



c/o, Ryan Smith
Community Planning Manager
City of Kelowna
September 02, 2016

Okanagan Centre for Innovation (OCI) – Rooftop Café Alterations

Development Permit Amendment Design Rationale

Ryan,

As a follow up to our meeting on August 22nd, 2016 I am pleased to describe the nature of the alterations to the Okanagan Centre of Innovation (OCI) as a result of the addition of a rooftop café on the eastern side of level 7.

AREA & HEIGHT

The addition of the rooftop café has been carefully considered from an area standpoint as it relates to the other rooms and spaces on the seventh floor. In an effort to reduce the area gain a storage room that was previously located at the northeast corner of the east core. As a result the overall area gain is clouded on drawing A1.01 and is approximately 500 square feet. The red dashed line shown on drawing A3.07 shows the extents of the BP exterior wall for reference.

The height of the rooftop café has been purposely kept low to align the wrapper, or trim element, that acts as a cornice with the arcade wrapper and west bbq wrapper. The underside of these elements is approximately 8'-6" and provides a human scale to the entries as well as offering weather protection. The heights of the rooftop mechanical units, their associated floors and guardrail height pony walls have been altered. The top of these walls and the units exceeds that of the café by approximately 5'.

WARMTH IN MATERIALS

The proposed material palette of the rooftop café has been strategically chosen to allow it to relate directly to the OCI yet distinguish itself through colour. The primary cladding material of the café is cedar siding installed both vertically to speak to the OCI, and also horizontally on return walls. The siding is stained with a grey finish to resemble weather aged cedar and tie more closely to the wooden decking tiles that abut the walls clad in siding. The metal trimming elements which are clear anodized in finish on the remainder of the OCI are black anodized to provide a distinguished accent colour.

CATERING & ANIMATION

When one looks at the intent of the rooftop café it can be viewed as a logical expansion of the catering kitchen that was shown in the BP drawings as it will serve as the prep and staging space for catered events. A warming kitchen is proposed to be included in the café and in the research done by the café operator it became apparent that there was a need for more area than the former catering kitchen provided to ensure that the quality of food service was of a standard befitting of the facility. The café will also serve as a social hub for the project and provide a level of animation an otherwise open roof deck might not.

I hope that you find this summary satisfactory and please don't hesitate to call if you have any questions.

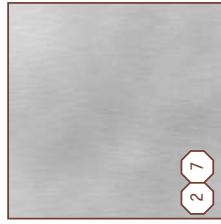
Yours truly,

Stoke Tonne, Architect AIBC, MRAIC, LEED AP

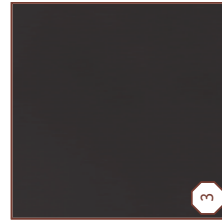
201 – 75 FRONT STREET	PENTICTON BC	V2A 1H2	t: 250.492.3143	e: pen-mai@shaw.ca
233 BERNARD AVENUE	KELOWNA BC	V1Y 6N2	t: 250.762.3004	e: kel-mai@shaw.ca



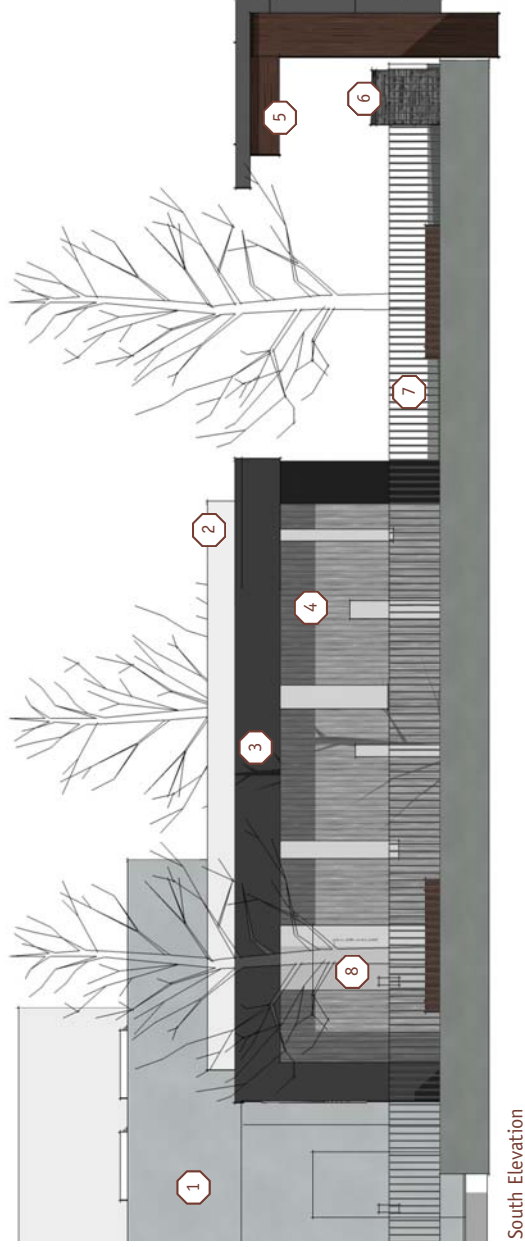
1:Exterior Insulated Finish System
Medium Grey



