

# Development Permit & Development Variance Permit

DP23-0214 / DVP23-0215



This permit relates to land in the City of Kelowna municipally known as

**1402 Cara Glen Ct**

and legally known as

**Lot 1 Section 31 Township 26 ODYD Plan EPP100150**

and permits the land to be used for the following development:

## **Apartment Housing**

The present owner and any subsequent owner of the above described land must comply with any attached terms and conditions.

**Date of Council Approval:** July 23, 2024

Development Permit Area: Form and Character DPA

Existing Zone: MF3r – Apartment Housing Rental Only

Future Land Use Designation: C-NHD – Core Area Neighbourhood

**This Development Permit is valid for two (2) years from the date of approval, with no opportunity to extend.**

## **This is NOT a Building Permit.**

In addition to your Development Permit, a Building Permit may be required prior to any work commencing. For further information, contact the City of Kelowna, Development Services Branch.

## **NOTICE**

This permit does not relieve the owner or the owner's authorized agent from full compliance with the requirements of any federal, provincial or other municipal legislation, or the terms and conditions of any easement, covenant, building scheme or agreement affecting the building or land.

Owner: Prime Clifton Homes Inc., Inc.No. A0116073

Applicant: Bluegreen Architecture Inc.

\_\_\_\_\_  
Nola Kilmartin  
Development Planning Department Manager  
Planning & Development Services

\_\_\_\_\_  
Date of Issuance

**ATTACHMENT** A

This forms part of application  
# DP23-0214 DVP23-0215

Planner Initials TC

  
City of  
**Kelowna**  
DEVELOPMENT PLANNING

## 1. SCOPE OF APPROVAL

This Development Permit applies to and only to those lands within the Municipality as described above, and any and all buildings, structures and other development thereon.

This Development Permit is issued subject to compliance with all of the Bylaws of the Municipality applicable thereto, except as specifically varied or supplemented by this permit, noted in the Terms and Conditions below.

The issuance of a permit limits the permit holder to be in strict compliance with regulations of the Zoning Bylaw and all other Bylaws unless specific variances have been authorized by the Development Permit. No implied variances from bylaw provisions shall be granted by virtue of drawing notations that are inconsistent with bylaw provisions and that may not have been identified as required Variances by the applicant or Municipal staff.

## 2. CONDITIONS OF APPROVAL

THAT Council authorizes the issuance of Development Permit No. DP23-0214 and Development Variance Permit No. DVP23-0215 for Lot 1 Section 31 Township 26 ODYD Plan EPP100150 located at 1402 Cara Glen Ct, Kelowna, BC, subject to the following:

- a) The dimensions and siting of the building to be constructed on the land be in accordance with Schedule "A";
- b) The exterior design and finish of the building to be constructed on the land be in accordance with Schedule "B";
- c) Landscaping to be provided on the land be in accordance with Schedule "C";
- d) The applicant be required to post with the City a Landscape Performance Security deposit in the amount of 125% of the estimated value of the Landscape Plan, as determined by a Registered Landscape Architect;

AND THAT variances to the following section[s] of Zoning Bylaw No. 12375 be granted:

### Section 13.6 – Density and Height Development Regulations

To vary the maximum allowable height from 4 storeys permitted to 5 storeys proposed.

### Section 13.5 – Development Regulations

To vary the minimum building setback from a flanking side yard from 3.0 m required to 0.0 m proposed.

### Section 13.5 – Development Regulations

To vary the minimum building setback from the front yard 3.0 m required to 0.0 m proposed.

AND FURTHER THAT this Development Permit and Development Variance Permit are valid for two (2) years from the date of Manager approval, with no opportunity to extend.

## 3. PERFORMANCE SECURITY

As a condition of the issuance of this Permit, Council is holding the security set out below to ensure that development is carried out in accordance with the terms and conditions of this Permit. Should any interest be earned upon the security, it shall accrue to the Developer and be paid to the Developer or his or her designate if the security is returned. The condition of the posting of the security is that should the Developer fail to carry out the development hereby authorized, according to the terms and conditions of this Permit within the time provided, the Municipality may use enter into an agreement with the property owner of the day to have the work carried out, and any surplus shall be paid over to the property owner of the day. Should the Developer carry out the development as per the conditions of this permit, the security shall be returned to the Developer or his or her designate following proof of Substantial Compliance as defined in Bylaw No. 12310. There is filed accordingly:

- a) An Irrevocable Letter of Credit **OR** certified cheque **OR** a Surety Bond in the amount of **\$530,621.25**

Before any bond or security required under this Permit is reduced or released, the Developer will provide the City with a statutory declaration certifying that all labour, material, workers' compensation and other taxes and costs have been paid.

## 4. INDEMNIFICATION

Upon commencement of the works authorized by this Permit the Developer covenants and agrees to save harmless and effectually indemnify the Municipality against:

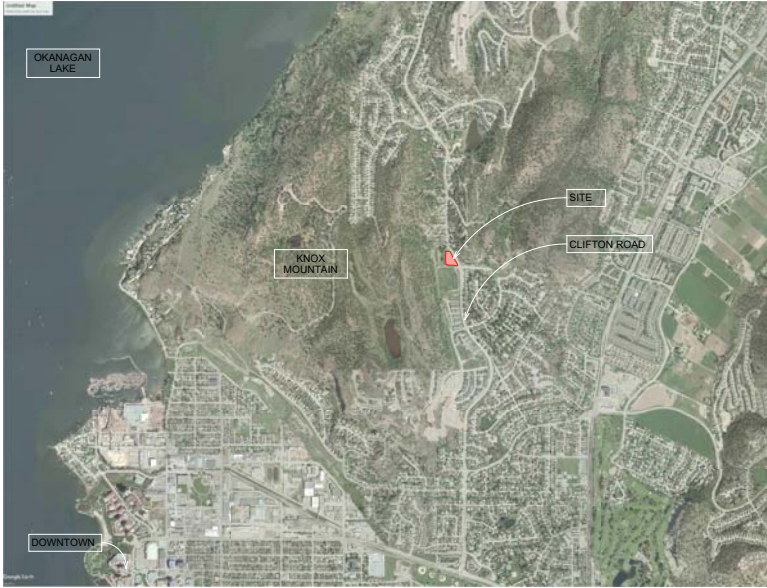
- a) All actions and proceedings, costs, damages, expenses, claims, and demands whatsoever and by whomsoever brought, by reason of the Municipality said Permit.

All costs, expenses, claims that may be incurred by the Municipality where the construction, engineering or other types of works as called for by the Permit results in damages to any property owned in whole or in part by the Municipality or which the Municipality by duty or custom is obliged, directly or indirectly in any way or to any degree, to construct, repair, or maintain.

**The PERMIT HOLDER is the CURRENT LAND OWNER.  
Security shall ONLY be returned to the signatory of the  
Landscape Agreement or their designates.**

DRAFT

<b>ATTACHMENT</b>		<b>A</b>
This forms part of application		
# DP23-0214 DVP23-0215		
Planner Initials	TC	 City of <b>Kelowna</b> DEVELOPMENT PLANNING



LOCATION MAP - NTS



ZONING CALCULATIONS

1402 CARA GLEN CT, KELOWNA, BC PLAN EPF-0516 LOT 1 SECTION 31 TOWNSHIP 28 CURRENT ZONING: MF2		
	REQUIRED	PROVIDED
Principal Use	MF3r (P) Apartment Housing Rental	(P) Apartment Housing Rental
Parcel Size	Minimum 1400 m <sup>2</sup>	6823 m <sup>2</sup>
Lot Width	Minimum 30 m	90.4 m
Lot Depth	Minimum 30 m	123.3 m
Net Floor Area	N/A	6833 m <sup>2</sup>
Lower Parkable Floorplate	0 m <sup>2</sup>	3559.9 m <sup>2</sup>
Upper Parkable Floorplates	0 m <sup>2</sup>	925.2 m <sup>2</sup>
Floor Area Ratio	1.30	1.00
Max. Site Coverage (Buildings)	4435.2 m <sup>2</sup>	2276.9 m <sup>2</sup>
Max. Site Coverage (Buildings)	65%	33%
Max. Site Coverage (incl. impermeable surfaces)	89%	60%
Maximum Building Height	17.5m (5 Storey) Building A 16.8m (5 Storey) Building B VARIANCE REQUEST #1 - Additional Building Height. Request to vary building height from 4 storeys to 5 storeys due to surten lobby at each building. Building heights remain less than the allowable height of 18m. Majority of each building is only 4 storeys above grade with entry lobbies...	18 m (4 Storey)
Setbacks	Front yard - 3m - 9'-10 1/8" Front yard - Greater Street View - 3m - 9'-10 1/8" Front yard - Stepback - 3m - 9'-10 1/8" Flanking Side yard - 3m - 9'-10 1/8" Flanking Side yard - Stepback - 3m - 9'-10 1/8" Rear yard - 4.5m - 14'-9 1/8" Flanking Side yard - 3m - 9'-10 1/8"	Front yard (South) - 4.8m Front yard (South) - N/A N/A Flanking Side yard (East) - 6.4m N/A Rear yard (North) - 10.5m Side yard (West) - 6.4m
Stepbacks required for	5 Storeys+ (3m stepback)	(On stepback) VARIANCE REQUEST #2 - To vary the required stepback above 4 storeys to have 0m stepback in consideration that as part of variance request 1, number of storeys is due to surten lobbies only.
Building Separation	N/A	10.4
Max. Building Frontage	100 m	69.7 m
Common & Private Amenity Space	Bachelor dwelling - 7.5 m <sup>2</sup> 1 bedroom dwelling - 15 m <sup>2</sup> More than 1 bedroom dwelling - 25 m <sup>2</sup>	Refer to unit and amenity calculations; Provided
On a Transit Supportive Corridor?	No	
Property abut RR Zone?	Yes (RR1, RRR)	Yes (RR1)
Min. 80% of Parking below grade?	Yes (0.0%)	Yes (0.0%)
Within the Core Area?	Yes	Yes
Rental Property?	Yes	Yes

TOTAL	NO.	AVG SF	%	TOTAL SF	TOTAL SQM
1 BEDROOM	73	692	65%	43941	4082.25
2 BEDROOM	39	764	35%	29614	2751.23
<b>TOTAL</b>	<b>112</b>	<b>657</b>	<b>100%</b>	<b>73555</b>	<b>6833.48</b>

TOTAL	TOTAL UNITS	PARKING	PARKING REQ'
1 BEDROOM	73	1.2	87.6
2 BEDROOM	39	1.4	54.6
<b>TOTAL</b>	<b>112</b>	<b>0.14</b>	<b>142.2</b>
<b>BASE PARKING SUB-TOTAL</b>			<b>15.88</b>
<b>VISITOR SPACES</b>			<b>137.88</b>
<b>BIKE PARKING INCENTIVE</b>		3% REDUCTION	-5
<b>CAR SHARE PROGRAM PROVIDED</b>		0% REDUCTION	-15.8
<b>RENTAL HOUSING INCENTIVE</b>		10% REDUCTION	-15.8
<b>TOTAL</b>			<b>137</b>

TOTAL	NO. OF UNITS	MULTIPLIER	REQ'D	PROVIDED
BONUS LONG-TERM PARKING	STUDIO/1	1.25	12.25	
	2 BEDROOM	3.9	58.5	
	3 BEDROOM	0	0	
<b>REQ'D SHORT-TERM</b>		6.0 PER ENTRANCE	12	12
<b>LONG-TERM TOTAL</b>			150	162
<b>SHORT-TERM TOTAL</b>			12	12

GROUND-ANCHORED	75 (50%)	90 (55.6%)
WALL-MOUNTED	75 (50%)	72 (44.4%)
<b>TOTAL</b>	<b>150</b>	<b>162</b>

UNIT AND AMENITY CALCULATIONS											
BLOCK #	LEVEL	NO.	SF	SM	TOTAL SF	TOTAL SM	AMENITY (SF)	AMENITY (SM)	TOTAL AMENITY (SF)	TOTAL AMENITY (SM)	
BLOCK A - LEVEL 1	P11	1 BEDROOM	7	580	54	4060	177	113	39	777	72
		2 BEDROOM	4	405	36	405	177	113	11	444	80
		3 BEDROOM	4	757	70	3038	281	143	15	144	15
		4 BEDROOM	1	776	72	776	72	146	15	146	15
		5 BEDROOM	1	724	67	724	67	146	14	133	14
		6 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
		7 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
<b>TOTAL</b>	<b>18</b>			<b>10467</b>	<b>858</b>	<b>665</b>	<b>98</b>	<b>2288</b>	<b>279</b>		
BLOCK A - LEVEL 2	P11	1 BEDROOM	4	405	36	405	177	113	11	444	80
		2 BEDROOM	1	405	36	405	177	113	11	444	80
		3 BEDROOM	1	770	72	770	72	146	15	146	15
		4 BEDROOM	1	770	72	770	72	146	15	146	15
		5 BEDROOM	1	724	67	724	67	146	14	133	14
		6 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
		7 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
<b>TOTAL</b>	<b>16</b>			<b>10467</b>	<b>858</b>	<b>665</b>	<b>98</b>	<b>2288</b>	<b>279</b>		
BLOCK A - LEVEL 3	P11	1 BEDROOM	4	405	36	405	177	113	11	444	80
		2 BEDROOM	1	405	36	405	177	113	11	444	80
		3 BEDROOM	1	770	72	770	72	146	15	146	15
		4 BEDROOM	1	770	72	770	72	146	15	146	15
		5 BEDROOM	1	724	67	724	67	146	14	133	14
		6 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
		7 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
<b>TOTAL</b>	<b>16</b>			<b>10467</b>	<b>858</b>	<b>665</b>	<b>98</b>	<b>2288</b>	<b>279</b>		
BLOCK A - LEVEL 4	P11	1 BEDROOM	4	405	36	405	177	113	11	444	80
		2 BEDROOM	1	405	36	405	177	113	11	444	80
		3 BEDROOM	1	770	72	770	72	146	15	146	15
		4 BEDROOM	1	770	72	770	72	146	15	146	15
		5 BEDROOM	1	724	67	724	67	146	14	133	14
		6 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
		7 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
<b>TOTAL</b>	<b>16</b>			<b>10467</b>	<b>858</b>	<b>665</b>	<b>98</b>	<b>2288</b>	<b>279</b>		
BLOCK A - LEVEL 5	P11	1 BEDROOM	4	405	36	405	177	113	11	444	80
		2 BEDROOM	1	405	36	405	177	113	11	444	80
		3 BEDROOM	1	770	72	770	72	146	15	146	15
		4 BEDROOM	1	770	72	770	72	146	15	146	15
		5 BEDROOM	1	724	67	724	67	146	14	133	14
		6 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
		7 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
<b>TOTAL</b>	<b>16</b>			<b>10467</b>	<b>858</b>	<b>665</b>	<b>98</b>	<b>2288</b>	<b>279</b>		
BLOCK A - LEVEL 6	P11	1 BEDROOM	4	405	36	405	177	113	11	444	80
		2 BEDROOM	1	405	36	405	177	113	11	444	80
		3 BEDROOM	1	770	72	770	72	146	15	146	15
		4 BEDROOM	1	770	72	770	72	146	15	146	15
		5 BEDROOM	1	724	67	724	67	146	14	133	14
		6 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
		7 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
<b>TOTAL</b>	<b>16</b>			<b>10467</b>	<b>858</b>	<b>665</b>	<b>98</b>	<b>2288</b>	<b>279</b>		
BLOCK A - LEVEL 7	P11	1 BEDROOM	4	405	36	405	177	113	11	444	80
		2 BEDROOM	1	405	36	405	177	113	11	444	80
		3 BEDROOM	1	770	72	770	72	146	15	146	15
		4 BEDROOM	1	770	72	770	72	146	15	146	15
		5 BEDROOM	1	724	67	724	67	146	14	133	14
		6 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
		7 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
<b>TOTAL</b>	<b>16</b>			<b>10467</b>	<b>858</b>	<b>665</b>	<b>98</b>	<b>2288</b>	<b>279</b>		
BLOCK A - LEVEL 8	P11	1 BEDROOM	4	405	36	405	177	113	11	444	80
		2 BEDROOM	1	405	36	405	177	113	11	444	80
		3 BEDROOM	1	770	72	770	72	146	15	146	15
		4 BEDROOM	1	770	72	770	72	146	15	146	15
		5 BEDROOM	1	724	67	724	67	146	14	133	14
		6 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
		7 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
<b>TOTAL</b>	<b>16</b>			<b>10467</b>	<b>858</b>	<b>665</b>	<b>98</b>	<b>2288</b>	<b>279</b>		
BLOCK A - LEVEL 9	P11	1 BEDROOM	4	405	36	405	177	113	11	444	80
		2 BEDROOM	1	405	36	405	177	113	11	444	80
		3 BEDROOM	1	770	72	770	72	146	15	146	15
		4 BEDROOM	1	770	72	770	72	146	15	146	15
		5 BEDROOM	1	724	67	724	67	146	14	133	14
		6 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
		7 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
<b>TOTAL</b>	<b>16</b>			<b>10467</b>	<b>858</b>	<b>665</b>	<b>98</b>	<b>2288</b>	<b>279</b>		
BLOCK A - LEVEL 10	P11	1 BEDROOM	4	405	36	405	177	113	11	444	80
		2 BEDROOM	1	405	36	405	177	113	11	444	80
		3 BEDROOM	1	770	72	770	72	146	15	146	15
		4 BEDROOM	1	770	72	770	72	146	15	146	15
		5 BEDROOM	1	724	67	724	67	146	14	133	14
		6 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
		7 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
<b>TOTAL</b>	<b>16</b>			<b>10467</b>	<b>858</b>	<b>665</b>	<b>98</b>	<b>2288</b>	<b>279</b>		
BLOCK A - LEVEL 11	P11	1 BEDROOM	4	405	36	405	177	113	11	444	80
		2 BEDROOM	1	405	36	405	177	113	11	444	80
		3 BEDROOM	1	770	72	770	72	146	15	146	15
		4 BEDROOM	1	770	72	770	72	146	15	146	15
		5 BEDROOM	1	724	67	724	67	146	14	133	14
		6 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
		7 BEDROOM + DEN	1	765	71	765	71	105	10	105	10
<b>TOTAL</b>	<b>16</b>			<b>10467</b>	<b>858</b>	<b>665</b>	<b>98</b>	<b>2288</b>	<b>279</b>		
BLOCK A - LEVEL 12	P11	1 BEDROOM	4	405	36	405	177	113	11	444	80
		2 BEDROOM	1	405	36	405	177	113	11	444	80
		3 BEDROOM	1	770	72	770	72	146	15	146	15
		4 BEDROOM									

