓
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.						✓
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: <ul style="list-style-type: none"> <li>• Locating outdoor spaces where they will receive ample sunlight throughout the year;</li> <li>• Using materials and colors that minimize heat absorption;</li> <li>• Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and</li> <li>• Using building mass, trees and planting to buffer wind.</li> </ul>						✓

f. Use landscaping materials that soften development and enhance the public realm.						✓
g. Plant native and/or drought tolerant trees and plants suitable for the local climate.						✓
h. Select trees for long-term durability, climate and soil suitability, and compatibility with the site's specific urban conditions.						✓
i. Design sites and landscapes to maintain the pre-development flows through capture, infiltration, and filtration strategies, such as the use of rain gardens and permeable surfacing.						✓
j. Design sites to minimize water use for irrigation by using strategies such as: <ul style="list-style-type: none"> <li>• Designing planting areas and tree pits to passively capture rainwater and stormwater run-off; and</li> <li>• Using recycled water irrigation systems.</li> </ul>	✓					
k. Create multi-functional landscape elements wherever possible, such as planting areas that also capture and filter stormwater or landscape features that users can interact with.	✓					
l. Select materials and furnishings that reduce maintenance requirements and use materials and site furnishings that are sustainably sourced, re-purposed or 100% recycled.	✓					
m. Use exterior lighting to complement the building and landscape design, while: <ul style="list-style-type: none"> <li>• Minimizing light trespass onto adjacent properties;</li> <li>• Using full cut-off lighting fixtures to minimize light pollution; and</li> <li>• Maintaining lighting levels necessary for safety and visibility.</li> </ul>	✓					
n. Employ on-site wayfinding strategies that create attractive and appropriate signage for pedestrians, cyclists, and motorists using a 'family' of similar elements.						✓
<b>2.1.6 Building Articulation, Features and Materials</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: <ul style="list-style-type: none"> <li>• Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks;</li> <li>• Repeating window patterns on each step-back and extension interval;</li> <li>• Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and</li> <li>• Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval.</li> </ul>						✓
b. Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs.						✓

Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters; ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.						
c. Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.						✓
d. Design buildings such that their form and architectural character reflect the buildings internal function and use.						✓
e. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.			✓			
f. Provide weather protection such as awnings and canopies at primary building entries.						✓
g. Place weather protection to reflect the building's architecture.						✓
h. Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.	✓					
i. Provide visible signage identifying building addresses at all entrances.	✓					

SECTION 4.0: LOW & MID-RISE RESIDENTIAL MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying &amp; 5 is highly complying)</i>	N/A	1	2	3	4	5
<b>4.1 Low &amp; mid-rise residential &amp; mixed use guidelines</b>						
<b>4.1.1 Relationship to the Street</b>	N/A	1	2	3	4	5
i. Ensure lobbies and main building entries are clearly visible from the fronting street.						✓
j. Avoid blank walls at grade wherever possible by: <ul style="list-style-type: none"> <li>• Locating enclosed parking garages away from street frontages or public open spaces;</li> <li>• Using ground-oriented units or glazing to avoid creating dead frontages; and</li> <li>• When unavoidable, screen blank walls with landscaping or incorporate a patio café or special materials to make them more visually interesting.</li> </ul>						✓
<b>Residential &amp; Mixed Use Buildings</b>						
k. Set back residential buildings on the ground floor between 3-5 m from the property line to create a semi-private entry or transition zone to individual units and to allow for an elevated front entryway or raised patio. <ul style="list-style-type: none"> <li>• A maximum 1.2 m height (e.g. 5-6 steps) is desired for front entryways.</li> </ul>						✓

<ul style="list-style-type: none"> <li>Exceptions can be made in cases where the water table requires this to be higher. In these cases, provide a larger patio and screen parking with ramps, stairs and landscaping.</li> </ul>						
l. Incorporate individual entrances to ground floor units accessible from the fronting street or public open spaces.						✓
m. Site and orient buildings so that windows and balconies overlook public streets, parks, walkways, and shared amenity spaces while minimizing views into private residences.						✓
<b>4.1.2 Scale and Massing</b>	N/A	1	2	3	4	5
a. Residential building facades should have a maximum length of 60 m. A length of 40 m is preferred.						✓
b. Residential buildings should have a maximum width of 24 m.						✓
c. Buildings over 40 m in length should incorporate a significant horizontal and vertical break in the façade.	✓					
<b>4.1.3 Site Planning</b>	N/A	1	2	3	4	5
a. On sloping sites, floor levels should step to follow natural grade and avoid the creation of blank walls.	✓					
b. Site buildings to be parallel to the street and to have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior court yards: <ul style="list-style-type: none"> <li>Building sides that interface with streets, mid-block connections and other open spaces and should positively frame and activate streets and open spaces and support pedestrian activity; and</li> <li>Building sides that are located away from open spaces (building backs) should be designed for private/shared outdoor spaces and vehicle access.</li> </ul>						✓
c. Break up large buildings with mid-block connections which should be publicly-accessible wherever possible.	✓					
d. Ground floors adjacent to mid-block connections should have entrances and windows facing the mid-block connection.	✓					
<b>4.1.4 Site Servicing, Access and Parking</b>	N/A	1	2	3	4	5
a. Vehicular access should be from the lane. Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access may be provided from the street, provided: <ul style="list-style-type: none"> <li>Access is from a secondary street, where possible, or from the long face of the block;</li> <li>Impacts on pedestrians and the streetscape is minimised; and</li> <li>There is no more than one curb cut per property.</li> </ul>						✓
b. Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms and should be screened from public view with active retail uses, active residential uses, architectural or landscaped screening elements.						✓
c. Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations:						✓