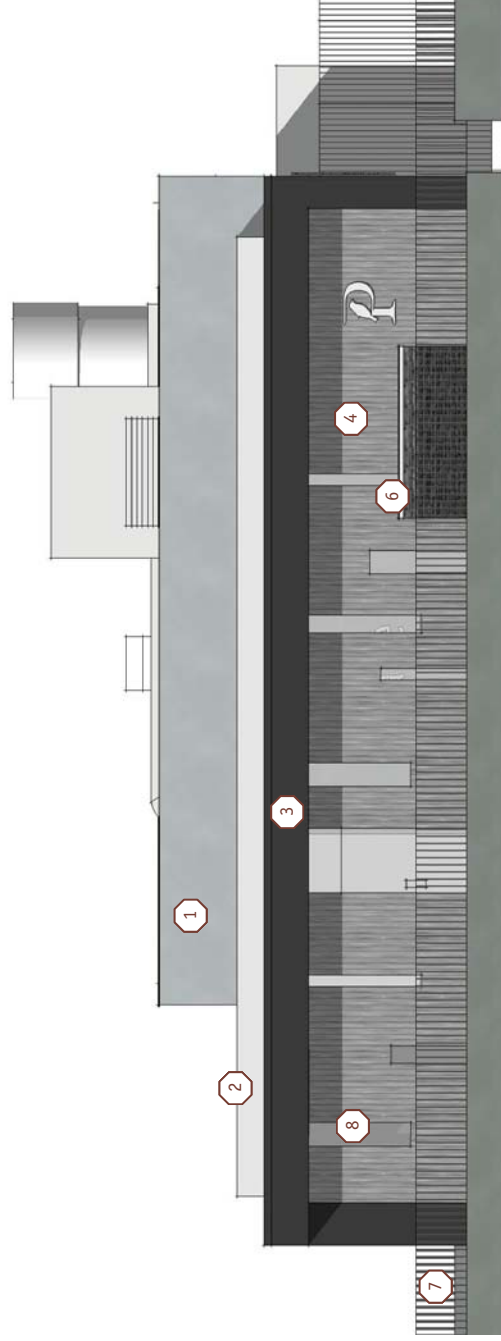
2:Parapet Flashing
7:Painted Steel Guardrail
Silver Metallic Finish



3:Metal Panel
8:Aluminium Window&Door Frames
Black Anodized c/w Clear Vision Glazing



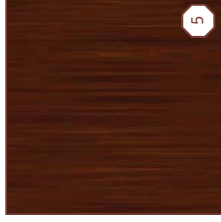
South Elevation



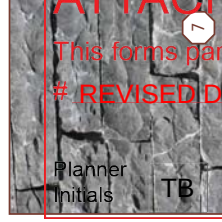
East Elevation



4:Wood Siding
Vertical & Horizontal T&G Cedar
Weathered Grey Stain



5:Feature Wood Structure
Engineered Wood
Walnut Stain
to match Library Columns



7:Fast Finish
Ledger, Plyon, Veneer
Ledge, Plyon, Veneer

ATTACHMENT A

This forms part of application # **REVISED DP# 0093-02**

Planner Initials TB



View Looking
Northwest



View Looking
Southwest



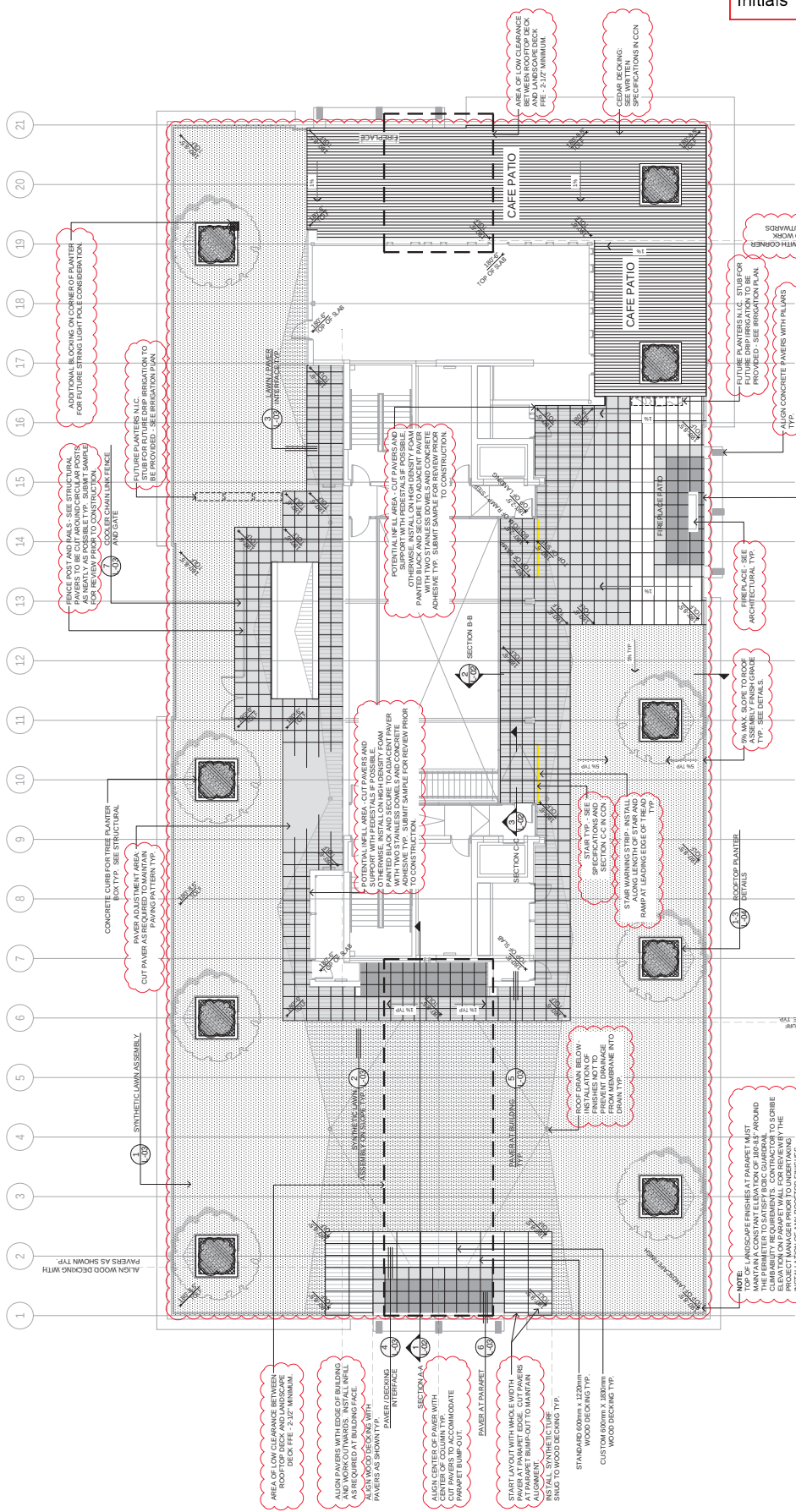
ATTACHMENT B

This forms part of application
REVISED DP14-0093-02

Planner
Initials

TB





NOTES:

- SEE IRRIGATION PLANS FOR IRRIGATION LAYOUT AND DETAILS
- SEE L-04 FOR PLANTING PLAN
- SEE ARCHITECTURAL FOR ROOF INSULATION AND MEMBRANE
- SEE STRUCTURAL FOR ROOF TOP GRADING AND DRAINAGE

LEGEND

- [illegible]

ISSUED FOR
CCN #11-7
2016-08-02
urhansystems.ca

SURVEY INFORMATION
PREPARED BY: RUNNALLS DENBY
COORD SYSTEM

DISCLAIMER

The seal and signature of the undersigned on this drawing certifies that the design information contained herein was designed accurately reflecting the original design and the material design changes made during construction, that were brought to the undersigned's attention. These drawings are intended to incorporate additions, change orders and other material design changes, but not necessarily all of the instructions. The undersigned is not warrant or guarantee, nor accept any responsibility for the accuracy or completeness of information supplied by others contained in these drawings, but, by signing and drawing, certifies that the information, if accurate and complete, provides a system which substantially complies in all material respects with the original design intent.

UP LTD.

[illegible]

This forms part of application

REVISED DP14-0993-02



City of
Kelowna
COMMUNITY PLANNING

Planner
Initials

TB

SCALE: 1:250

DATE: April 8, 2015

DWG: 10462 Main Floor

FILE No: 14062

DRAWN BY: RUNNALLS DENBY

british columbia land surveyors

255A Lawrence Avenue
Kelowna, B.C.
V1Y 6L2
Phone: (250)763-7322
Fax: (250)763-4413
Email: net@runnallsdenny.com

CLIENT: KELOWNA SUSTAINABLE INNOVATION GROUP

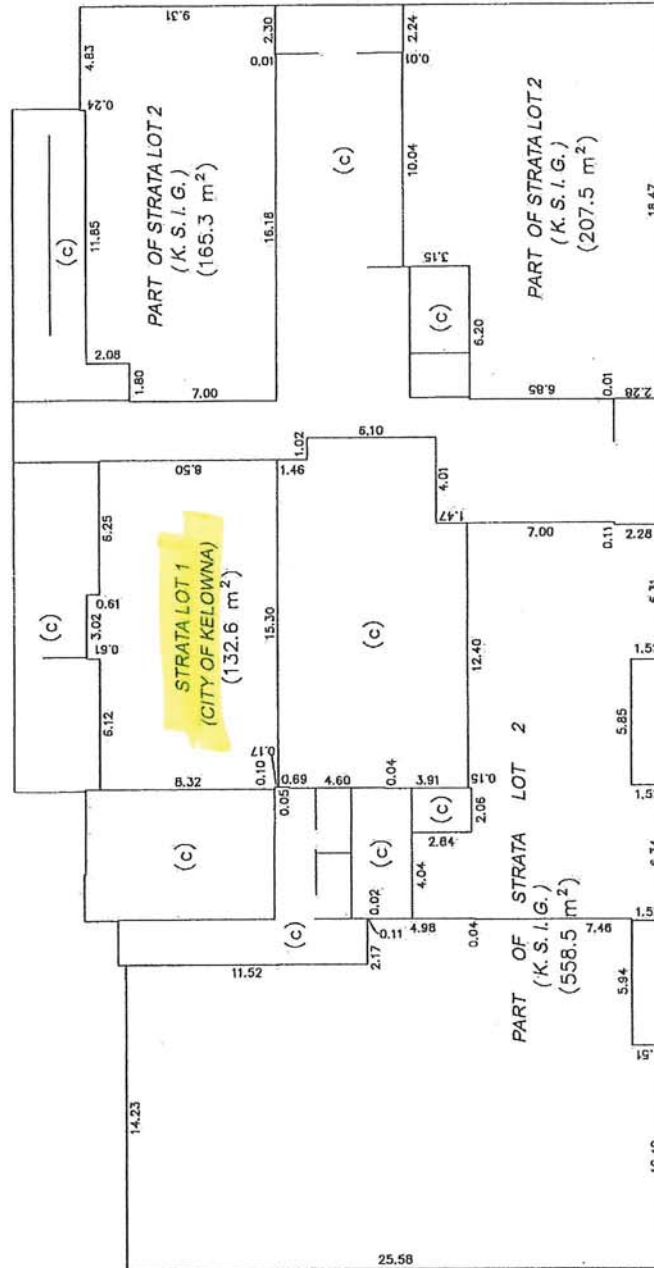
PRELIMINARY STRATA PLAN OF PARCELA,
D.L. 139, O.D.Y.D., AIR SPACE PLAN
EPP44678

LEGEND

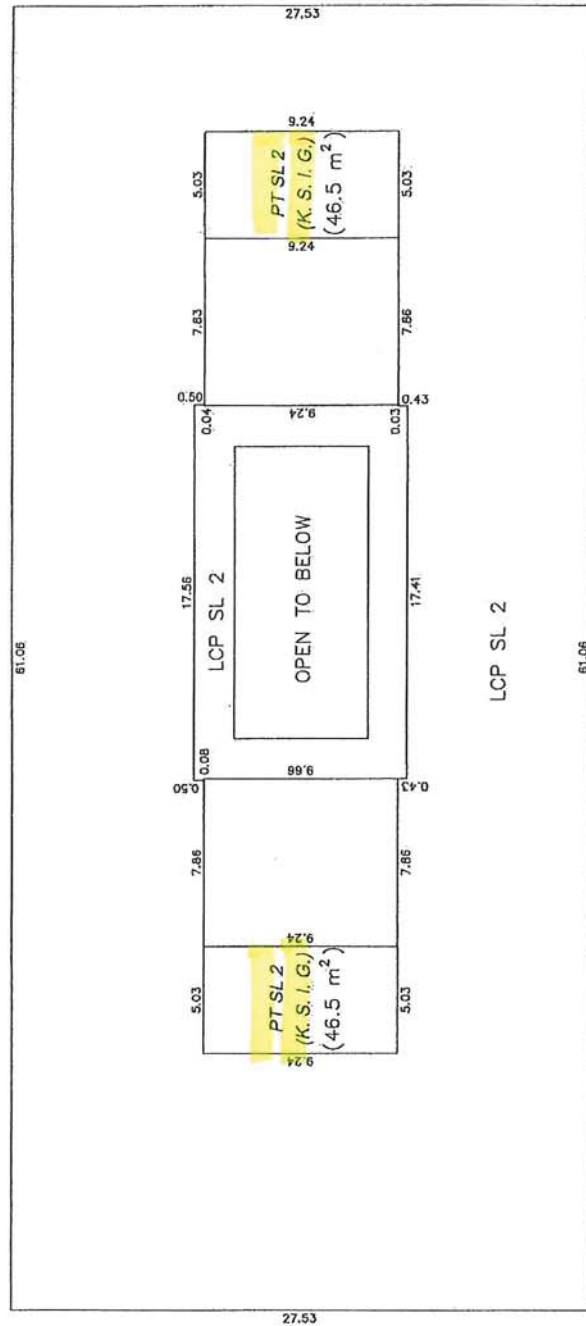
SL Denotes Strata Lot
LC Denotes Limited Common Property
(c) Denotes Common Property