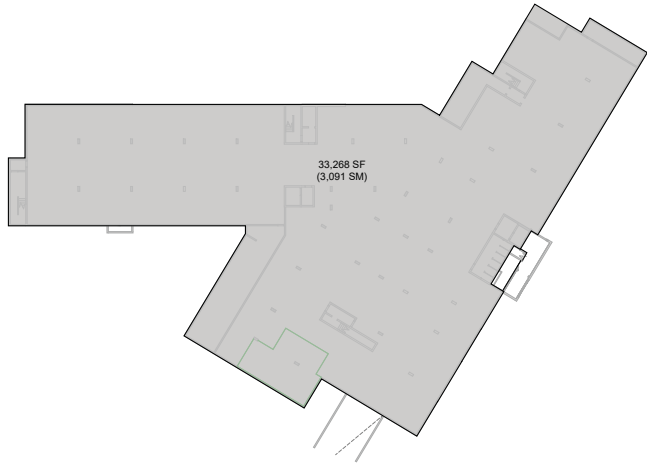


**SCHEDULE A**

This forms part of application  
 # DP23-0214 DVP23-0215

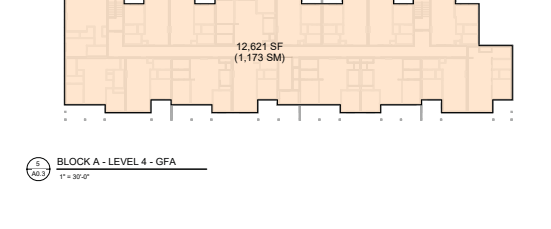
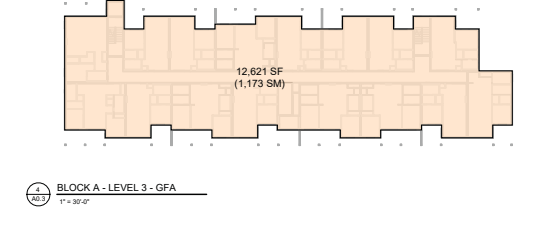
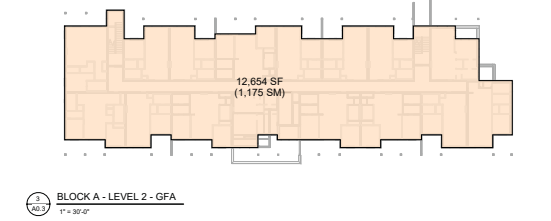
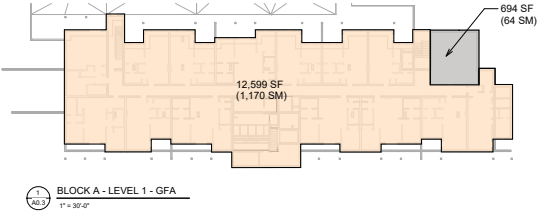
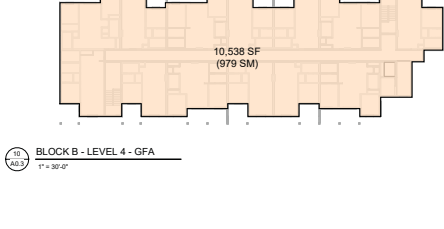
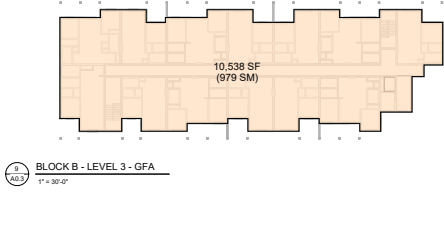
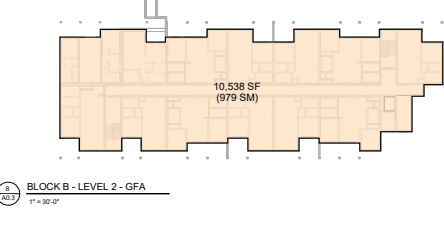
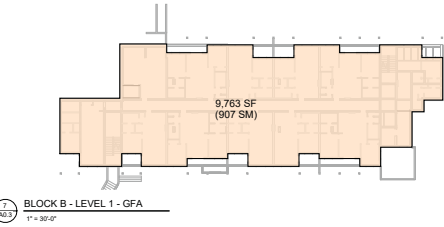
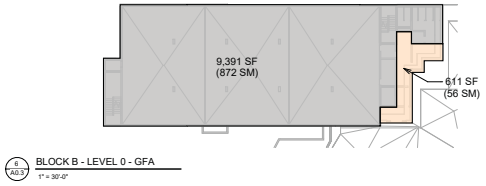
Planner Initials **TC**

City of **Kelowna**  
 DEVELOPMENT PLANNING



**2** LEVEL P1 - GFA  
 1" = 30'-0"

	GFA (SF) - NIC	GFA (SM) - NIC...	NET (SF)	NET (SM)	UNFINISHED (SF)	UNFINISHED (SM)	EFFICIENCY
LEVEL 0					33,268	3,091	
<b>BLOCK A</b>							
LEVEL 1	12,599	1,170	9,347	868	694	64	74%
LEVEL 2	12,654	1,175	11,047	1,026	0	0	87%
LEVEL 3	12,621	1,173	11,047	1,026	0	0	88%
LEVEL 4	12,621	1,173	11,047	1,026	0	0	88%
SUB-TOTAL	50,495	4,691	42,488	3,947	694	64	84%
<b>BLOCK B</b>							
LEVEL P0	611	56			9391	872	0%
LEVEL 1	9,763	907	7,208	670	0	0	74%
LEVEL 2	10,538	979	8,558	795	0	0	81%
LEVEL 3	10,538	979	8,558	795	0	0	81%
LEVEL 4	10,538	979	8,558	795	0	0	81%
SUB-TOTAL	41,988	3,900	32,882	3,055	9,391	872	78%
<b>TOTAL</b>	<b>92,483</b>	<b>8,591</b>	<b>75,370</b>	<b>7,002</b>	<b>43,353</b>	<b>4,027</b>	<b>81%</b>



**BLUEGREEN**  
 2004 - 20th Street  
 Kelowna, BC V1Y 5A7  
 P: 778.556.4507  
 www.bluegreenbc.ca

**ISSUED FOR REZONING & DEVELOPMENT PERMIT**

THIS DRAWING MUST NOT BE SCALED.  
 VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK. REPORT ALL ERRORS AND OMISSIONS TO THE ARCHITECT.

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ANY REPRODUCTION MUST BEAR THIS MARK AS AUTHORITY.

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**RECORD OF ISSUES**

NO.	DATE	DESCRIPTION
1	2023-07-27	ISSUED FOR PERMIT
2	2023-08-01	RF COORDINATION
3	2023-07-05	CLIENT REVIEW
4	2023-06-29	PERMITTING
5	2024-01-15	ISSUED FOR SIGN REVIEW
6	2023-07-19	ISSUED FOR REVIEW
7	2024-01-14	ISSUED FOR BUILDING PERMIT
8	2024-04-16	ISSUED FOR SIGN REVIEW
9	2024-05-22	ISSUED FOR SIGN REVIEW

**RECORD OF REVISIONS**

NO.	DATE	DESCRIPTION
1	2024-03-05	ISSUED FOR SIGN REVIEW

Project: **CLIFTON MULTIFAMILY RENTAL**

CIVIC ADDRESS: 1402 CARA GLEN CT, KELOWNA, BC (BUILDING A); 1408 CARA GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title: **GROSS FLOOR AREA**

Job Number: 22-1085  
 Date: 2024-03-05  
 Scale: 1" = 30'-0"  
 Revision Number: A  
 Drawing Number: A0.3











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Record of Issues

NO.	DATE	DESCRIPTION
1	2024-03-27	ISSUED FOR PERMITS
2	2024-03-27	ISSUED FOR PERMITS
3	2024-03-27	ISSUED FOR PERMITS
4	2024-03-27	ISSUED FOR PERMITS
5	2024-03-27	ISSUED FOR PERMITS
6	2024-03-27	ISSUED FOR PERMITS
7	2024-03-27	ISSUED FOR PERMITS
8	2024-03-27	ISSUED FOR PERMITS
9	2024-03-27	ISSUED FOR PERMITS
10	2024-03-27	ISSUED FOR PERMITS

NO.	DATE	DESCRIPTION
1	2024-03-27	ISSUED FOR PERMITS
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7	2024-03-27	ISSUED FOR PERMITS
8	2024-03-27	ISSUED FOR PERMITS
9	2024-03-27	ISSUED FOR PERMITS
10	2024-03-27	ISSUED FOR PERMITS

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5	2024-03-27	ISSUED FOR PERMITS
6	2024-03-27	ISSUED FOR PERMITS
7	2024-03-27	ISSUED FOR PERMITS
8	2024-03-27	ISSUED FOR PERMITS
9	2024-03-27	ISSUED FOR PERMITS
10	2024-03-27	ISSUED FOR PERMITS

Project

CLIFTON  
MULTIFAMILY  
RENTAL

CIVIC ADDRESS  
1402 CARA GLEN CT, KELOWNA,  
BC (BUILDING A),  
1408 CARA GLEN CT, KELOWNA,  
BC (BUILDING B)

Sheet Title  
BLOCK A - LEVEL 1 -  
FLOOR PLAN

Job Number 22 1085

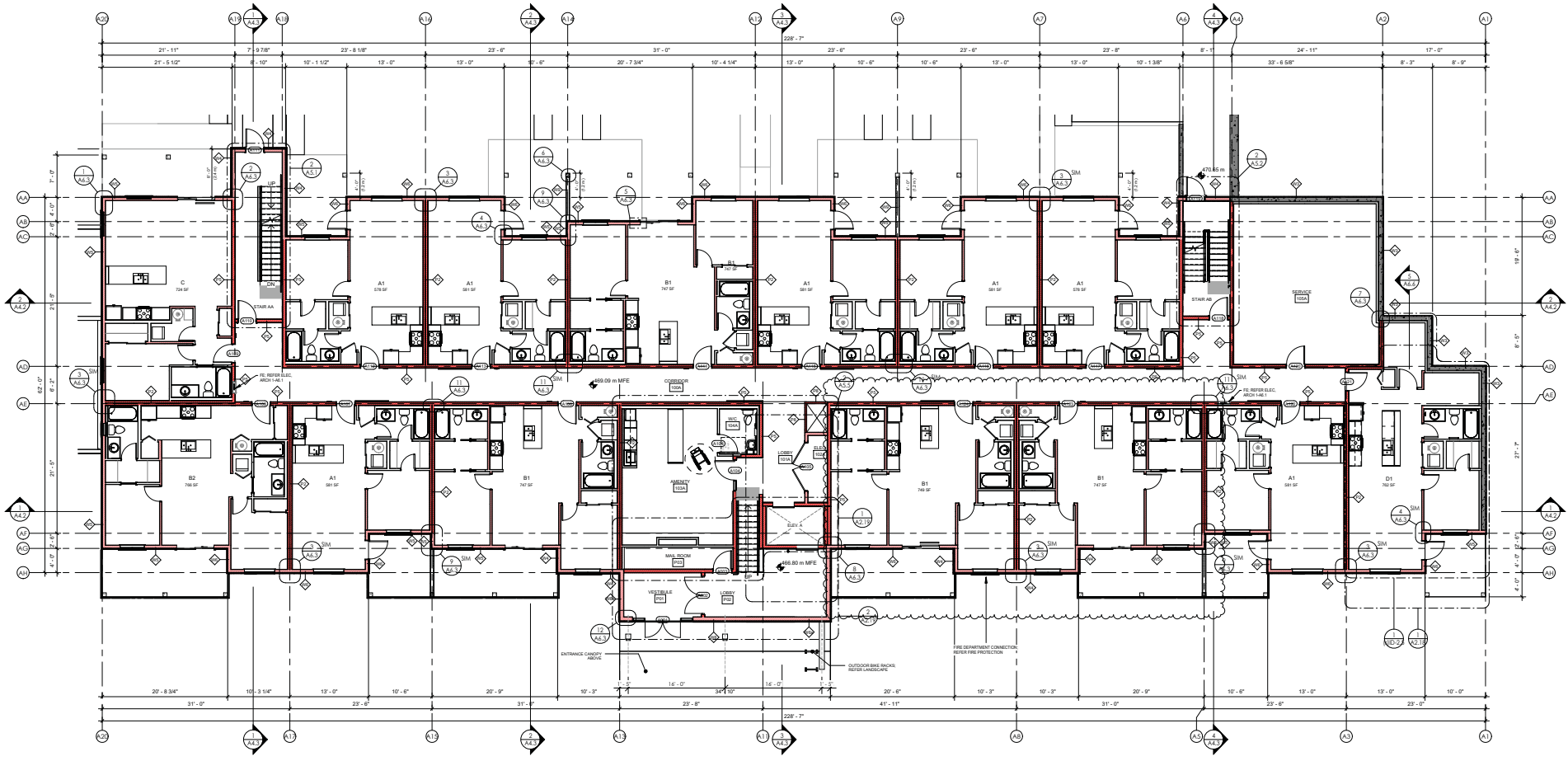
Date 2024-03-05

Scale 1/8" = 1'-0"

Revision Number A

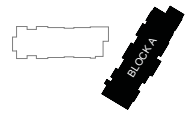
Drawing Number

A2.3



BLOCK A - LEVEL 1  
1/8" = 1'-0"

FLOOR FINISHES  
LOAD BEARING WOOD FRAME  
WALLS REFER STRUCTURE



**SCHEDULE A**

This forms part of application  
# DP23-0214 DVP23-0215

Planner Initials **TC**

City of Kelowna  
DEVELOPMENT PLANNING



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RECORD OF ISSUES

NO.	DATE	DESCRIPTION
1	2023-07-27	ISSUED FOR PERMIT
2	2023-08-01	REVISION FOR PERMIT
3	2023-08-01	CLIENT REVIEW
4	2023-08-01	REVISION FOR PERMIT
5	2024-01-15	ISSUED FOR PERMIT
6	2024-01-15	REVISION FOR PERMIT
7	2024-01-15	REVISION FOR PERMIT
8	2024-01-15	REVISION FOR PERMIT
9	2024-01-15	REVISION FOR PERMIT
10	2024-01-15	REVISION FOR PERMIT

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9	2024-01-15	REVISION FOR PERMIT
10	2024-01-15	REVISION FOR PERMIT

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5	2024-01-15	ISSUED FOR PERMIT
6	2024-01-15	REVISION FOR PERMIT
7	2024-01-15	REVISION FOR PERMIT
8	2024-01-15	REVISION FOR PERMIT
9	2024-01-15	REVISION FOR PERMIT
10	2024-01-15	REVISION FOR PERMIT

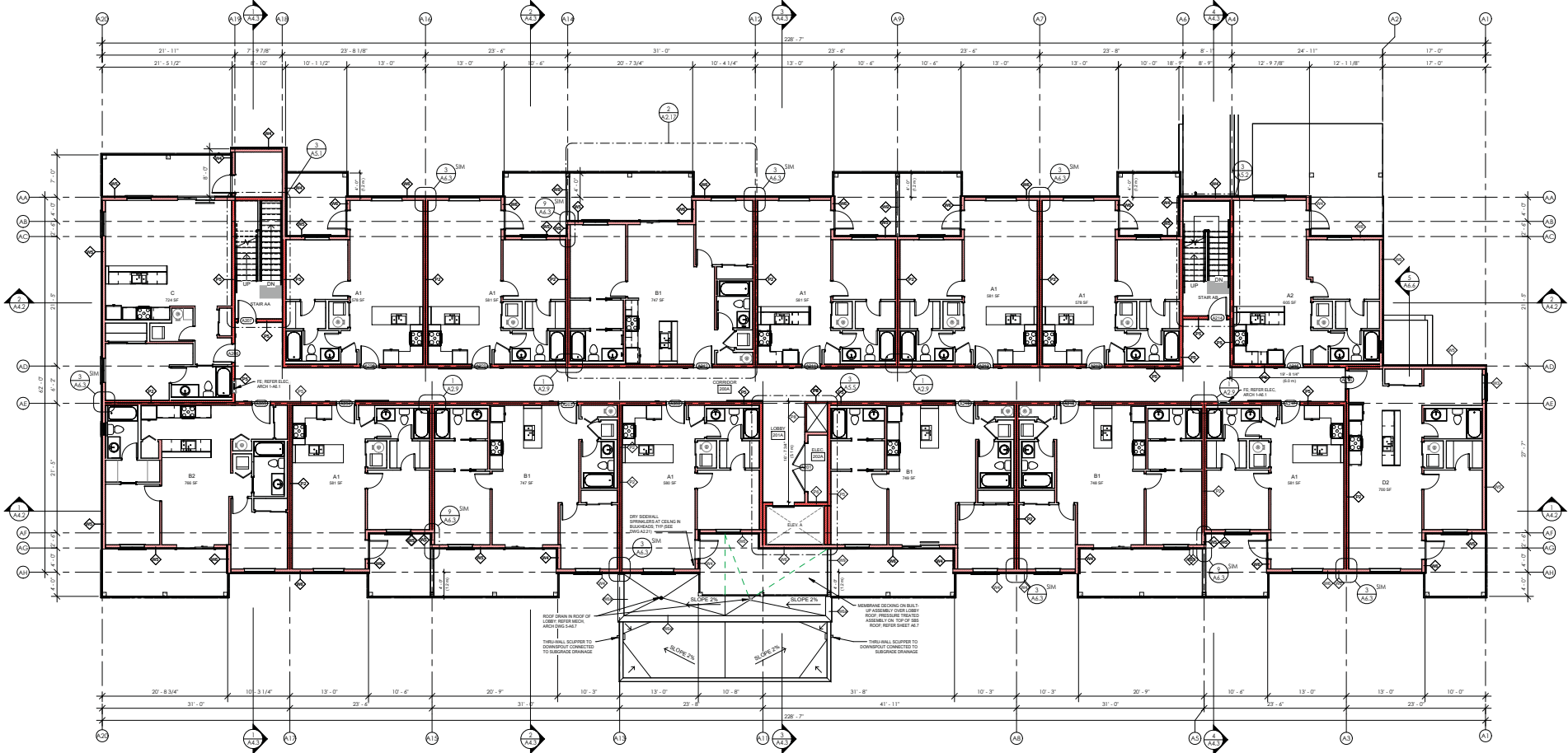
NO.	DATE	DESCRIPTION
1	2023-07-27	ISSUED FOR PERMIT
2	2023-08-01	REVISION FOR PERMIT
3	2023-08-01	CLIENT REVIEW
4	2023-08-01	REVISION FOR PERMIT
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6	2024-01-15	REVISION FOR PERMIT
7	2024-01-15	REVISION FOR PERMIT
8	2024-01-15	REVISION FOR PERMIT
9	2024-01-15	REVISION FOR PERMIT
10	2024-01-15	REVISION FOR PERMIT

Project  
**CLIFTON MULTIFAMILY RENTAL**  
 CIVIC ADDRESS  
 1402 CARA GLEN CT, KELOWNA, BC (BUILDING A)  
 1408 CARA GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title  
**BLOCK A - LEVEL 2 - FLOOR PLAN**

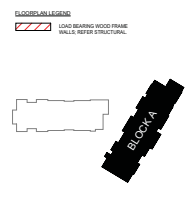
Job Number 22 1085  
 Date 2024-03-05  
 Scale 1/8" = 1'-0"  
 Revision Number A  
 Drawing Number