<ul style="list-style-type: none"> <li>Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and</li> <li>Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized.</li> </ul>						
<b>4.1.5 Publicly-Accessible and Private Open Spaces</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Integrate publicly accessible private spaces (e.g. private courtyards accessible and available to the public) with public open areas to create seamless, contiguous spaces.						✓
b. Locate semi-private open spaces to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.						✓
<b>Outdoor amenity areas</b>						
c. Design internal courtyards to: <ul style="list-style-type: none"> <li>Provide amenities such as play areas, barbecues, and outdoor seating where appropriate.</li> <li>Provide a balance of hardscape and softscape areas to meet the specific needs of surrounding residents and/or users.</li> </ul>						✓
d. Design mid-block connections to include active frontages, seating and landscaping.	✓					
<b>Rooftop Amenity Spaces</b>						
e. Design shared rooftop amenity spaces (such as outdoor recreation space and rooftop gardens on the top of a parkade) to be accessible to residents and to ensure a balance of amenity and privacy by: <ul style="list-style-type: none"> <li>Limiting sight lines from overlooking residential units to outdoor amenity space areas through the use of pergolas or covered areas where privacy is desired; and</li> <li>Controlling sight lines from the outdoor amenity space into adjacent or nearby residential units by using fencing, landscaping, or architectural screening.</li> </ul>						✓
f. Reduce the heat island affect by including plants or designing a green roof, with the following considerations: <ul style="list-style-type: none"> <li>Secure trees and tall shrubs to the roof deck; and</li> <li>Ensure soil depths and types are appropriate for proposed plants and ensure drainage is accommodated.</li> </ul>						✓
<b>4.1.6 Building Articulation, Features, and Materials</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20 m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance and include: <ul style="list-style-type: none"> <li>Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the façade;</li> <li>Repeating window pattern intervals that correspond to extensions and step backs (articulation) in the building façade;</li> <li>Providing a porch, patio, deck, or covered entry for each interval;</li> </ul>						✓

<ul style="list-style-type: none"> <li>• Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance;</li> <li>• Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval;</li> <li>• Changing the materials with the change in building plane; and</li> <li>• Provide a lighting fixture, trellis, tree or other landscape feature within each interval.</li> </ul>						
b. Break up the building mass by incorporating elements that define a building's base, middle and top.						✓
c. Use an integrated, consistent range of materials and colors and provide variety, by for example, using accent colors.						✓
d. Articulate the façade using design elements that are inherent to the buildings as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.						✓
e. Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows, and adding awnings or canopies.						✓
f. Provide weather protection (e.g. awnings, canopies, overhangs, etc.) along all commercial streets and plazas with particular attention to the following locations: <ul style="list-style-type: none"> <li>• Primary building entrances;</li> <li>• Adjacent to bus zones and street corners where people wait for traffic lights;</li> <li>• Over store fronts and display windows; and</li> <li>• Any other areas where significant waiting or browsing by people occurs.</li> </ul>						✓
g. Architecturally-integrate awnings, canopies, and overhangs to the building and incorporate architectural design features of buildings from which they are supported.						✓
h. Place and locate awnings and canopies to reflect the building's architecture and fenestration pattern.						✓
i. Place awnings and canopies to balance weather protection with daylight penetration. Avoid continuous opaque canopies that run the full length of facades.						✓
j. Provide attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw.	✓					
k. Avoid the following types of signage: <ul style="list-style-type: none"> <li>• Internally lit plastic box signs;</li> <li>• Pylon (stand alone) signs; and</li> </ul>	✓					

<ul style="list-style-type: none"> <li>• Rooftop signs.</li> </ul>						
<ul style="list-style-type: none"> <li> <ul style="list-style-type: none"> <li>l. Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.</li> </ul> </li> </ul>	✓					