DIMENSIONS SHOWN TAKEN FROM ARCHITECTURAL PLANS PROVIDED BY
MEIKLEJOHN ARCHITECTS INC. (DATED NOVEMBER 3, 2014)

MAIN FLOOR



ROOF FLOOR



Planner
Initials

TB

SCALE: 1:250

DATE: April 8, 2015

DWG: 14062 Roof Floor

REV: 0
FILE No: 14062

DRAWN BY: RUNNALLS DENBY

british columbia land surveyors

255A Lawrence Avenue
Kelowna, B.C.
V1Y 6L2
Phone: (250)763-7322
Fax: (250)763-4413
Email: nell@runnallsdenby.com

CLIENT: KELOWNA SUSTAINABLE INNOVATION GROUP

PRELIMINARY STRATA PLAN OF PARCELA,
D.L. 139, O.D.Y.D., AIR SPACE PLAN
EPP44678

LEGEND
SL Denotes Strata Lot
LCP Denotes Limited Common Property
PT Denotes part of
(c) Denotes Common Property

DIMENSIONS SHOWN TAKEN FROM ARCHITECTURAL PLANS PROVIDED BY
MEIKLEJOHN ARCHITECTS INC. (DATED NOVEMBER 3, 2014)



Kelowna Sustainable Innovation Group Ltd.

October 17th, 2016

Mr. Ryan Smith

Community Planning Manager
Kelowna City Hall
1435 Water Street
Kelowna, BC, Canada
V1Y 1J4

Re: Report to Council

Dear Ryan,

As a follow-up to our meeting last week and per your request, the Kelowna Sustainable Innovation Group Ltd. has prepared the following update regarding the Okanagan Centre for Innovation and rooftop patio for inclusion with your report to council in support of our DP Amendment Request.

Based on community feedback and apprehension regarding possible OCI rooftop operations, we have decided not to proceed with the contemplated C7LP (liquor primary) rezoning application and have decided instead to proceed with the current zoning as C7. We will also be revising our Liquor Primary submission with the Provincial Government to reflect Food Primary.

Regarding the DP amendment that is currently in process for the addition of 500 sq. ft. of enclosed space to the rooftop café, we provide the following use of space information:

- Perch is an upscale venue and outdoor patio area located on the rooftop of the Okanagan Centre for Innovation. Beautifully architected and intentionally designed, visitors to Perch will enjoy breathtaking views of the city surrounded by stunning finishes, features and amenities. Perch's premier interior and exterior finishing includes soft seating, fireplace, live trees, plants and greenery which will inspire visitors to connect, collaborate and share in an incredibly welcoming, comfortable and encouraging environment. Perch along with other key building features including the presentation theatre and arts and cultural atrium will provide gathering space that will further advance the overall vision and mission of the OCI to be the preeminent hub of innovation, technology and entrepreneurship in the Okanagan.
- Initially rooftop access will be restricted to tenants and guests during normal business hours (8am to 5pm Monday to Friday) until such time that the operational processes are well defined and running smoothly; once defined we plan to grant public access to the roof as a gift to all community members.
- The operational hours for Perch are yet to be confirmed, as we will be consulting with tenants to assess demand, types and frequency of use. It should be noted that regardless of the outcome of the consultation process, Perch operations will comply with all time and noise bylaws that pertain to a C7 food primary zoning.
- Perch will provide food and beverage service, table, bar and soft seating, amplified music and catering services. Perch along with the entire rooftop can be booked for corporate events, weddings and private parties; again all operational activities will comply with time and noise bylaws that pertain to a C7 food primary zoning
- Perch and Rooftop Amenities



Kelowna Sustainable Innovation Group Ltd.

- o Food and beverage service (Food primary)
- o Interior seating for 37
- o Interior seating comprised of table, bar and soft seating areas
- o Outdoor soft seating, picnic tables, tables and chairs, umbrellas and fireplaces
- o Paving stone walkway and bison wood deck areas
- o Wood timber structure presentation area equipped with IT services
- o Main areas all covered with cedar decking and Synlawn
- o Exterior event capacity 298
- o WIFI service

Please let me know if you have any questions or require further information or clarification regarding our DP amendment.

We are looking forward to the completion of the OCI project and for the tremendous impact we anticipate it will have on the surrounding neighbourhood and greater Kelowna community.