**A2.4**



**BLOCK A - LEVEL 2**  
 1/8" = 1'-0"

**SCHEDULE A**  
 This forms part of application  
 # DP23-0214 DVP23-0215  
 City of Kelowna  
 DEVELOPMENT PLANNING  
 Planner Initials TC







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NO.	DATE	DESCRIPTION
1	2023.07.27	ISSUED FOR PERMIT
2	2023.08.01	SP CORRECTION
3	2023.08.01	CLIENT REVIEW
4	2023.08.29	DEVELOPMENT PERMIT
5	2024.01.05	ISSUED FOR SIGN REVIEW
6	2024.01.05	ISSUED FOR DEVELOPMENT PERMIT
7	2024.01.05	ISSUED FOR BUILDING PERMIT
8	2024.01.16	REVISION FOR SIGN REVIEW
9	2024.01.16	REVISION FOR SIGN REVIEW
10	2024.01.22	SP CORRECTION

NO. 141519 RECORD ONLY

NO. DATE DESCRIPTION

RECORD OF REVISIONS

Project

CLIFTON MULTIFAMILY RENTAL

CIVIC ADDRESS  
1402 CARA GLEN CT, KELOWNA, BC (BUILDING A)  
1408 CARA GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title  
BLOCK A - LEVEL 3 - FLOOR PLAN

Job Number 22 1085

Date 2024-03-05

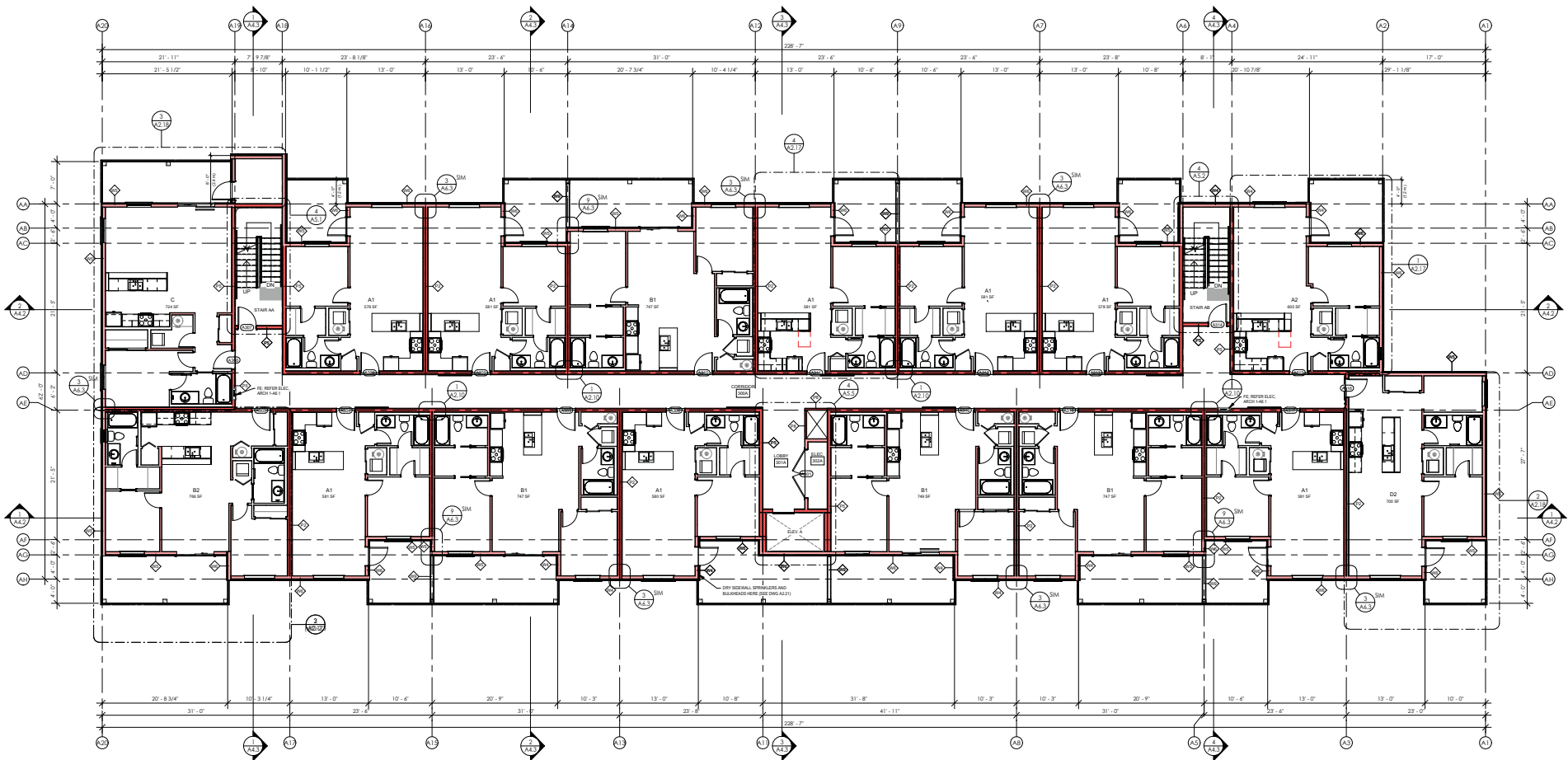
Scale 1/8" = 1'-0"

Revision Number A

Drawing Number

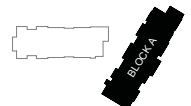
1030-000-203-000-000-000

A2.5



BLOCK A - LEVEL 3  
1/8" = 1'-0"

FLOOR WALLS  
LOAD BEARING WOOD FRAME  
WALLS REFER STRUCTURE



**SCHEDULE A**

This forms part of application  
# DP23-0214 DVP23-0215

Planner Initials **TC**

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1	2023-07-17	ISSUED FOR PERMIT
2	2023-07-17	SP-CORRECTION PERMIT
3	2023-07-17	CLIENT REVIEW
4	2023-07-25	DEVELOPING PERMIT
5	2024-01-15	ISSUED FOR SIGN REVIEW
6	2024-01-15	REVISIONS PERMIT
7	2024-01-15	ISSUED FOR BUILDING PERMIT
8	2024-01-15	ISSUED FOR SIGN REVIEW
9	2024-01-15	SP-CORRECTION PERMIT

RECORD OF REVISIONS

NO.	DATE	DESCRIPTION
1	2024-03-05	REVISIONS PERMIT

Project

CLIFTON  
MULTIFAMILY  
RENTAL

CIVIC ADDRESS  
1402 CARA GLEN CT, KELOWNA,  
BC (BUILDING A)  
1408 CARA GLEN CT, KELOWNA,  
BC (BUILDING B)

Sheet Title

BLOCK A - LEVEL 4 -  
FLOOR PLAN

Job Number

22 1085

Date

2024-03-05

Scale

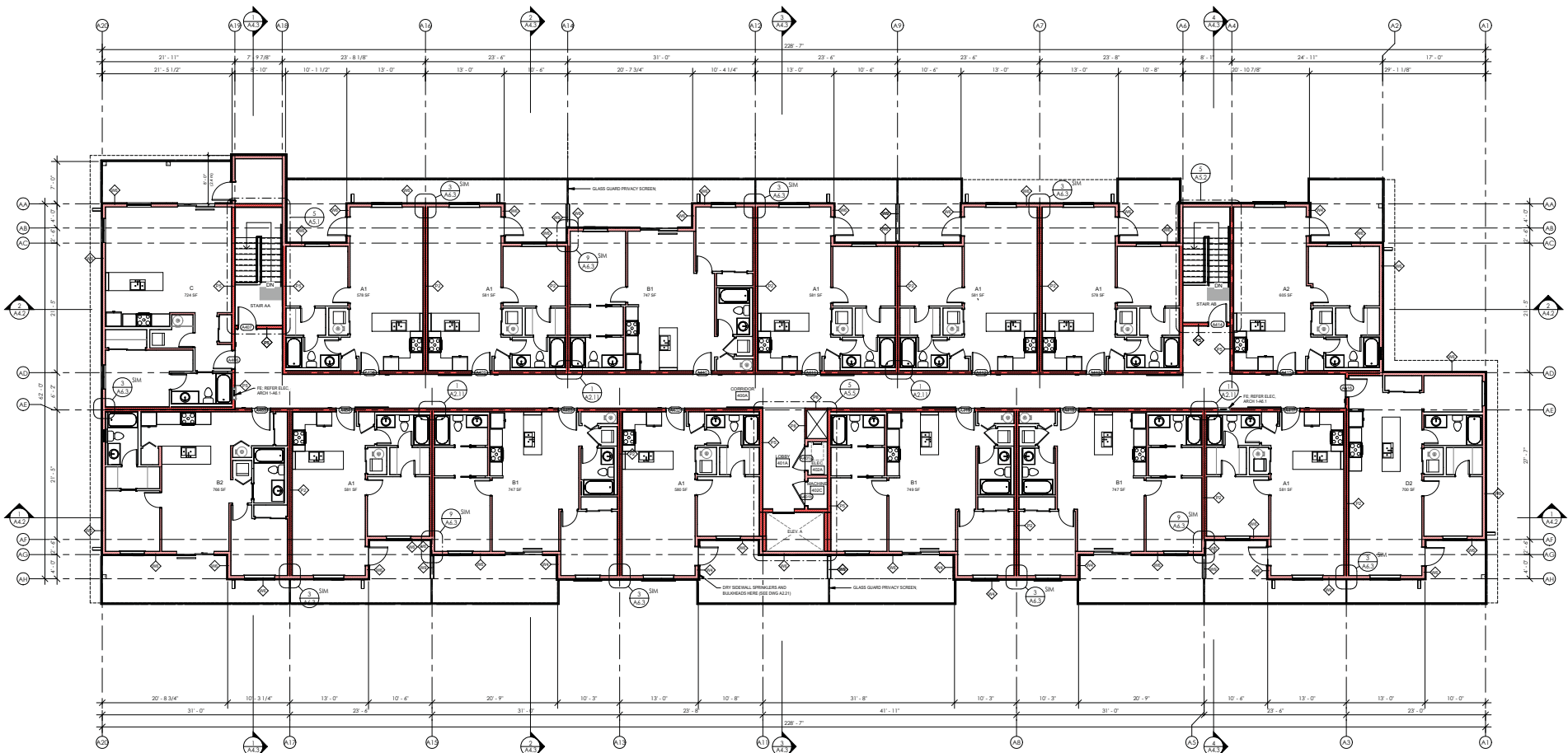
1/8" = 1'-0"

Revision Number

A

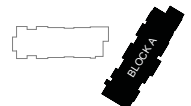
Drawing Number

A2.6



BLOCK A - LEVEL 4  
1/8" = 1'-0"

FLOOR WALLS  
LOAD BEARING WOOD FRAME  
WALLS REFER STRUCTURE



**SCHEDULE A**

This forms part of application  
# DP23-0214 DVP23-0215

Planner Initials **TC**

City of Kelowna  
DEVELOPMENT PLANNING



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NO.	DATE	DESCRIPTION
1	2024-01-27	ISSUED FOR PERMITS
2	2024-01-27	ISSUED FOR PERMITS
3	2024-01-27	ISSUED FOR PERMITS
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13	2024-01-27	ISSUED FOR PERMITS
14	2024-01-27	ISSUED FOR PERMITS
15	2024-01-27	ISSUED FOR PERMITS
16	2024-01-27	ISSUED FOR PERMITS
17	2024-01-27	ISSUED FOR PERMITS
18	2024-01-27	ISSUED FOR PERMITS
19	2024-01-27	ISSUED FOR PERMITS
20	2024-01-27	ISSUED FOR PERMITS

NO. 141519 RECORDING  
NO. DATE DESCRIPTION  
RECORD OF REVISIONS

Project  
CLIFTON  
MULTIFAMILY  
RENTAL

CIVIC ADDRESS  
1402 CAROLAN CT, KELOWNA,  
BC (BUILDING A)  
1408 CAROLAN CT, KELOWNA,  
BC (BUILDING B)

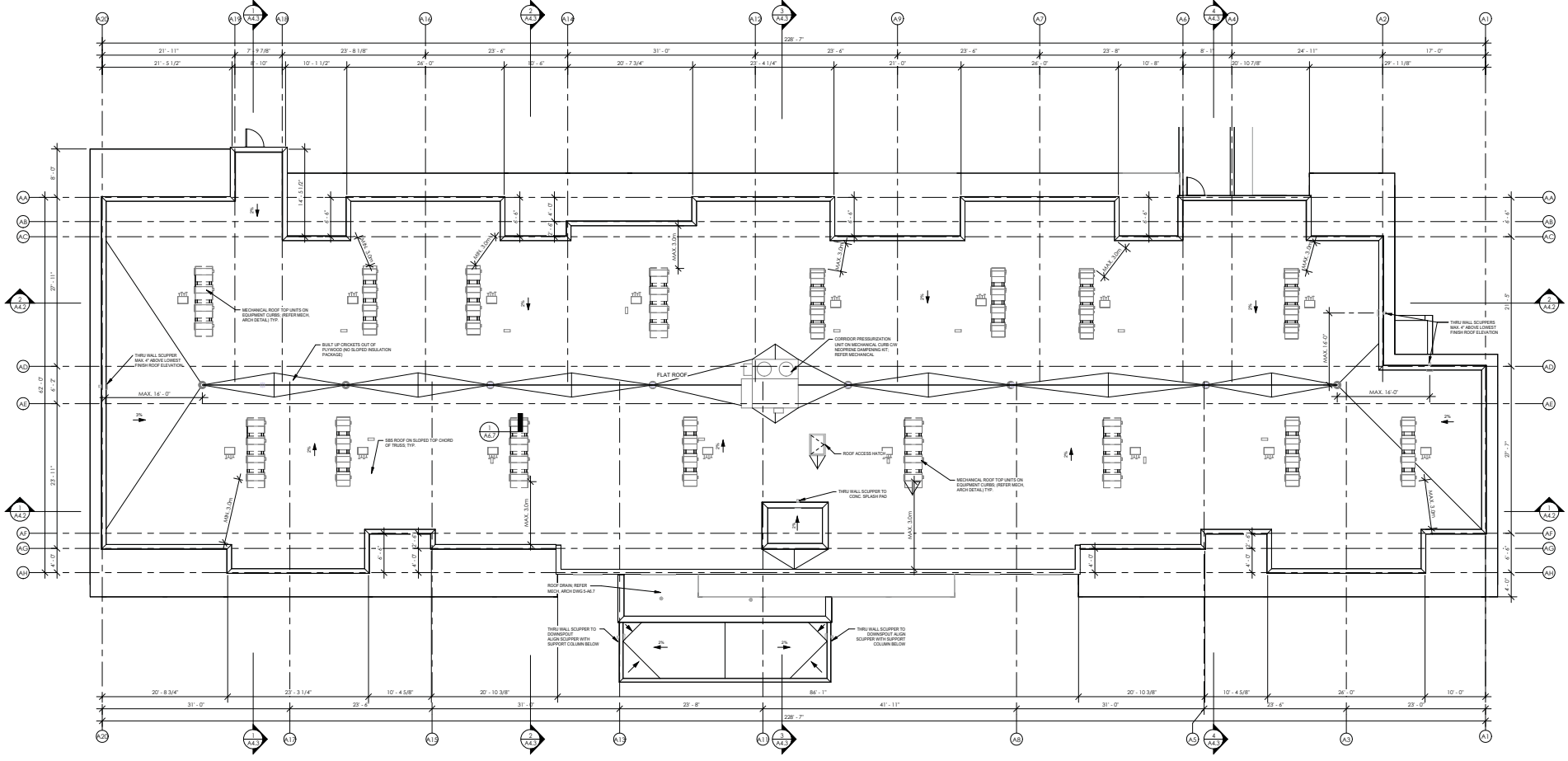
Sheet Title  
BLOCK A - ROOF PLAN

Job Number 22 1085  
Date 2024-03-05  
Scale 1/8" = 1'-0"

Revision Number A  
Drawing Number

103-102-203-203-08-00

A2.7



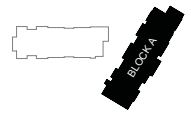
BLOCK A - ROOF PLAN  
1/8" = 1'-0"

**SCHEDULE** A

This forms part of application  
# DP23-0214 DVP23-0215

City of  
**Kelowna**  
DEVELOPMENT PLANNING

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Scale

12.84 m  
426'  
10 sec

RECORD OF ISSUES

NO.	DATE	DESCRIPTION	STATUS
1	2023.07.27	ISSUED FOR PERMIT	COMPLETED
2	2023.07.27	ISSUED FOR PERMIT	COMPLETED
3	2023.07.27	CLIENT REVIEW	COMPLETED
4	2023.07.27	CLIENT REVIEW	COMPLETED
5	2024.01.15	ISSUED FOR PERMIT	COMPLETED
6	2024.01.15	ISSUED FOR PERMIT	COMPLETED
7	2024.01.15	ISSUED FOR PERMIT	COMPLETED
8	2024.01.15	ISSUED FOR PERMIT	COMPLETED
9	2024.01.15	ISSUED FOR PERMIT	COMPLETED

RECORD OF REVISIONS

NO.	DATE	DESCRIPTION
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6	2023.07.27	ISSUED FOR PERMIT
7	2023.07.27	ISSUED FOR PERMIT
8	2023.07.27	ISSUED FOR PERMIT
9	2023.07.27	ISSUED FOR PERMIT

Project

CLIFTON MULTIFAMILY RENTAL

CIVIC ADDRESS  
1402 CARA GLEN CT, KELOWNA, BC (BUILDING A)  
1408 CARA GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title

BLOCK B - LEVEL 0 - PARKADE PLAN

Job Number 22 1085

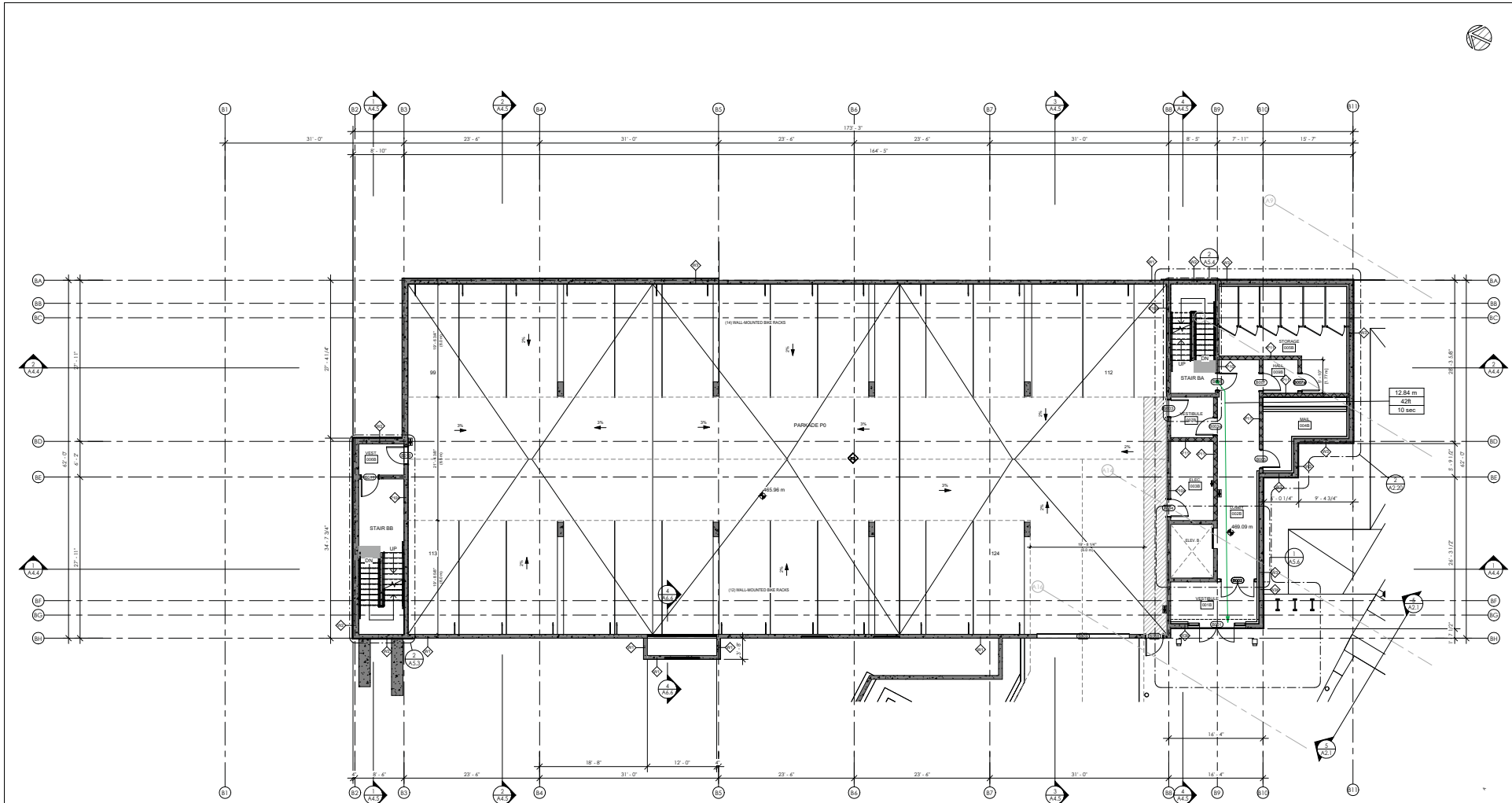
Date 2024-03-05

Scale 1/8" = 1'-0"

Revision Number A

Drawing Number

A2.8



BLOCK B - LEVEL 0  
1/8" = 1'-0"

BICYCLE PARKING

	NO. OF UNITS	MULTIPLIER	REQ'D	PROVIDED
BONUS LONG-TERM PARKING	STUDIO/1...	73	1.25	91.25
	2 BEDROOM	39	1.5	58.5
	3 BEDROOM	0	2	0
REQ'D SHORT-TERM			6.0 PER ENTRANCE	12
LONG-TERM TOTAL			150	162
SHORT-TERM TOTAL			12	12
GROUND-ANCHORED	75 (50%)		90 (55.6%)	
WALL-MOUNTED	75 (50%)		72 (44.4%)	
TOTAL	150		162	

PARKING

	TOTAL UNITS	PARKING...	PARKING REQ'
TOTAL	73	1.4	87.6
1 BEDROOM	39	1.4	54.6
2 BEDROOM			
BASE PARKING SUB-TOTAL			142.2
VISITOR SPACES	0.14		15.68
SUB-TOTAL	112		157.88
BIKE PARKING INCENTIVE		3% REDUCTION	-5
CAR SHARE PROGRAM PROVIDED		0% REDUCTION	-15.8
RENTAL HOUSING INCENTIVE		10% REDUCTION	-15.8
TOTAL			137
SPACE REQUIREMENTS	REQ'D	PROVIDED	
REGULAR SIZE PARKING FOR...	65 (47.4%)	80 (58.4%)	
SMALL SIZE PARKING FOR...	68 (49.6%)	45 (32.6%)	
ACCESSIBLE PARKING	3 (2.2%)	3 (2.2%)	
VAN ACCESSIBLE PARKING	1 (0.7%)	1 (0.7%)	
TOTAL	137	138	

**SCHEDULE A**

This forms part of application  
# DP23-0214 DVP23-0215

Planner Initials TC





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RECORD OF ISSUES

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2	2023-08-01	SP-CORRECTION PERMITS
3	2023-08-01	CLIENT REVIEW
4	2023-08-29	DEVELOPMENT PERMIT
5	2024-01-05	ISSUED FOR SIGN REVIEW
6	2024-03-19	ISSUED FOR DEVELOPMENT PERMIT
7	2024-03-19	ISSUED FOR BUILDING PERMIT
8	2024-04-16	ISSUED FOR SIGN REVIEW
9	2024-04-16	ISSUED FOR SIGN REVIEW
10	2024-04-22	ISSUED FOR SIGN REVIEW

NO. 1412116 DOCUMENT 4

NO. DATE DESCRIPTION RECORD OF REVISIONS

Project

CLIFTON MULTIFAMILY RENTAL

CIVIC ADDRESS  
1402 CARA GLEN CT, KELOWNA, BC (BUILDING A)  
1408 CARA GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title  
BLOCK B - LEVEL 1 - FLOOR PLAN

Job Number 22 1085

Date 2024-03-05

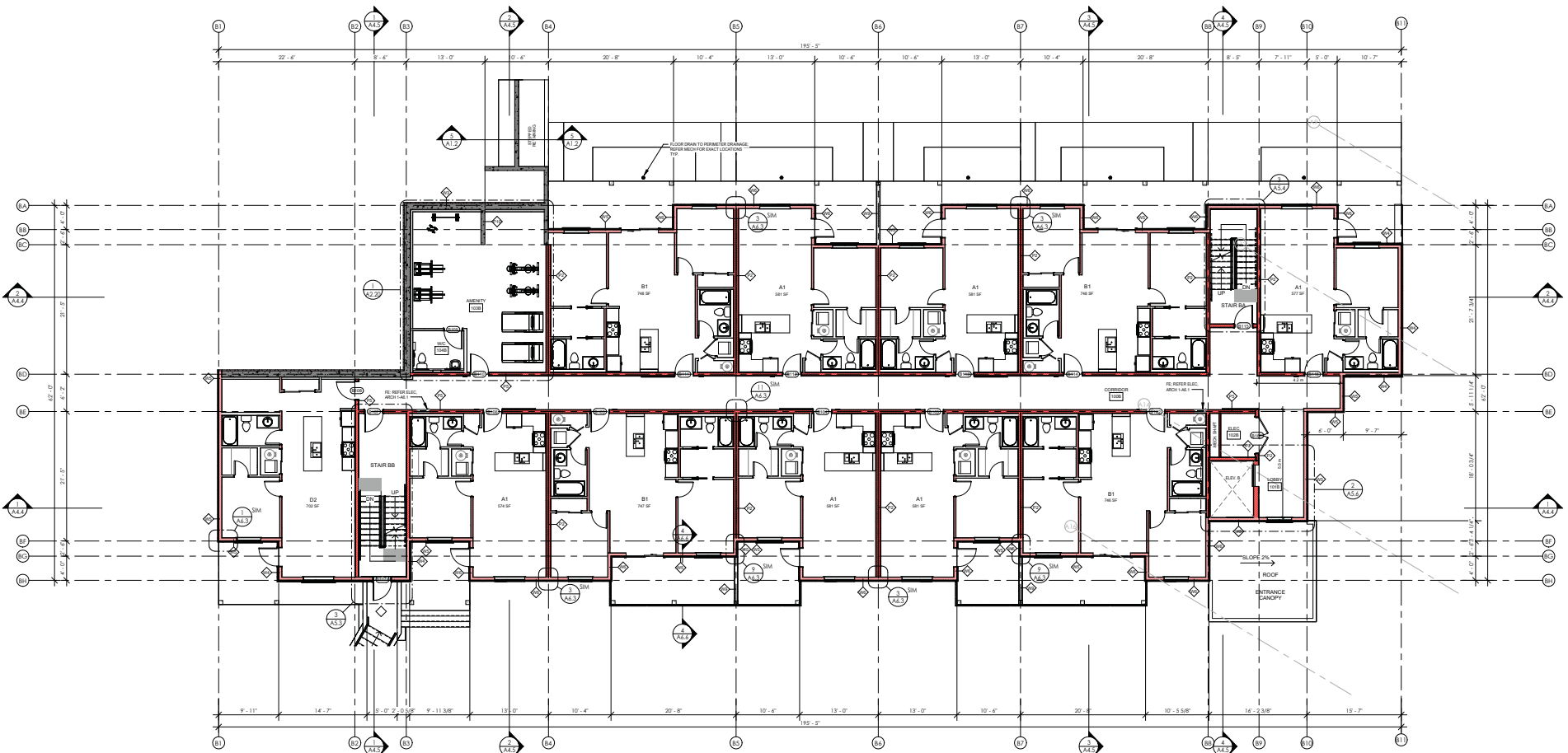
Scale 1/8" = 1'-0"

Revision Number A

Drawing Number

1000-000-203-00-00-00

A2.9



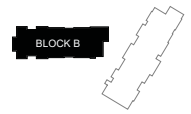
BLOCK B - LEVEL 1  
1/8" = 1'-0"

**SCHEDULE A**

This forms part of application  
# DP23-0214 DVP23-0215

City of Kelowna  
DEVELOPMENT PLANNING

Planner Initials TC





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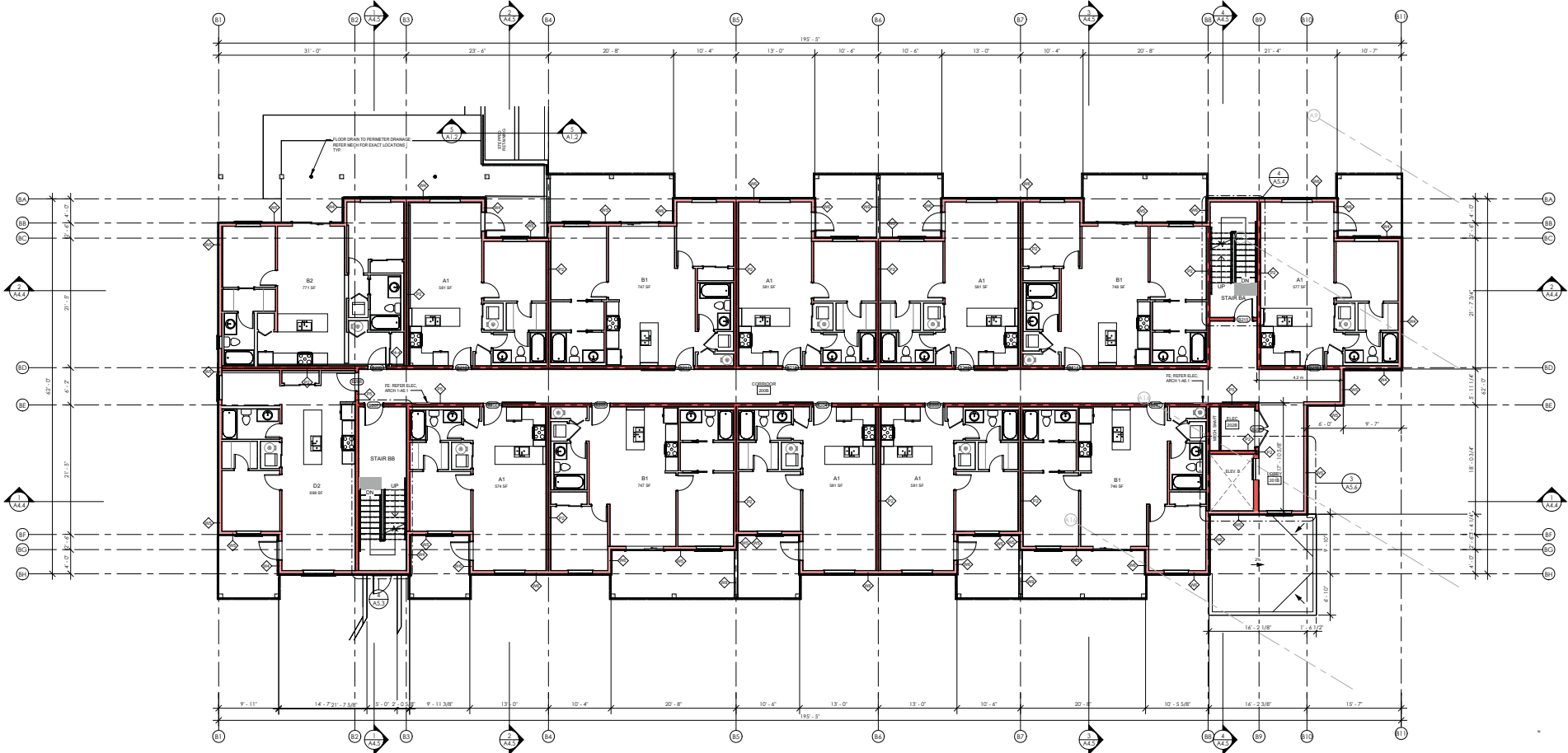
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NO.	DATE	DESCRIPTION
1	2024-03-27	ISSUED FOR ZONING & DEVELOPMENT PERMIT
2	2024-03-27	SP-CORRECTION PERMIT
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100	2024-03-27	ISSUED FOR SIGN REVIEW



BLOCK B - LEVEL 2  
1/8" = 1'-0"

FLOOR/WALL/CEILING  
 LOAD BEARING WOOD FRAME  
 WALLS REFER STRUCTURE

BLOCK B

**SCHEDULE A**

This forms part of application  
 # DP23-0214 DVP23-0215

City of Kelowna  
 DEVELOPMENT PLANNING

Planner Initials **TC**

NO.	DATE	DESCRIPTION
1	2024-03-27	ISSUED FOR ZONING & DEVELOPMENT PERMIT
2	2024-03-27	SP-CORRECTION PERMIT
3	2024-03-27	CLIENT REVIEW
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100	2024-03-27	ISSUED FOR SIGN REVIEW

A2.10





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Scale

RECORD OF ISSUES

NO.	DATE	DESCRIPTION
1	2023-01-27	ISSUED FOR PERMITS
2	2023-01-27	SP-COORDINATION
3	2023-01-27	CLIENT REVIEW
4	2023-01-27	DEVELOPMENT PERMIT
5	2024-01-05	ISSUED FOR SIGN REVIEW
6	2024-01-05	ISSUED FOR PERMITS
7	2024-01-18	BUILDING PERMIT
8	2024-01-18	TRAILER FOR USE
9	2024-01-22	SP-REVISIONS

NO. 1 24 01 18 RECORD ONLY

NO. DATE DESCRIPTION

RECORD OF REVISIONS

Project

**CLIFTON MULTIFAMILY RENTAL**

CIVIC ADDRESS

1402 CARA GLEN CT, KELOWNA, BC (BUILDING A)  
1408 CARA GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title

**BLOCK B - LEVEL 3 - FLOOR PLAN**

Job Number

22 1085

Date

2024-03-05

Scale

1/8" = 1'-0"

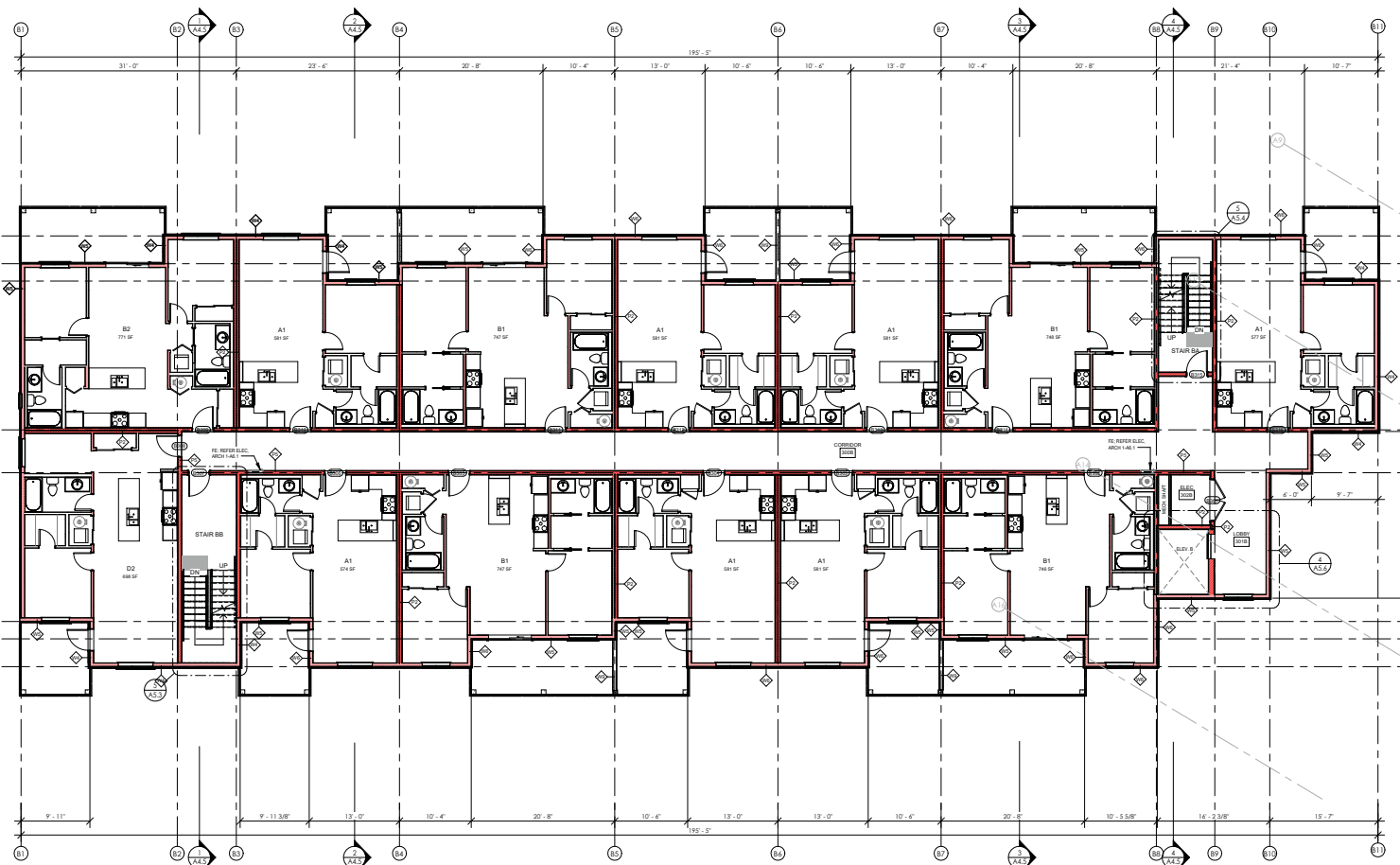
Revision Number

A

Drawing Number

A2.11

030-030-203-30-00-00



**BLOCK B - LEVEL 3**  
1/8" = 1'-0"

**SCHEDULE A**

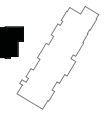
This forms part of application  
# DP23-0214 DVP23-0215