Sincerely,



Jeff Keen

ATTACHMENT D

This forms part of application

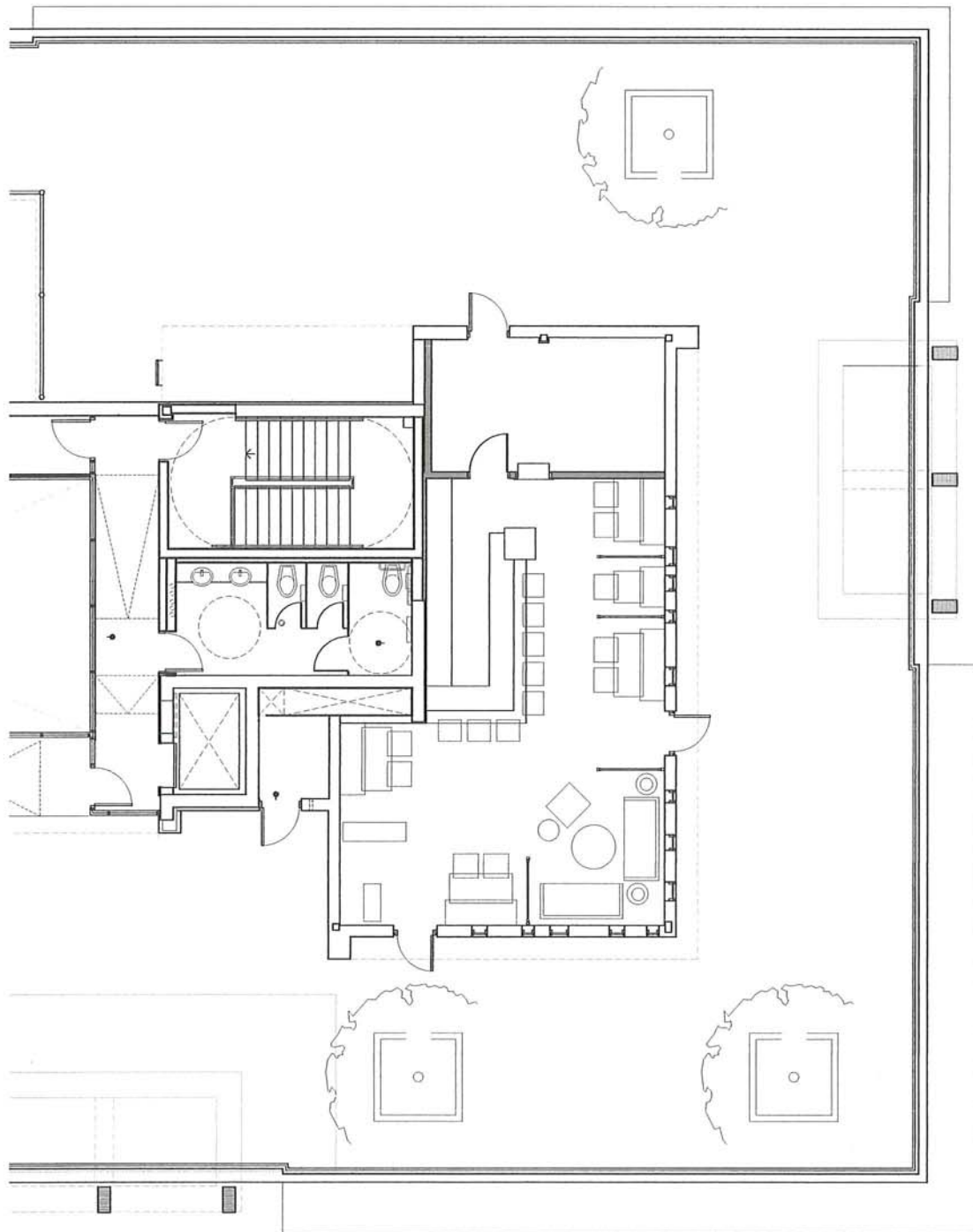
REVISED DP14-0093-02

Planner Initials

TB

ISSUED FOR TENDERS DP14-0093-02

City of Kelowna
COMMUNITY PLANNING



FURNITURE PLAN
Scale: 1:50



ATTACHMENT D

This forms part of application

REVISED DP14-0093-02

Planner
Initials

TB





ATTACHMENT

D

This forms part of application

REVISED DP14-0093-02

Planner
Initial's

TB

City of
Kelowna
COMMUNITY PLANNING



ATTACHMENT D

This forms part of application

REVISED DP14-0093-02

Planner
initials

TB

City of
Kelowna
COMMUNITY PLANNING





ATTACHMENT D

This forms part of application

REVISED DP14-0093-02

Planner
Initials

TB

City of
Kelowna
COMMUNITY PLANNING



REVISED DEVELOPMENT PERMIT AMENDMENT



APPROVED ISSUANCE OF REVISED DEVELOPMENT PERMIT AMENDMENT NO. DP14-0093-02

Issued To: City of Kelowna
Site Address: 460 Doyle Avenue
Legal Description: Lot 1 District Lot 139 ODYD Plan EPP44677 Except Air Space Plan EPP44678
Zoning Classification: C7 – Central Business Commercial
Development Permit Area: Revitalization Development Permit Area – City Centre

SCOPE OF APPROVAL

This Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this Permit, noted in the Terms and Conditions below.

The issuance of a Permit limits the Permit Holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific Variances have been authorized by the Permit. No implied Variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

1. TERMS AND CONDITIONS

THAT REVISED Development Permit No. DP14-0093-02 to amend original Development Permit DP14-0093 for Lot 1 District Lot 139 ODYD Plan EPP44677 Except Air Space Plan EPP44678, located at 460 Doyle Avenue, Kelowna, BC subject to the following:

1. The dimensions and siting of the amendment to the rooftop space to be constructed on the land be in accordance with Schedule "A,"
2. The elevations and colours of the amendment to the rooftop space to be constructed on the land be in general accordance with Schedule "B";
3. Prior to issuance, the applicant provides the Director of Community Planning and Real Estate with plans showing enhanced screening of rooftop mechanical equipment to the satisfaction of the Director, which shall form a part of Schedule "B";
4. Landscaping to be provided in general accordance with Schedule "C";

AND FURTHER THAT this Development Permit is valid for two (2) years from the date of Council approval, with no opportunity to extend.

2. PERFORMANCE SECURITY

None required.

3. DEVELOPMENT

The land described herein shall be developed strictly in accordance with the terms and conditions and provisions of this Permit and any plans and specifications attached to this Permit that shall form a part hereof.

If the Permit Holder does not commence the development permitted by this Permit within two years of the date of this Permit, this Permit shall lapse.

This Permit IS NOT a Building Permit.