City of Kelowna  
DEVELOPMENT PLANNING

Planner Initials **TC**

FLOOR WALLS  
LOAD BEARING WOOD FRAME WALLS  
FIRE RATED WALLS

**BLOCK B**





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Record of Issues

NO.	DATE	DESCRIPTION
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2	2023-03-01	REVISION FOR PERMIT
3	2023-03-01	CLIENT REVIEW
4	2023-03-01	DEVELOPMENT PERMIT
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9	2024-03-05	ISSUED FOR PERMIT

Record of Revisions

NO.	DATE	DESCRIPTION
1	2024-03-05	ISSUED FOR PERMIT

Record of Revisions

NO.	DATE	DESCRIPTION
1	2024-03-05	ISSUED FOR PERMIT

Record of Revisions

NO.	DATE	DESCRIPTION
1	2024-03-05	ISSUED FOR PERMIT

Record of Revisions

Project

CLIFTON MULTIFAMILY RENTAL  
CIVIC ADDRESS: 1402 CAROL GLEN CT, KELOWNA, BC (BUILDING A), 1408 CAROL GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title  
BLOCK B - LEVEL 4 - FLOOR PLAN

Job Number: 22-1085

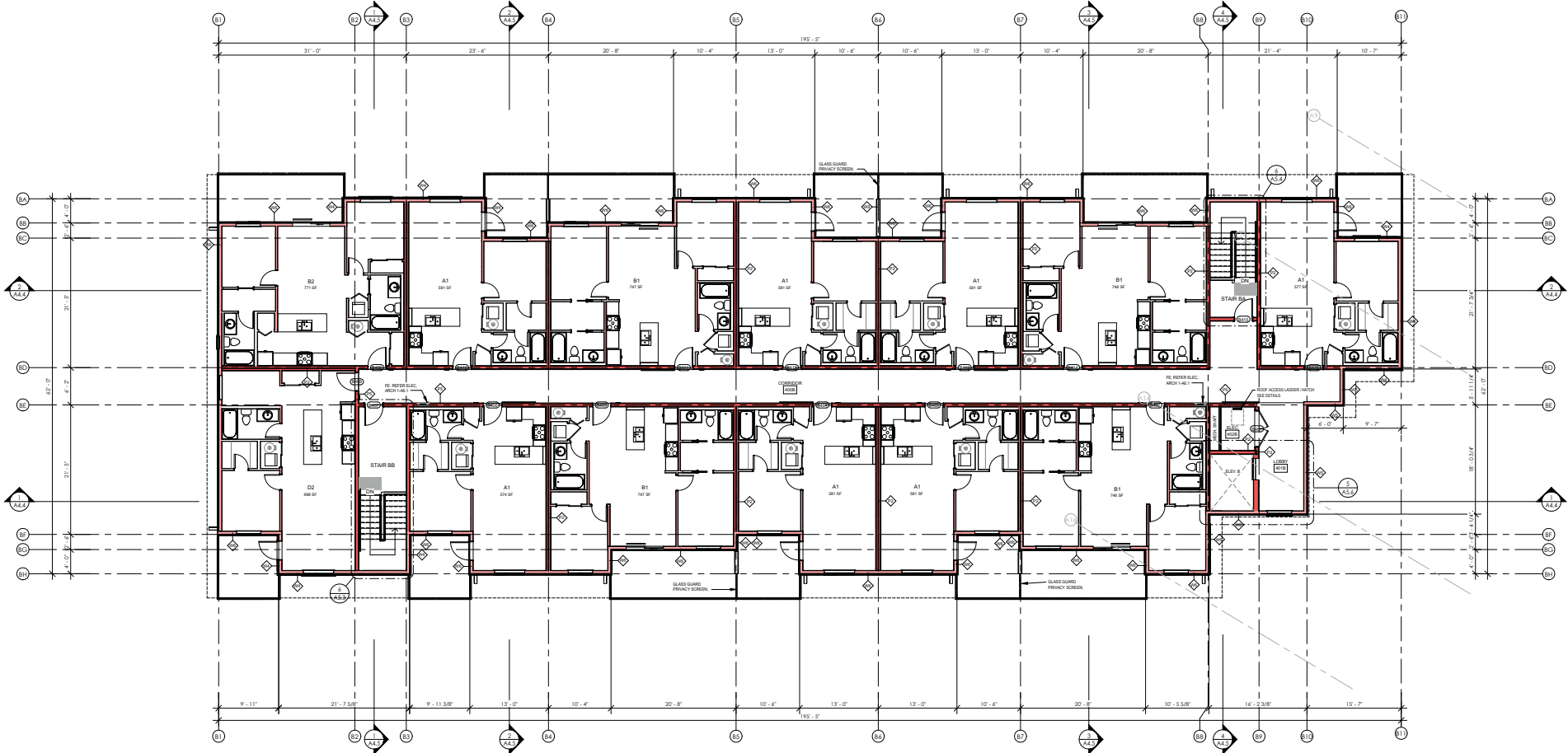
Date: 2024-03-05

Scale: 1/8" = 1'-0"

Revision Number: A

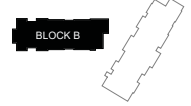
Drawing Number:

A2.12



1 BLOCK B - LEVEL 4  
1/8" = 1'-0"

FLOOR PLAN LEGEND  
LOAD BEARING WOOD FRAME  
MULLI REPAIR STRUCTURE



**SCHEDULE** A

This forms part of application  
# DP23-0214 DVP23-0215

City of Kelowna  
DEVELOPMENT PLANNING

Planner Initials: TC



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Scale

**RECORD OF ISSUES**

NO.	DATE	DESCRIPTION
1	2024.01.27	ISSUED FOR PERMIT
2	2023.05.01	RF COORDINATION
3	2023.07.05	CLIENT REVIEW
4	2023.08.29	REVISIONS FOR DEVELOPMENT PERMIT
5	2024.01.15	ISSUED FOR PERMIT
6	2024.01.15	ISSUED FOR DEVELOPMENT PERMIT
7	2024.01.15	ISSUED FOR BUILDING PERMIT
8	2024.01.15	ISSUED FOR PERMIT
9	2024.01.15	ISSUED FOR PERMIT
10	2024.01.15	ISSUED FOR PERMIT

**RECORD OF REVISIONS**

NO.	DATE	DESCRIPTION
1	2024.01.15	ISSUED FOR PERMIT

Project: **CLIFTON MULTIFAMILY RENTAL**

CIVIC ADDRESS: 1402 CAROL GLEN CT, KELOWNA, BC (BUILDING A); 1408 CAROL GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title: **BLOCK A - BUILDING ELEVATIONS**

Job Number: 22-1085

Date: 2024-03-05

Scale: As Indicated

Revision Number: A

Drawing Number: **A3.1**

**SCHEDULE B**

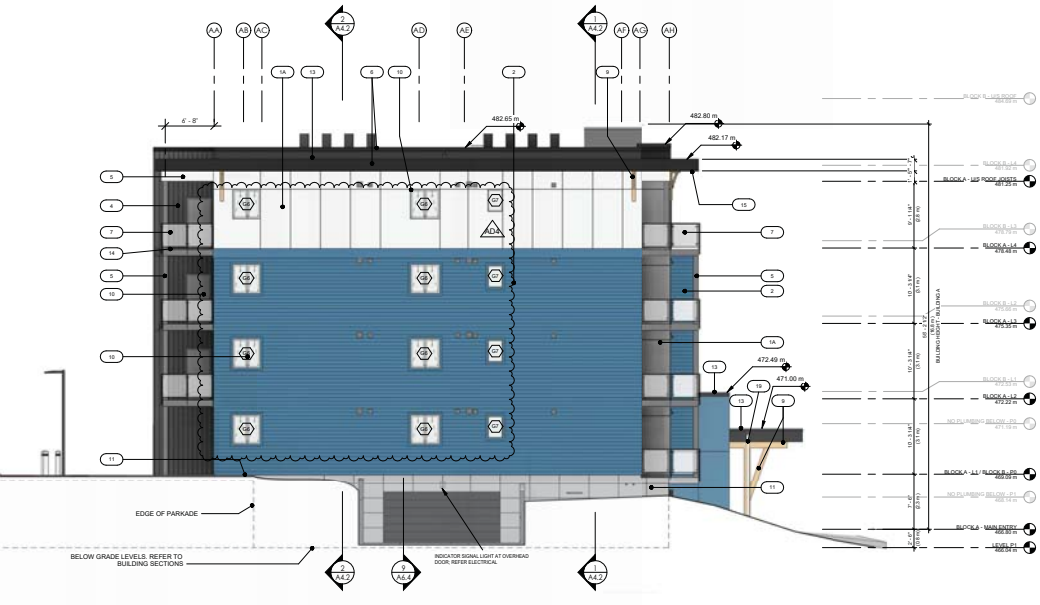
This forms part of application # DP23-0214 DVP23-0215

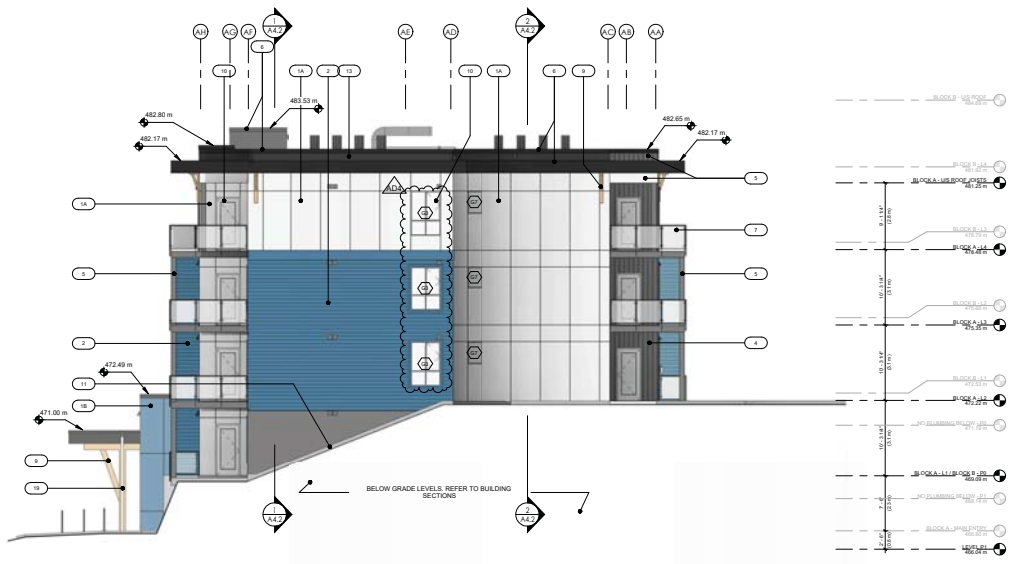
Planner Initials **TC**

**City of Kelowna**  
DEVELOPMENT PLANNING

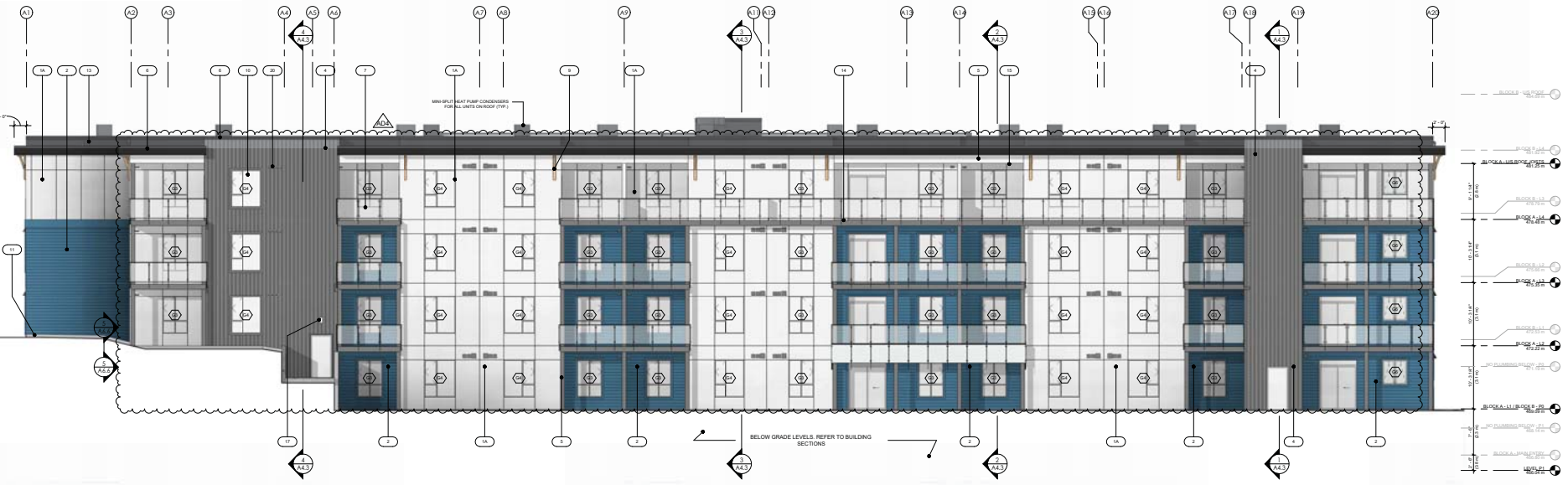
**EXTERIOR FINISH SCHEDULE**

NO.	MATERIAL TYPE	COLOR SELECTION
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2	FIBRE CEMENT PANEL, SMOOTH	WHITE
3	FIBRE CEMENT PANEL, SMOOTH	WHITE
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13	FIBRE CEMENT PANEL, SMOOTH	WHITE
14	FIBRE CEMENT PANEL, SMOOTH	WHITE
15	FIBRE CEMENT PANEL, SMOOTH	WHITE
16	FIBRE CEMENT PANEL, SMOOTH	WHITE
17	FIBRE CEMENT PANEL, SMOOTH	WHITE
18	FIBRE CEMENT PANEL, SMOOTH	WHITE
19	FIBRE CEMENT PANEL, SMOOTH	WHITE
20	FIBRE CEMENT PANEL, SMOOTH	WHITE





1 BLOCK A - EAST ELEVATION  
1/8" = 1'-0"



2 BLOCK A - NORTH ELEVATION  
1/8" = 1'-0"

**SCHEDULE B**

This forms part of application  
# DP23-0214 DVP23-0215

Planner Initials **TC**

City of Kelowna  
DEVELOPMENT PLANNING

**EXTERIOR FINISH SCHEDULE**

MATERIAL TYPE  
COLOUR SELECTION

**ELEVATION LEGEND:**

- 1 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.
- 2 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.
- 3 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.
- 4 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.
- 5 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.
- 6 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.
- 7 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.
- 8 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.
- 9 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.
- 10 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.
- 11 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.
- 12 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.
- 13 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.
- 14 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.
- 15 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.
- 16 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.
- 17 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.
- 18 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.
- 19 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.
- 20 FIBRE CEMENT PANEL, SMOOTH  
COLOUR: WHITE  
TWO FACE SWAP IN REAR. W COLOUR TO MATCH PANEL.

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**RECORD OF ISSUES**

NO.	DATE	DESCRIPTION
1	2024-01-27	ISSUED FOR PERMIT
2	2024-01-27	ISSUED FOR PERMIT
3	2024-01-27	ISSUED FOR PERMIT
4	2024-01-27	ISSUED FOR PERMIT
5	2024-01-27	ISSUED FOR PERMIT
6	2024-01-27	ISSUED FOR PERMIT
7	2024-01-27	ISSUED FOR PERMIT
8	2024-01-27	ISSUED FOR PERMIT
9	2024-01-27	ISSUED FOR PERMIT
10	2024-01-27	ISSUED FOR PERMIT

**RECORD OF REVISIONS**

NO.	DATE	DESCRIPTION
1	2024-01-27	ISSUED FOR PERMIT
2	2024-01-27	ISSUED FOR PERMIT
3	2024-01-27	ISSUED FOR PERMIT
4	2024-01-27	ISSUED FOR PERMIT
5	2024-01-27	ISSUED FOR PERMIT
6	2024-01-27	ISSUED FOR PERMIT
7	2024-01-27	ISSUED FOR PERMIT
8	2024-01-27	ISSUED FOR PERMIT
9	2024-01-27	ISSUED FOR PERMIT
10	2024-01-27	ISSUED FOR PERMIT

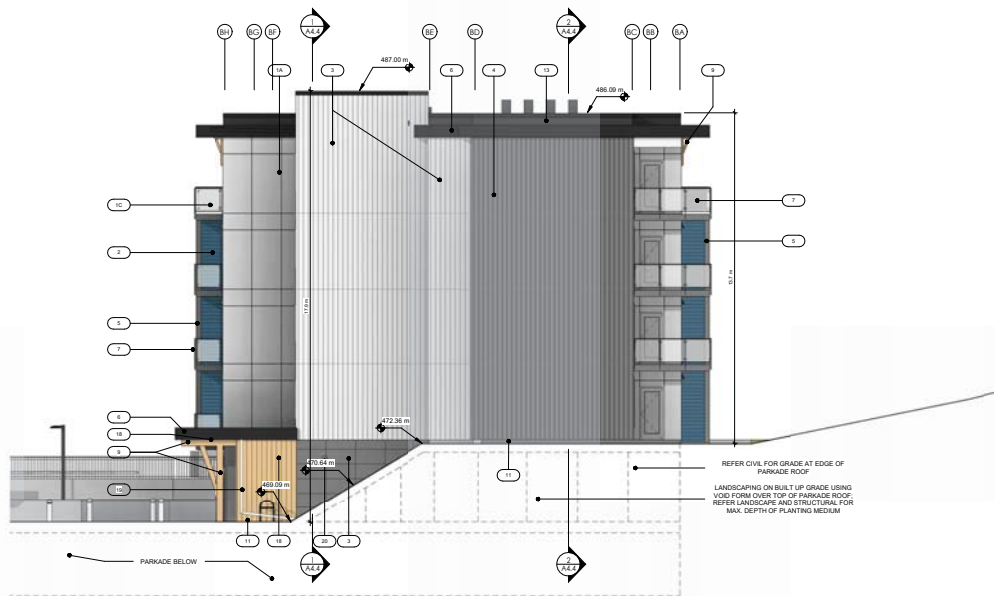
Project: **CLIFTON MULTIFAMILY RENTAL**

CIVIC ADDRESS: 1402 CAROLAN CT, KELOWNA, BC (BUILDING A), 1408 CAROLAN CT, KELOWNA, BC (BUILDING B)

Sheet Title: **BLOCK A - BUILDING ELEVATIONS**

Job Number: 22 1085  
Date: 2024-03-05  
Scale: As Indicated  
Revision Number: A  
Drawing Number: A3.2





1 BLOCK B - SOUTH ELEVATION  
1/8" = 1'-0"



1 BLOCK B - WEST ELEVATION  
1/8" = 1'-0"

**SCHEDULE B**  
This forms part of application # DP23-0214 DVP23-0215  
City of Kelowna DEVELOPMENT PLANNING  
Planner Initials: TC

**EXTERIOR FINISH SCHEDULE**

1 MATERIAL TYPE  
COLOUR SELECTION

**ELEVATION LEGEND:**

- 1 FIBRE CEMENT PANEL, SMOOTH COLOUR: WHITE; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 2 FIBRE CEMENT PANEL, SMOOTH COLOUR: BLUE; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 3 FIBRE CEMENT PANEL, SMOOTH COLOUR: GREY; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 4 FIBRE CEMENT PANEL, SMOOTH COLOUR: WHITE; TWO PRICES SWAP IN REGULAR IN COLOUR TO MATCH PANEL
- 5 FIBRE CEMENT TRIM PANEL, CLAD COLUMN (PTOP) - BEAM COLOUR: ROSE APPOSITE; MANUFACTURE: (MAKE OR EQUAL)
- 6 FIBRE-FRESH METAL FLASHINGS COLOUR: (MATCH ADJACENT CEMENT PANEL)
- 7 GLASS SQUARE RAIL, FINISH MOUNTED: BLACK
- 8 NOT USED
- 9 ENTRY COLUMN: DECORATIVE WOOD BRACKETS; INTERNAL: (SEE ALSO REFER ALSO STRUCTURAL)
- 10 WOOD SHADING AND FACING DOORS: BRANK COLOUR: (REFER ELECTRICAL)
- 11 CONCRETE FACED INSULATION PANELS COLOUR: BLACK
- 12 ALUMINUM STOREFRONT WINDOWS - DOORS COLOUR: BLACK
- 13 BLACK P-VV USE ROOF
- 14 VINYL DOCKING AT BALCONIES
- 15 VENTED ALUMINUM SOFFITS
- 16 METAL FINISH: VENTS - COLOUR: DARK GREY
- 17 ARCHITECTURAL WALL SOURCE - REFER ELECTRICAL, COLOUR: BLACK
- 18 VERTICAL WOOD STUD & METAL BEAMS - COLOUR: BROWN; WINDING UNIT AT BALCONY & ENTRY CORNERS: (SEE VENT STRIPS)
- 19 FINE-FRESH ALUMINUM DOWNPOUT CONNECTED TO SUBSISTANT DRAINAGE NETWORK
- 20 WALL VENTS: REFER ALSO MECHANICAL

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**RECORD OF ISSUES**

NO.	DATE	DESCRIPTION
1	2023-01-27	ISSUED FOR PERMIT
2	2023-01-27	SP-COORDINATION REVIEW
3	2023-01-27	CLIENT REVIEW
4	2023-01-27	PERMISSION DEVELOPMENT PERMIT
5	2024-01-15	ISSUED FOR SIGN REVIEW
6	2024-01-15	ISSUED FOR PERMIT REVIEW
7	2024-01-15	ISSUED FOR PERMIT REVIEW
8	2024-01-15	ISSUED FOR BUILDING PERMIT
9	2024-01-15	ISSUED FOR PERMIT REVIEW
10	2024-01-22	ISSUED FOR PERMIT REVIEW

**RECORD OF REVISIONS**

NO.	DATE	DESCRIPTION
1	2024-01-15	ISSUED FOR PERMIT REVIEW

Project: **CLIFTON MULTIFAMILY RENTAL**

CIVIC ADDRESS:  
1402 CAROLAN CT, KELOWNA, BC (BUILDING A)  
1408 CAROLAN CT, KELOWNA, BC (BUILDING B)

Sheet Title: **BLOCK B - BUILDING ELEVATIONS**

Job Number: 22-1085  
Date: 2024-03-05  
Scale: As Indicated  
Revision Number: A  
Drawing Number:

**A3.3**



**SCHEDULE B**

This forms part of application  
# DP23-0214 DVP23-0215

Planner Initials **TC**

**EXTERIOR FINISH SCHEDULE**

**ELEVATION LEGEND:**

1	FIBRE CEMENT PANEL SMOOTH COLOUR: WHITE TWO PACE SWAP IN REVEAL W/ COLOUR TO MATCH PANEL
2	FIBRE CEMENT PANEL SMOOTH COLOUR: BLUE TWO PACE SWAP IN REVEAL W/ COLOUR TO MATCH PANEL
3	FIBRE CEMENT PANEL SMOOTH COLOUR: WHITE TWO PACE SWAP IN REVEAL W/ COLOUR TO MATCH PANEL
4	FIBRE CEMENT PANEL SMOOTH COLOUR: WHITE TWO PACE SWAP IN REVEAL W/ COLOUR TO MATCH PANEL
5	FIBRE CEMENT TRIM PANEL (CLAD COLUMN/POST) - BEAM COLOUR: WHITE
6	PRE-FINISHED METAL FLASHINGS COLOUR: WHITE
7	GLASS SQUARE RAIL, FINISH MOUNTED COLOUR: BLACK
8	NOT USED
9	ENTRY COLUMN DECORATIVE WOOD BRACKETS MATERIAL: OAK/LENDEN REVER SUBSTRUCTURE
10	WALL FINISHING AND PARTITIONS MATERIAL: CONCRETE
11	CONCRETE FACED INSULATION PANELS
12	ALUMINUM STOREFRONT WINDOWS - DOORS COLOUR: BLACK
13	BLACK 3-PLY OSB ROOF
14	WALL DOCKING AT BALCONIES
15	VENTED ALUMINUM SOFFITS
16	METAL FINISH: VINYL - COLOUR: DARK GREY
17	ARCHITECTURAL WALL SOUNICE - REFER ELECTRICAL COLOUR BLACK
18	VERTICAL WOOD FINISH METAL BEAMS - COLOUR: BROWN OAK WINDOWS GREAT AT BALCONY & ENTRY CORNERS ON VENT STRIPS
19	PRE-FINISHED ALUMINUM DOWNPOUT CONNECTED TO SUBSISTANCE DRAINAGE NETWORK
20	WALL VENTS: REFER ALSO MECHANICAL

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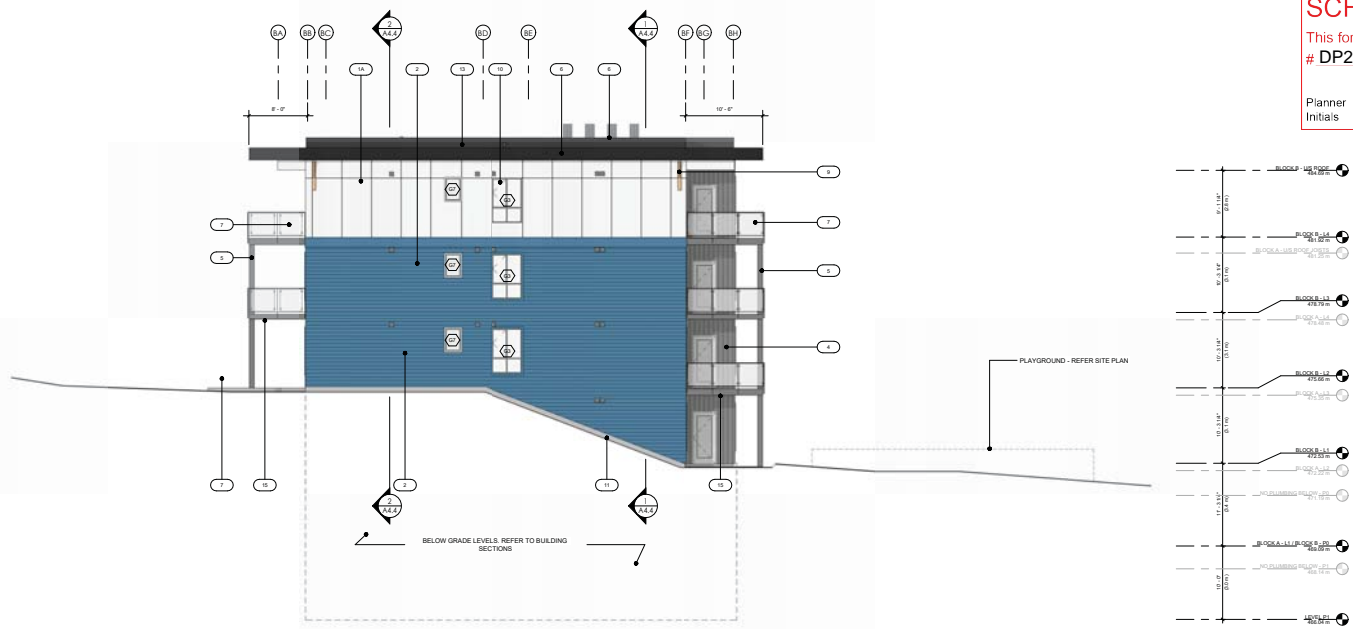
NO.	DATE	DESCRIPTION
1	2023-02-27	ISSUED FOR PERMIT
2	2023-03-01	REVISION
3	2023-03-01	CLIENT REVIEW
4	2023-03-01	CLIENT REVIEW
5	2024-01-15	ISSUED FOR PERMIT
6	2024-01-15	ISSUED FOR PERMIT
7	2024-01-15	ISSUED FOR PERMIT
8	2024-01-15	ISSUED FOR PERMIT
9	2024-01-15	ISSUED FOR PERMIT
10	2024-01-15	ISSUED FOR PERMIT

Project: **CLIFTON MULTIFAMILY RENTAL**

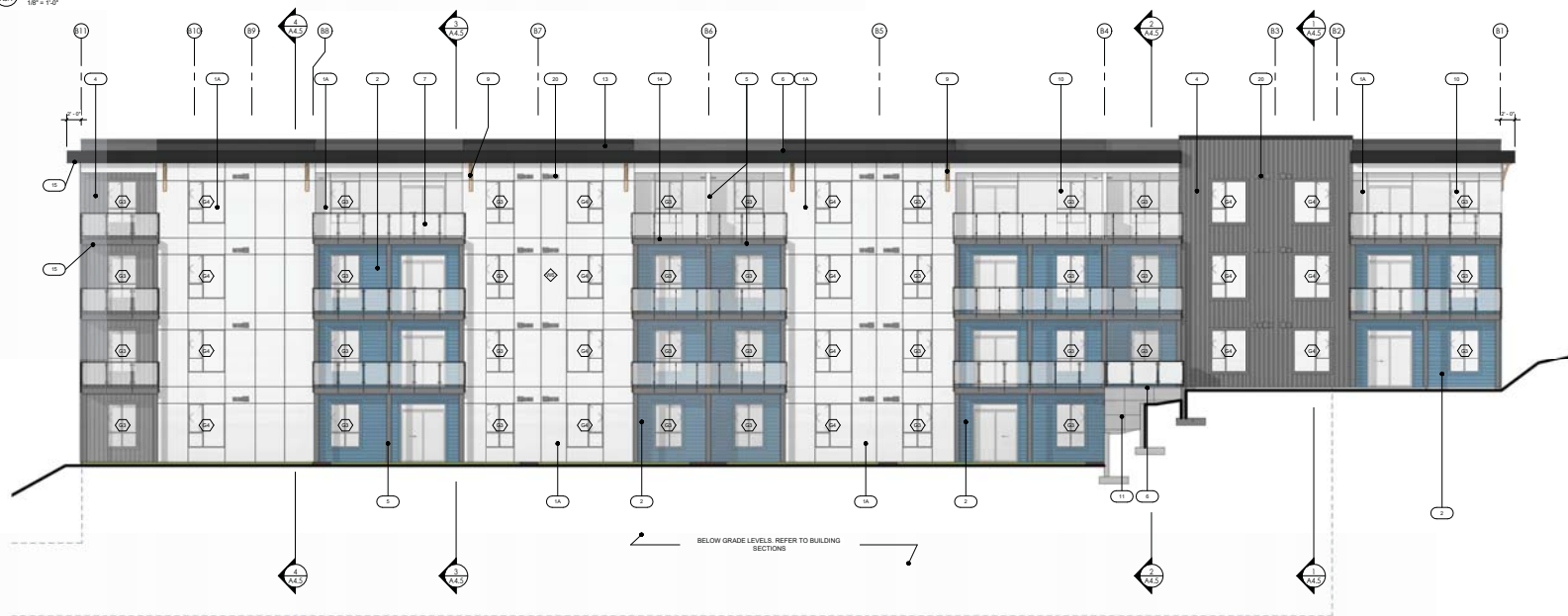
CIVIC ADDRESS:  
1402 CAROLAN CT, KELOWNA, BC (BUILDING A)  
1408 CAROLAN CT, KELOWNA, BC (BUILDING B)

Sheet Title: **BLOCK B - BUILDING ELEVATIONS**

Job Number: 22-1085  
Date: 2024-03-05  
Scale: As Indicated  
Revision Number: A  
Drawing Number: A3.4



**2** BLOCK B - NORTH ELEVATION  
1/8" = 1'-0"



**3** BLOCK B - EAST ELEVATION  
1/8" = 1'-0"





**SCHEDULE B**

This forms part of application  
# DP23-0214 DVP23-0215

Planner Initials **TC**

City of Kelowna  
DEVELOPMENT PLANNING

- NOTE:
- CONFIRM ALL LOAD-BEARING RATED INTERIOR WALLS WITH STRUCTURAL PLANE
  - DROPPED CEILING AND BULKHEADS NOT SHOWN IN SECTION REFER TO ENLARGED NODES
  - DIMENSIONS NOTED INSIDE HOISTWAY ARE FROM FINISHED FACE OF DRYWALL

**FIRE SEPARATION LEGEND**

---	TRAVEL DISTANCE TO FIRE EXIT
---	FIRE SEPARATION WITH 60 MINUTE FIRE RESISTANCE
---	FIRE SEPARATION WITH 90 MINUTE FIRE RATING
---	FIRE SEPARATION WITH 120 MINUTE FIRE RESISTANCE

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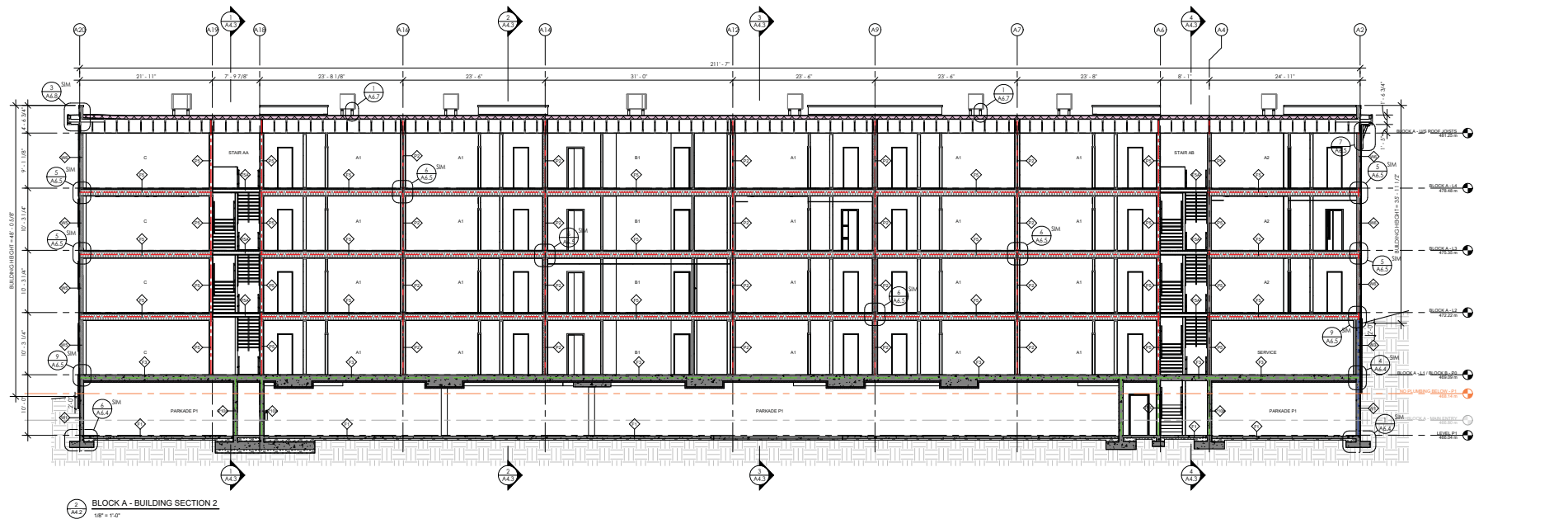
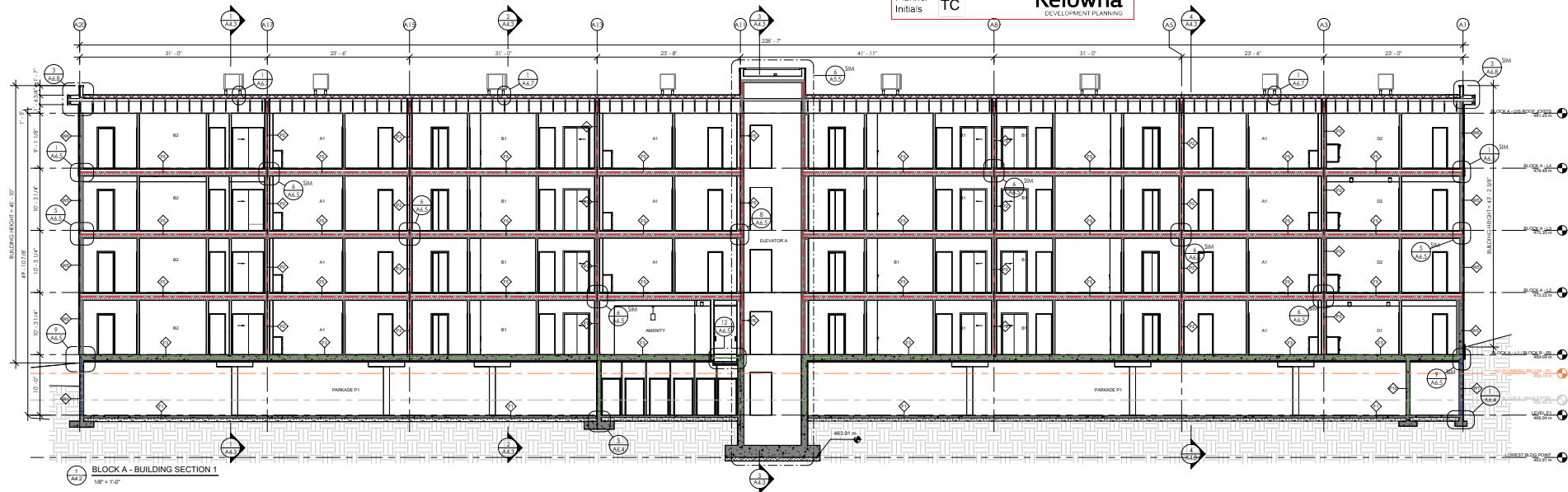
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2	2024-03-05	REVISION FOR PERMIT
3	2024-03-05	REVISION FOR PERMIT
4	2024-03-05	REVISION FOR PERMIT
5	2024-03-05	REVISION FOR PERMIT
6	2024-03-05	REVISION FOR PERMIT
7	2024-03-05	REVISION FOR PERMIT
8	2024-03-05	REVISION FOR PERMIT
9	2024-03-05	REVISION FOR PERMIT
10	2024-03-05	REVISION FOR PERMIT