4. APPLICANT'S AGREEMENT

I hereby declare that all of the above statements and the information contained in the material submitted in support of this Permit are to the best of my belief, true and correct in all respects. Upon issuance of the Permit for me by the Municipality, then in such case, I covenant and agree to save harmless and effectually indemnify the Municipality against:

- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality granting to me the said Permit.
- b) All costs, expenses, claims that may be incurred by the Municipality if the construction by me of engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

I further covenant and agree that should I be granted a Development Permit and/or Development Variance Permit, the Municipality may withhold the granting of any Occupancy Permit for the occupancy and / or use of any building or part thereof constructed upon the hereinbefore referred to land until all of the engineering works or other works called for by the Permit have been completed to the satisfaction of the Municipal Engineer and Divisional Director of Community Planning & Real Estate.

Should there be any change in ownership or legal description of the property, I undertake to notify the Community Planning Department immediately to avoid any unnecessary delay in processing the application.

I HEREBY UNDERSTAND AND AGREE TO ALL THE TERMS AND CONDITIONS SPECIFIED IN THIS PERMIT.

Signature of Owner / Authorized Agent

Date

Print Name in Bold Letters

Telephone No.

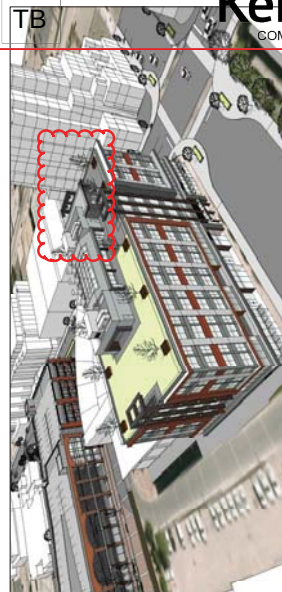
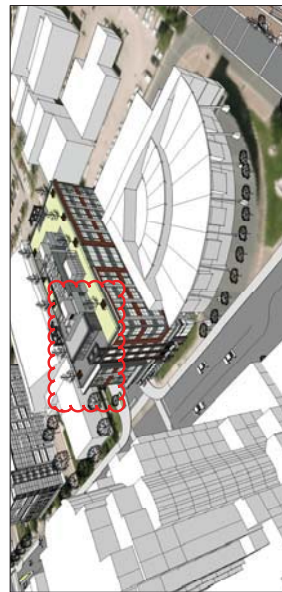
5. APPROVALS

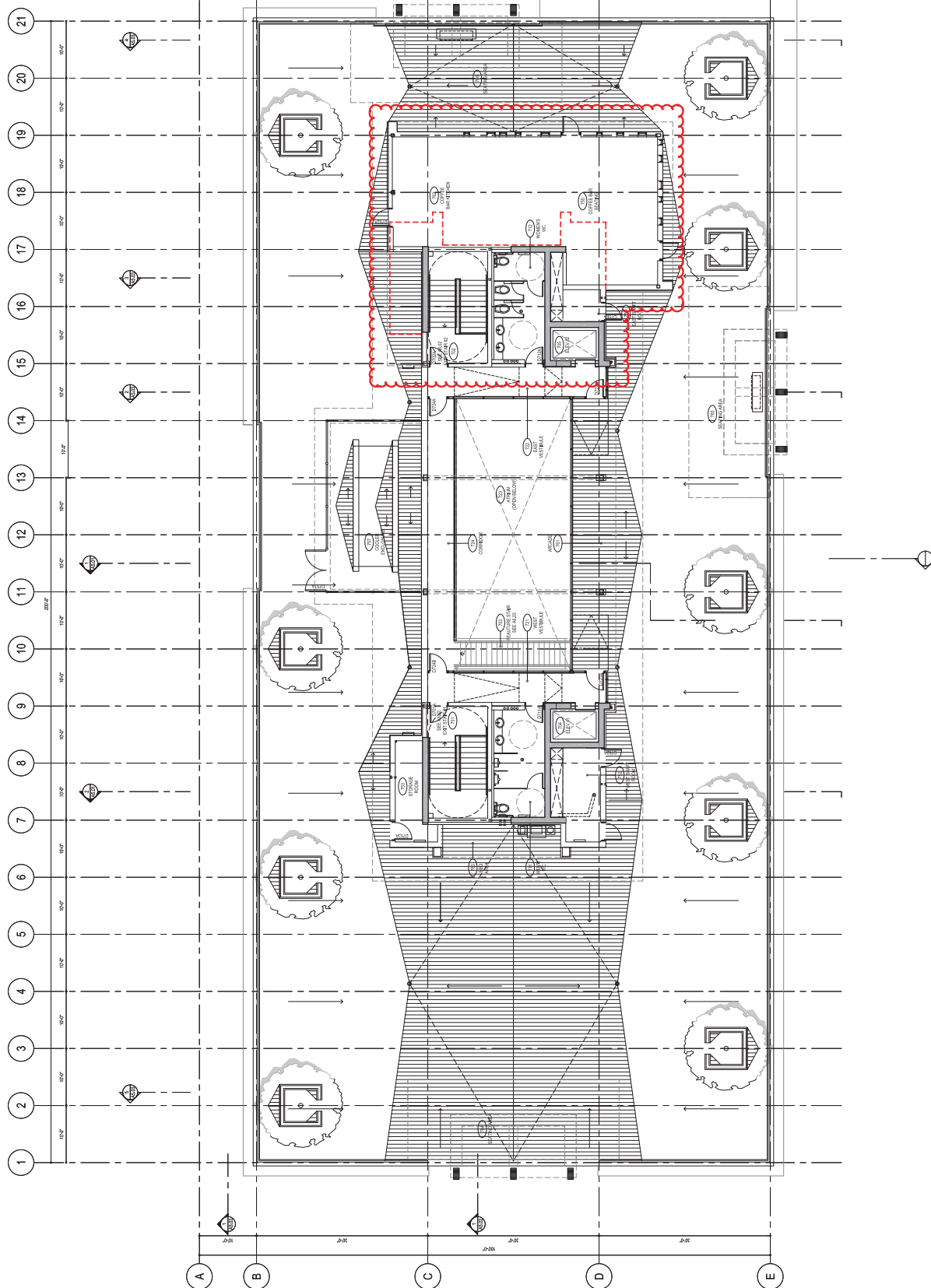
Issued and approved by Council on the _____ day of _____, 2016.