**RECORD OF REVISIONS**

NO.	DATE	DESCRIPTION
1	2024-03-05	ISSUED FOR PERMIT
2	2024-03-05	REVISION FOR PERMIT
3	2024-03-05	REVISION FOR PERMIT
4	2024-03-05	REVISION FOR PERMIT
5	2024-03-05	REVISION FOR PERMIT
6	2024-03-05	REVISION FOR PERMIT
7	2024-03-05	REVISION FOR PERMIT
8	2024-03-05	REVISION FOR PERMIT
9	2024-03-05	REVISION FOR PERMIT
10	2024-03-05	REVISION FOR PERMIT

Project: **CLIFTON MULTIFAMILY RENTAL**

CIVIC ADDRESS:  
1402 CAROLAN CT, KELOWNA, BC (BUILDING A)  
1408 CAROLAN CT, KELOWNA, BC (BUILDING B)

Sheet Title:  
**BUILDING SECTIONS - BLOCK A**

Job Number: 22-1085  
Date: 2024-03-05  
Scale: As Indicated  
Revision Number: A  
Drawing Number:

**A4.2**





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1	2023-01-27	ISSUED FOR PERMIT
2	2023-01-27	RF COORDINATION
3	2023-01-27	CLIENT REVIEW
4	2023-01-27	DEVELOPMENT PERMIT
5	2024-01-15	ISSUED FOR SIGN REV
6	2024-01-15	ISSUED FOR PERMIT
7	2024-01-15	ISSUED FOR PERMIT
8	2024-01-15	ISSUED FOR PERMIT
9	2024-01-15	ISSUED FOR PERMIT

RECORD OF REVISIONS

NO.	DATE	DESCRIPTION
1	2024-03-05	AS INDICATED

Project  
**CLIFTON MULTIFAMILY RENTAL**

CIVIC ADDRESS  
 1402 CAROL GLEN CT, KELOWNA, BC (BUILDING A)  
 1408 CAROL GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title  
**BUILDING SECTIONS - BLOCK B**

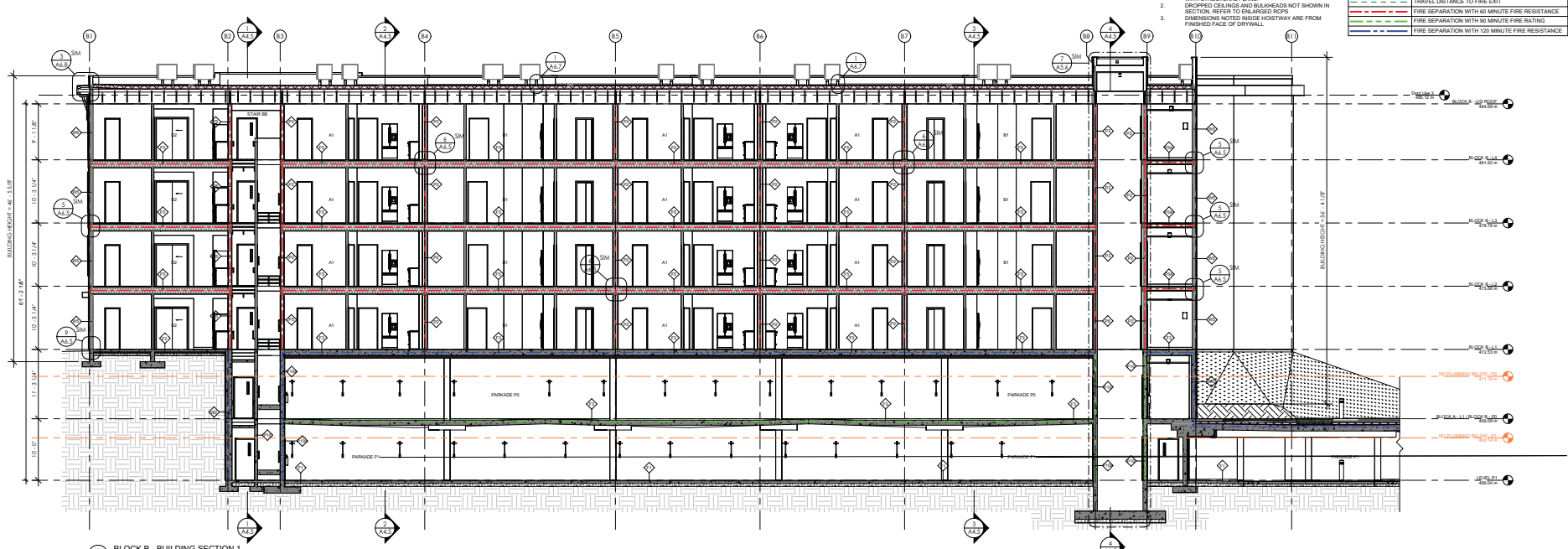
Job Number: 22-1085  
 Date: 2024-03-05  
 Scale: As Indicated  
 Revision Number: A

**A4.4**

**FIRE SEPARATION LEGEND**

---	TRAVEL DISTANCE TO FIRE EXIT
---	FIRE SEPARATION WITH 60 MINUTE FIRE RESISTANCE
---	FIRE SEPARATION WITH 90 MINUTE FIRE RATING
---	FIRE SEPARATION WITH 120 MINUTE FIRE RESISTANCE

- NOTE:**
- CONFIRM ALL LOAD-BEARING RATED INTERIOR WALLS WITH STRUCTURAL PLANS
  - DROPPED CEILINGS AND BULKHEADS NOT SHOWN IN SECTION REFER TO ENLARGED RIGS
  - DIMENSIONS NOTED INSIDE HOISTWAY ARE FROM FINISHED FACE OF DRYWALL



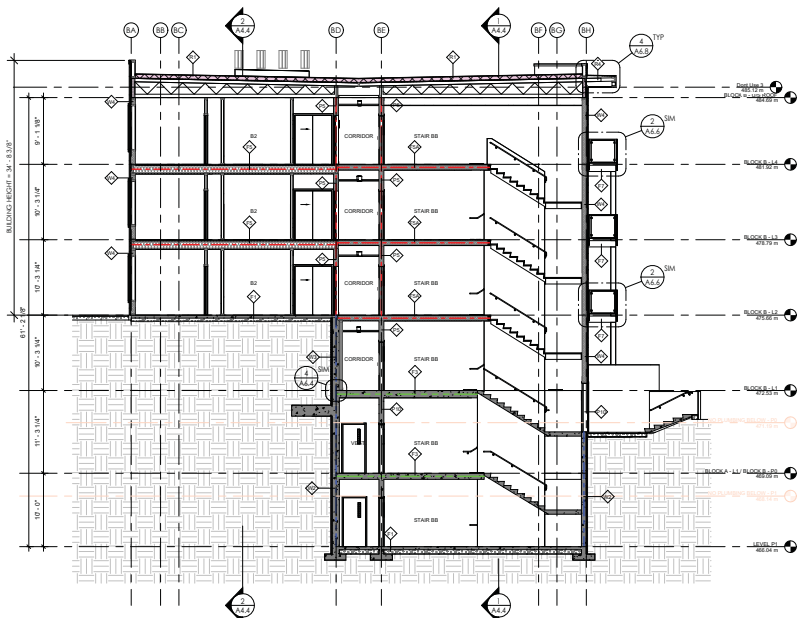
**BLOCK B - BUILDING SECTION 1**  
 1/8" = 1'-0"



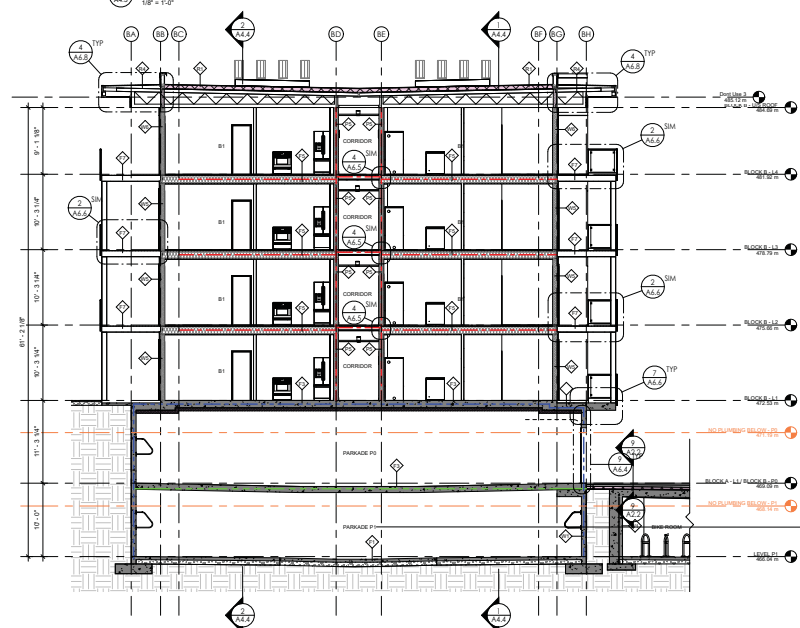
**BLOCK B - BUILDING SECTION 2**  
 1/8" = 1'-0"

**SCHEDULE B**  
 This forms part of application  
 # DP23-0214 DVP23-0215  
 City of Kelowna  
 DEVELOPMENT PLANNING  
 Planner Initials: TC





1 BLOCK B - BUILDING CROSS SECTION 1  
1/8" = 1'-0"



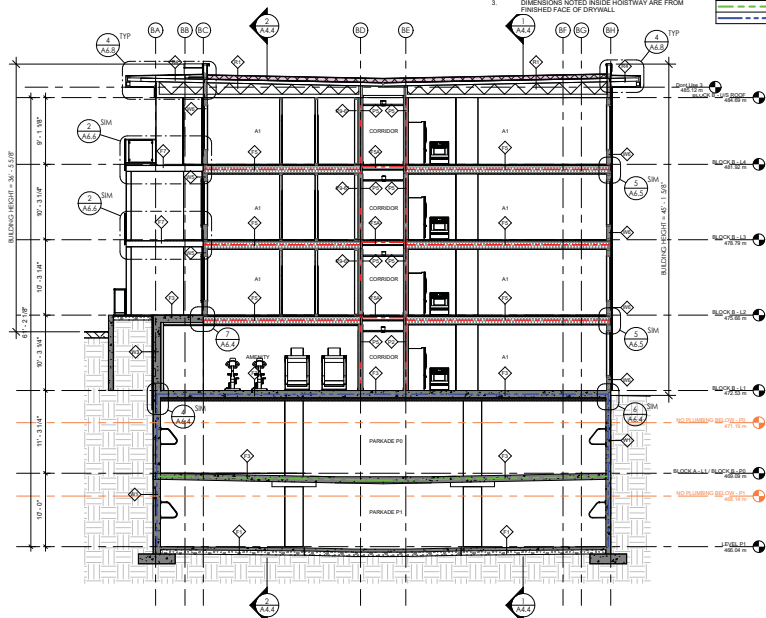
2 BLOCK B - BUILDING CROSS SECTION 2  
1/8" = 1'-0"



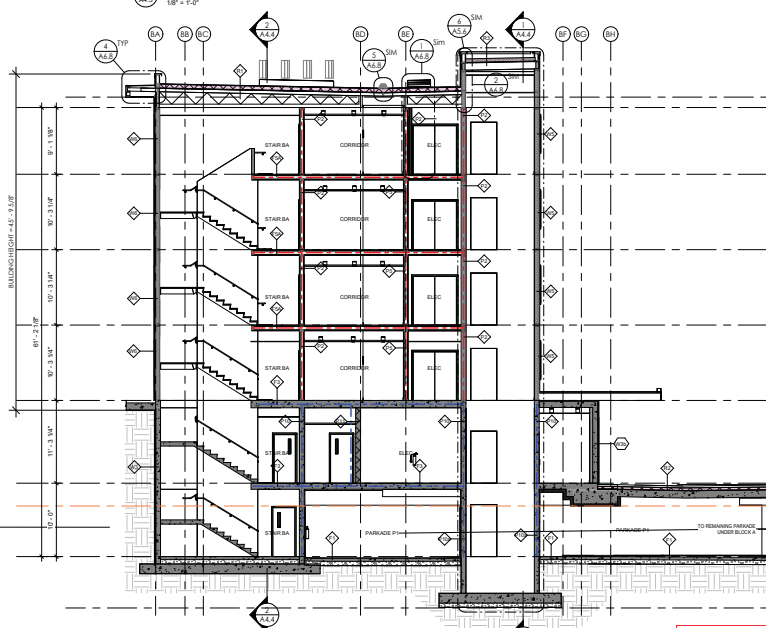
3 BLOCK B - BUILDING CROSS SECTION 3  
1/8" = 1'-0"



4 BLOCK B - BUILDING CROSS SECTION 4  
1/8" = 1'-0"



1 BLOCK B - BUILDING CROSS SECTION 1  
1/8" = 1'-0"



2 BLOCK B - BUILDING CROSS SECTION 2  
1/8" = 1'-0"



3 BLOCK B - BUILDING CROSS SECTION 3  
1/8" = 1'-0"



4 BLOCK B - BUILDING CROSS SECTION 4  
1/8" = 1'-0"

- NOTE:
- CONFIRM ALL LOAD-BEARING RATED INTERIOR WALLS WITH STRUCTURAL PLANE
  - DROPPED CEILING AND BULKHEADS NOT SHOWN IN SECTION REFER TO ENLARGED NODES
  - DIMENSIONS NOTED INSIDE HOISTWAY ARE FROM FINISH FACE OF DIVIDUAL

FIRE SEPARATION LEGEND

---	TRAVEL DISTANCE TO FIRE EXIT
---	FIRE SEPARATION WITH 60 MINUTE FIRE RESISTANCE
---	FIRE SEPARATION WITH 90 MINUTE FIRE RATING
---	FIRE SEPARATION WITH 120 MINUTE FIRE RESISTANCE

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NO.	DATE	DESCRIPTION
1	2024-03-05	ISSUED FOR PERMIT
2	2024-03-05	ISSUED FOR PERMIT
3	2024-03-05	ISSUED FOR PERMIT
4	2024-03-05	ISSUED FOR PERMIT
5	2024-03-05	ISSUED FOR PERMIT
6	2024-03-05	ISSUED FOR PERMIT
7	2024-03-05	ISSUED FOR PERMIT
8	2024-03-05	ISSUED FOR PERMIT
9	2024-03-05	ISSUED FOR PERMIT
10	2024-03-05	ISSUED FOR PERMIT

Project: CLIFTON MULTIFAMILY RENTAL

CIVIC ADDRESS: 1402 CARA GLEN CT, KELOWNA, BC (BUILDING A); 1408 CARA GLEN CT, KELOWNA, BC (BUILDING B)

Sheet Title: BUILDING CROSS SECTIONS - BLOCK B

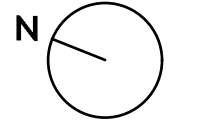
Job Number: 22-1085  
Date: 2024-03-05  
Scale: As Indicated  
Revision Number: A  
Drawing Number: A4.5

**SCHEDULE B**  
This forms part of application # DP23-0214 DVP23-0215  
City of Kelowna  
Partner: Intra TC





\*REFER LS-102 FOR LANDSCAPE NOTES AND PLANT LIST



PROJECT TITLE  
**CARA GLEN COURT**

Kelowna, BC  
 DRAWING TITLE  
**CONCEPTUAL LANDSCAPE PLAN**

ISSUED FOR / REVISION	DATE	BY
1	23.05.05	Review
2	23.05.12	Development Permit
3	23.09.08	Development Permit
4	24.03.26	Public Consultation
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PROJECT NO.	22-1216
DESIGN BY	AM
DRAWN BY	MC
CHECKED BY	AM
DATE	APR. 16, 2024
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PAGE SIZE	24"x36"

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DRAWING NUMBER

**LS-101**

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**SCHEDULE C**  
 This forms part of application  
 # DP23-0214 DVP23-0215  
 City of Kelowna  
 DEVELOPMENT PLANNING  
 Planner Initials **TC**



\*REFER LS-101 FOR LANDSCAPE PLAN

PLANT LIST		*PLANT QUANTITIES ESTIMATED ONLY. NOT FOR PRICING*	
BOTANICAL NAME	COMMON NAME	QTY	SIZE/SPACING & REMARKS
<b>TREES</b>			
ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY MAPLE	5	5cm CAL
ACER SACCHARINUM 'SILVER CLOUD'	SILVER CLOUD MAPLE	9	5cm CAL
GYMNOCLADUS DIOICUS 'ESPRESSO-JFS'	KENTUCKY COFFEE TREE	11	4cm CAL
POPULUS TREMULOIDES	AMERICAN ASPEN	7	5cm CAL
SYRINGA RETICULATA	JAPANESE TREE LILAC	15	3cm CAL
<b>SHRUBS</b>			
CORNUS SERICEA	RED OSIER DOGWOOD	7	#02 CONT. /3.0M O.C. SPACING
HOLODISCUS DISCOLOR	OCEAN SPRAY	10	#02 CONT. /2.5M O.C. SPACING
MAHONIA AQUIFOLIUM	OREGON GRAPE	26	#02 CONT. /1.5M O.C. SPACING
RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	10	#02 CONT. /2.5M O.C. SPACING
RHUS TYPHINA	STAGHORN SUMAC	15	#02 CONT. /2.0M O.C. SPACING
RIBES ALPINUM	ALPINE CURRIENT	10	#02 CONT. /1.5M O.C. SPACING
RIBES HIRTPELLUM	GOOSEBERRY	26	#02 CONT. /1.5M O.C. SPACING
ROSA WOODSII	WOOD'S ROSE	15	#02 CONT. /2.0M O.C. SPACING
SALVIA OFFICINALIS	COMMON SAGE	60	#02 CONT. /1.0M O.C. SPACING
SYMPHORICARPOS ALBUS	SNOWBERRY	26	#02 CONT. /1.5M O.C. SPACING
TAXUS MEDIA 'TAUTONII'	TAUTON YEW	60	#02 CONT. /1.0M O.C. SPACING
<b>PERENNIALS, GRASSES &amp; GROUNDCOVERS</b>			
ACHILLEA MILLEFOLIUM	COMMON YARROW	88	#01 CONT. /0.75M O.C. SPACING
DESCHAMPSIA CESPITOSA	TUFTED HAIR GRASS	88	#01 CONT. /0.75M O.C. SPACING
ECHINACEA PURPUREA 'ALBA'	WHITE SWAN CONEFLOWER	88	#01 CONT. /0.75M O.C. SPACING
ECHINACEA PURPUREA 'MAGNUS'	MAGNUS CONEFLOWER	88	#01 CONT. /0.75M O.C. SPACING
LAVANDULA ANGUSTIFOLIA 'HIDCOTE SUPERIOR'	HIDCOTE SUPERIOR LAVENDER	88	#01 CONT. /0.75M O.C. SPACING
NEPETA 'SIX HILLS GIANT'	CATMINT SIX HILLS GIANT	88	#01 CONT. /0.75M O.C. SPACING
PEROVSKIA ATRIPLICIFOLIA LONGIN'	RUSSIAN SAGE LONGIN'	88	#01 CONT. /0.75M O.C. SPACING
RUDBECKIA FULGIDA 'GOLDSTURM'	BLACK-EYED SUSAN	88	#01 CONT. /0.75M O.C. SPACING
SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	49	#01 CONT. /1.0M O.C. SPACING

### NOTES

1. PLANT MATERIAL AND CONSTRUCTION METHODS SHALL MEET OR EXCEED CANADIAN LANDSCAPE STANDARDS. ALL OFFSITE LANDSCAPE WORKS TO MEET CITY OF KELOWNA BYLAW 12375 STANDARDS.
2. ALL SOFT LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC TIMED UNDERGROUND IRRIGATION SYSTEM.
3. TREE AND SHRUB BEDS TO BE DRESSED IN A MINIMUM 75mm NATURAL WOOD MULCH AS SHOWN IN PLANS. DO NOT PLACE WEED MAT UNDERNEATH TREE AND SHRUB BEDS.
4. SHRUB BEDS TO RECEIVE A MINIMUM 300mm DEPTH TOPSOIL PLACEMENT. TREE BEDS TO RECEIVE A MINIMUM 1000mm DEPTH TOPSOIL PLACEMENT.
5. TURF AREA FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED OF IMPROVED CULTIVARS REGISTERED FOR SALE IN B.C. AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150mm DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND HARD SURFACES FLUSH.
6. SITE GRADING AND DRAINAGE WILL ENSURE THAT ALL STRUCTURES HAVE POSITIVE DRAINAGE AND THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.