Ryan Smith, Community Planning Department Manager
Community Planning & Real Estate

Date

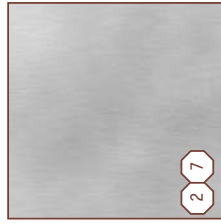
**The PERMIT HOLDER is the CURRENT LAND OWNER.
Security shall be returned to the PERMIT HOLDER.**

[illegible][illegible]

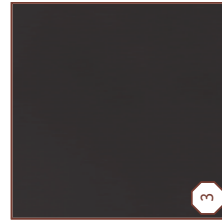




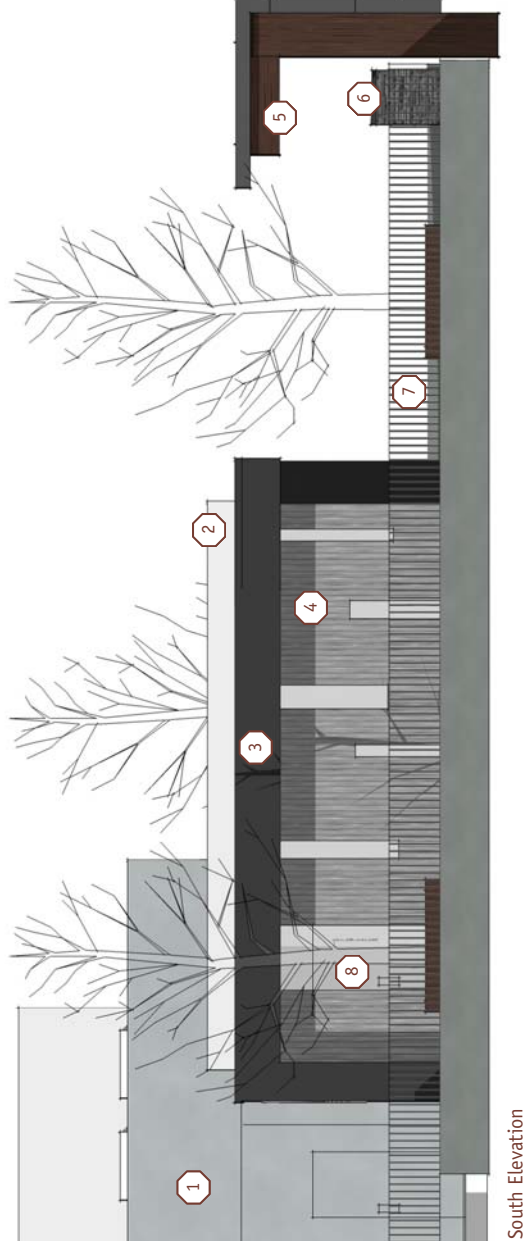
1:Exterior Insulated Finish System
Medium Grey



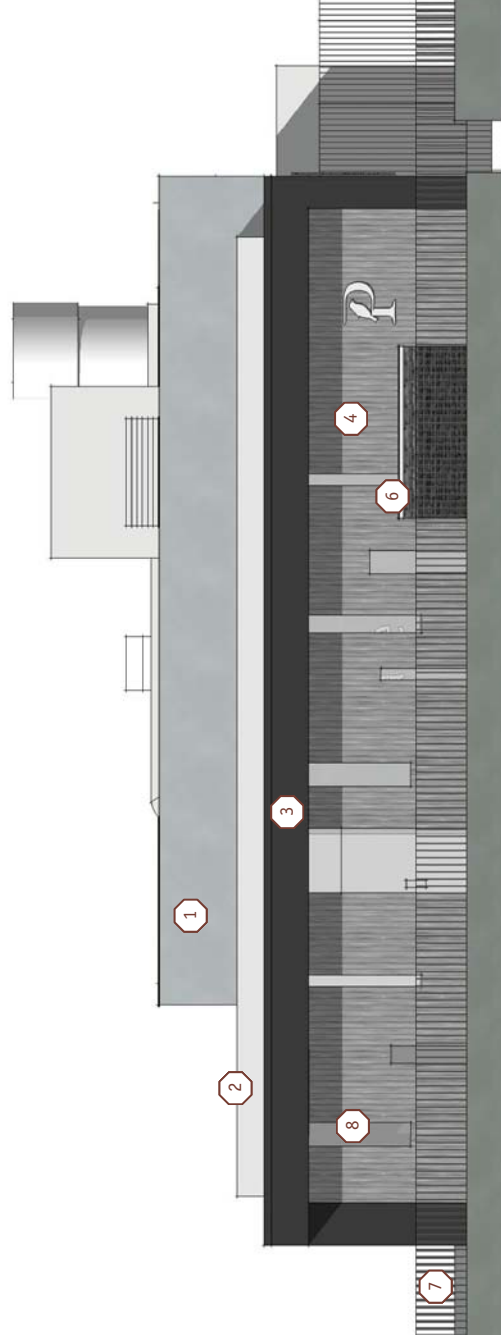
2:Parapet Flashing
7:Painted Steel Guardrail
Silver Metallic Finish



3:Metal Panel
8:Aluminium Window&Door Frames
Black Anodized c/w Clear Vision Glazing



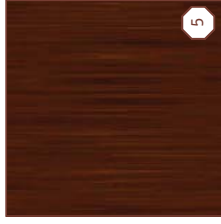
South Elevation



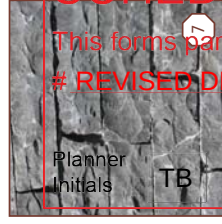
East Elevation



4:Wood Siding
Vertical & Horizontal T&G Cedar
Weathered Grey Stain



5:Feature Wood Structure
Engineered Wood
Walnut Stain
to match Library Columns



7:East Fireplace
Ledgespine, 6:Shelf
Black-Treated

Planner
Initials

TB

SCHEDULE
This forms part of application
REVISED DP 4 0093-02



OKANAGAN CENTRE FOR INNOVATION
PLANNING
KELOWNA
KELOWNALANDSCAPEARCHITECTS INC.

City of
Kelowna
COMMUNITY PLANNING



B

View Looking
Northwest



View Looking
Southwest



SCHEDULE

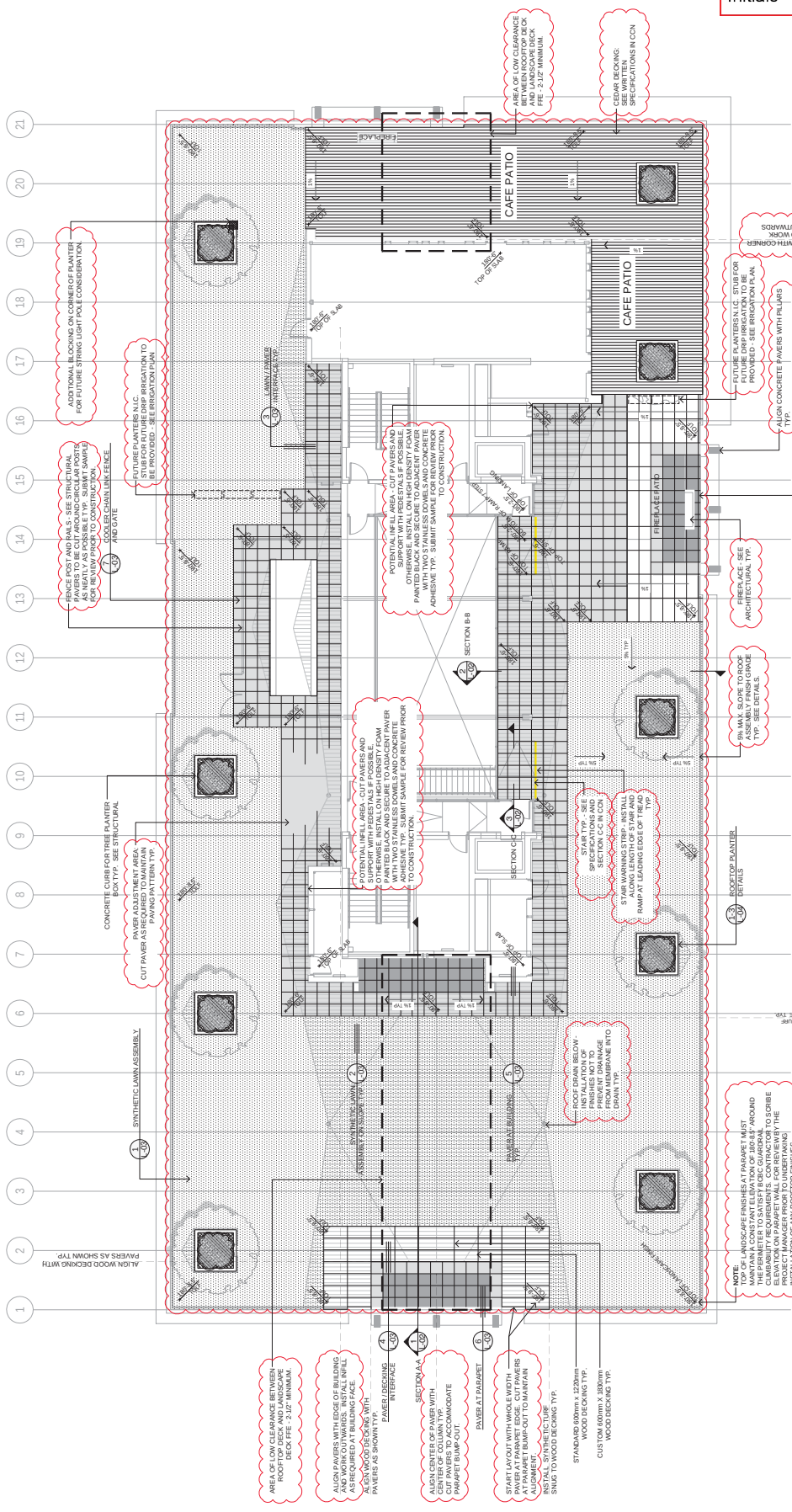
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Planner
Initials

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City of
Kelowna
COMMUNITY PLANNING





- NOTES:
- SEE IRRIGATION PLANS FOR IRRIGATION LAYOUT AND DETAILS
 - SEE L-04 FOR PLANTING PLAN
 - SEE ARCHITECTURAL FOR ROOF INSULATION AND MEMBRANE
 - SEE STRUCTURAL FOR ROOF TOB GRADING AND DRAINAGE

LEGEND

-  **SYNTHETIC TURF**
SEE SPECIFICATIONS AND DETAILS
 -  **COORDINATE WITH IRRIGATION MAINLINE INSTALLATION**
SEE SPECIFICATIONS AND DETAILS
 -  **SUSPENDED SLAB CONCRETE UNIT PAVEMENT - NATURAL**
SEE SPECIFICATIONS AND DETAILS
 -  **SUSPENDED SLAB CONCRETE UNIT PAVEMENT - CHARCOAL**
SEE SPECIFICATIONS AND DETAILS
 -  **PRE-MANUFACTURED WOOD PAVING**
610mm x 1220mm STANDARD SIZE
610mm x 1830mm CUSTOM SIZE
SEE SPECIFICATIONS AND DETAILS

ISSUED FOR
CCN #11-7
2016-08-02

SURVEY INFORMATION

PREPARED BY: RUMPKLUS DOWDY
COORD SYSTEM
SURVEY DATE: JULY 4, 2014; JULY 8, 2014

CLAIMER

WARNING

Files or structures shown on this drawing were acquired from information supplied by various parties and may not be complete or accurate. Excesses and omissions may exist. The user is responsible for the accuracy of the data and is advised to confirm the location of the field underground utilities and structures before drilling. Drilling a hole underground in the area of the proposed work may cause damage to underground utilities and structures. The user is responsible for any damage caused by drilling. Utility agencies or authorities are responsible for any damage caused by drilling. Utility agencies or authorities are responsible for any damage caused by drilling.