### HYDROSEED NOTES

1. HYDROSEEDING DRYLAND SEED AREAS:  

DRYLAND SEED MIXTURE	BY WEIGHT	BY SPECIES
BLUE BUNCH WHEAT GRASS	40%	22%
ROUGH FESCUE	25%	20%
IDAHO FESCUE	15%	19%
PERENNIAL RYEGRASS	10%	7%
SANDBERG BLUEGRASS	5%	13%
JUNE GRASS	4%	18%
CANADA BLUEGRASS	1%	1%
- HYDROSEEDING APPLICATION RATE  

NATIVE SEED	DRYLAND SEED MIXTURE	125KG/HECTARE
FERTILIZER	18-18-18-2, 50% SULPHUR COATED UREA	300KG/HECTARE
MULCH	CANFOR ECOFIBRE PLUS TAC	2,800KG/HECTARE
TACKIFIER	GUAR	3% OF MIX
- THE PRECEDING HYDROSEEDING MIXTURE IS TO BE APPLIED TO THE DRYLAND SEED AREA AS SHOWN ON THE DRAWING. SEED MIX TO BE CERTIFIED #1 GRADE BY AGRICULTURE CANADA. REFER MANUFACTURER'S SPECIFICATIONS FOR PRODUCT DELIVERY, STORAGE & PROTECTION.
2. IRRIGATE FOR ESTABLISHMENT

PROJECT TITLE

**CARA GLEN COURT**

Kelowna, BC

DRAWING TITLE

**NOTES & PLANT LIST PAGE**

ISSUED FOR / REVISION

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PROJECT NO. 22-1216

DESIGN BY AM

DRAWN BY MC

CHECKED BY AM

DATE APR. 16, 2024

SCALE 1:200

PAGE SIZE 24"x36"

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DRAWING NUMBER

**LS-102**

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**SCHEDULE** C

This forms part of application  
# DP23-0214 DVP23-0215

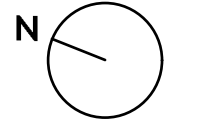
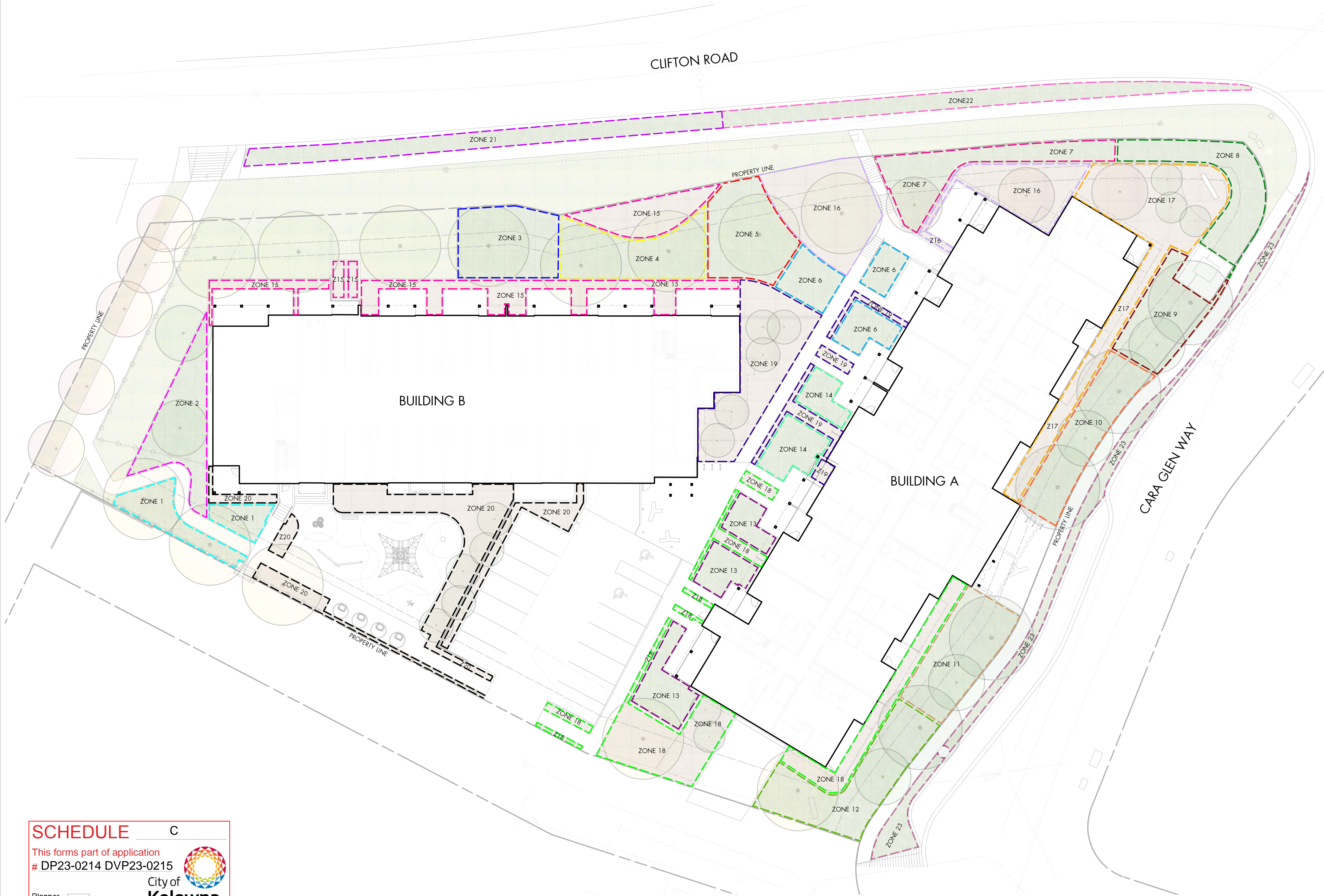
Planner Initials **TC**

City of Kelowna  
DEVELOPMENT PLANNING





\*REFER LS-102 FOR NOTES, LEGEND AND ZONE CALCULATIONS



PROJECT TITLE

**CARA GLEN COURT**

Kelowna, BC

DRAWING TITLE

**CONCEPTUAL  
LANDSCAPE PLAN**

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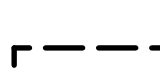



City of Kelowna  
DEVELOPMENT PLANNING

Planner Initials **TC**



\*REFER LS-101 FOR LANDSCAPE PLAN

**IRRIGATION LEGEND**

<p> ZONE #1: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS              TOTAL AREA: 69 sq.m.              MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 59 cu.m.</p> <p> ZONE #2: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS              TOTAL AREA: 94 sq.m.              MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 81 cu.m.</p> <p> ZONE #3: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS              TOTAL AREA: 94 sq.m.              MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 81 cu.m.</p> <p> ZONE #4: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS              TOTAL AREA: 97 sq.m.              MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 83 cu.m.</p> <p> ZONE #5: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS              TOTAL AREA: 97 sq.m.              MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 83 cu.m.</p> <p> ZONE #6: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS              TOTAL AREA: 83 sq.m.              MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 71 cu.m.</p> <p> ZONE #7: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS              TOTAL AREA: 96 sq.m.              MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 82 cu.m.</p> <p> ZONE #8: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS              TOTAL AREA: 80 sq.m.              MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 69 cu.m.</p> <p> ZONE #9: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS              TOTAL AREA: 97 sq.m.              MICROCLIMATE: SOUTH EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 83 cu.m.</p> <p> ZONE #10: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS              TOTAL AREA: 100 sq.m.              MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 86 cu.m.</p> <p> ZONE #11: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS              TOTAL AREA: 101 sq.m.              MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 87 cu.m.</p> <p> ZONE #12: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS              TOTAL AREA: 124 sq.m.              MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 106 cu.m.</p>	<p> ZONE #13: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS              TOTAL AREA: 95 sq.m.              MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 81 cu.m.</p> <p> ZONE #14: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS              TOTAL AREA: 61 sq.m.              MICROCLIMATE: EAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 52 cu.m.</p> <p> ZONE #15: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS              TOTAL AREA: 182 sq.m.              MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 61 cu.m.</p> <p> ZONE #16: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS              TOTAL AREA: 183 sq.m.              MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 61 cu.m.</p> <p> ZONE #17: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS              TOTAL AREA: 199 sq.m.              MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 66 cu.m.</p> <p> ZONE #18: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS              TOTAL AREA: 201 sq.m.              MICROCLIMATE: SOUTHWEST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 67 cu.m.</p> <p> ZONE #19: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS              TOTAL AREA: 174 sq.m.              MICROCLIMATE: NORTHEAST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 58 cu.m.</p> <p> ZONE #20: HIGH EFFICIENCY SUBSURFACE DRIP IRRIGATION FOR MODERATE WATER USE PLANTING AREAS              TOTAL AREA: 198 sq.m.              MICROCLIMATE: WEST EXPOSURE, PARTIALLY SHADED BY TREES &amp; BUILDING              ESTIMATED ANNUAL WATER USE: 66 cu.m.</p> <p> ZONE #21: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS              TOTAL AREA: 102 sq.m.              MICROCLIMATE: NORTHEAST EXPOSURE, NO SHADE              ESTIMATED ANNUAL WATER USE: 87 cu.m.</p> <p> ZONE #22: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS              TOTAL AREA: 101 sq.m.              MICROCLIMATE: NORTHEAST EXPOSURE, NO SHADE              ESTIMATED ANNUAL WATER USE: 87 cu.m.</p> <p> ZONE #23: LOW VOLUME POP-UP SPRAYHEADS FOR TURF AREAS              TOTAL AREA: 112 sq.m.              MICROCLIMATE: SOUTHEAST EXPOSURE, PARTIALLY SHADED BY TREES              ESTIMATED ANNUAL WATER USE: 96 cu.m.</p>
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**IRRIGATION NOTES**

1. IRRIGATION PRODUCTS AND INSTALLATION METHODS SHALL MEET OR EXCEED THE REQUIREMENTS OF THE WATER USE REGULATION BYLAW NO. 10480 AND THE SUPPLEMENTARY SPECIFICATIONS IN THE CITY OF KELOWNA BYLAW 7900 (PART 6, SCHEDULE 5).
2. THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS, REGULATIONS, AND BYLAWS OF THE WATER PURVEYOR.
3. THE IRRIGATION SYSTEM SHALL BE EQUIPPED WITH AN APPROVED BACKFLOW PREVENTION DEVICE, WATER METER, AND SHUT OFF VALVE LOCATED OUTSIDE THE BUILDING ACCESSIBLE TO THE CITY.
4. AN APPROVED SMART CONTROLLER SHALL BE INSTALLED. THE IRRIGATION SCHEDULING TIMES SHALL UTILIZE A MAXIMUM ET VALUE OF 7" / MONTH (KELOWNA JULY ET), TAKING INTO CONSIDERATION SOIL TYPE, SLOPE, AND MICROCLIMATE.
5. DRIP LINE AND EMITTERS SHALL INCORPORATE TECHNOLOGY TO LIMIT ROOT INTRUSION.
6. IRRIGATION SLEEVES SHALL BE INSTALLED TO ROUTE IRRIGATION LINES UNDER HARD SURFACES AND FEATURES.
7. IRRIGATION PIPE SHALL BE SIZED TO ALLOW FOR A MAXIMUM FLOW OF 1.5m / SEC.
8. A FLOW SENSOR AND MASTER VALVE SHALL BE CONNECTED TO THE CONTROLLER AND PROGRAMMED TO STOP FLOW TO THE SYSTEM IN CASE OF AN IRRIGATION WATER LEAK.

**WATER CONSERVATION CALCULATIONS**

LANDSCAPE MAXIMUM WATER BUDGET (WMB) = 2,324 cu.m. / year  
 ESTIMATED LANDSCAPE WATER USE (WU) = 1,753 cu.m. / year  
 WATER BALANCE = 571 cu.m. / year  
 \*REFER ATTACHED IRRIGATION APPLICATION FOR DETAILED CALCULATIONS

PROJECT TITLE

**CARA GLEN COURT**

Kelowna, BC

DRAWING TITLE

**NOTES & LEGEND PAGE**

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**SCHEDULE C**

This forms part of application  
 # DP23-0214 DVP23-0215

Planner Initials **TC**

**City of Kelowna**  
 DEVELOPMENT PLANNING



Consideration has been given to the following guidelines as identified in Chapter 18 of the City of Kelowna 2040 Official Community Plan:

SECTION 2.0: GENERAL RESIDENTIAL AND MIXED USE						
RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE <i>(1 is least complying &amp; 5 is highly complying)</i>	N/A	1	2	3	4	5
<b>2.1 General residential &amp; mixed use guidelines</b>						
<b>2.1.1 Relationship to the Street</b>	N/A	1	2	3	4	5
a. Orient primary building facades and entries to the fronting street or open space to create street edge definition and activity.						✓
b. On corner sites, orient building facades and entries to both fronting streets.					✓	
c. Minimize the distance between the building and the sidewalk to create street definition and a sense of enclosure.				✓		
d. Locate and design windows, balconies, and street-level uses to create active frontages and 'eyes on the street', with additional glazing and articulation on primary building facades.						✓
e. Ensure main building entries are clearly visible with direct sight lines from the fronting street.						✓
f. Avoid blank, windowless walls along streets or other public open spaces.				✓		
<b>2.1.2 Scale and Massing</b>	N/A	1	2	3	4	5
a. Provide a transition in building height from taller to shorter buildings both within and adjacent to the site with consideration for future land use direction.				✓		
b. Break up the perceived mass of large buildings by incorporating visual breaks in facades.					✓	
<b>2.1.3 Site Planning</b>	N/A	1	2	3	4	5
a. Site and design buildings to respond to unique site conditions and opportunities, such as oddly shaped lots, location at prominent intersections, framing of important open spaces, corner lots, sites with buildings that terminate a street end view, and views of natural features.						✓
b. Use Crime Prevention through Environmental Design (CPTED) principles to better ensure public safety through the use of appropriate lighting, visible entrances, opportunities for natural surveillance, and clear sight lines for pedestrians.					✓	
c. Limit the maximum grades on development sites to 30% (3:1)						✓
d. Design buildings for 'up-slope' and 'down-slope' conditions relative to the street by using strategies such as: <ul style="list-style-type: none"> <li>Stepping buildings along the slope, and locating building entrances at each step and away from parking access where possible;</li> <li>Incorporating terracing to create usable open spaces around the building</li> </ul>						✓

<ul style="list-style-type: none"> <li>Using the slope for under-building parking and to screen service and utility areas;</li> <li>Design buildings to access key views; and</li> <li>Minimizing large retaining walls (retaining walls higher than 1 m should be stepped and landscaped).</li> </ul>						
e. Design internal circulation patterns (street, sidewalks, pathways) to be integrated with and connected to the existing and planned future public street, bicycle, and/or pedestrian network.						✓
f. Incorporate easy-to-maintain traffic calming features, such as on-street parking bays and curb extensions, textured materials, and crosswalks.						✓
<b>2.1.4 Site Servicing, Access, and Parking</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Locate off-street parking and other 'back-of-house' uses (such as loading, garbage collection, utilities, and parking access) away from public view.				✓		
b. Ensure utility areas are clearly identified at the development permit stage and are located to not unnecessarily impact public or common open spaces.						✓
c. Avoid locating off-street parking between the front façade of a building and the fronting public street.				✓		
d. In general, accommodate off-street parking in one of the following ways, in order of preference: <ul style="list-style-type: none"> <li>Underground (where the high water table allows)</li> <li>Parking in a half-storey (where it is able to be accommodated to not negatively impact the street frontage);</li> <li>Garages or at-grade parking integrated into the building (located at the rear of the building); and</li> <li>Surface parking at the rear, with access from the lane or secondary street wherever possible.</li> </ul>					✓	
e. In cases where publicly visible parking is unavoidable, screen using strategies such as: <ul style="list-style-type: none"> <li>Landscaping;</li> <li>Trellises;</li> <li>Grillwork with climbing vines; or</li> <li>Other attractive screening with some visual permeability.</li> </ul>					✓	
f. Provide bicycle parking at accessible locations on site, including: <ul style="list-style-type: none"> <li>Covered short-term parking in highly visible locations, such as near primary building entrances; and</li> <li>Secure long-term parking within the building or vehicular parking area.</li> </ul>						✓
g. Provide clear lines of site at access points to parking, site servicing, and utility areas to enable casual surveillance and safety.						✓
h. Minimize negative impacts of parking ramps and entrances through treatments such as enclosure, screening, high quality finishes, sensitive lighting and landscaping.					✓	
<b>2.1.5 Streetscapes, Landscapes, and Public Realm Design</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>

**ATTACHMENT** B

This forms part of application  
# DP23-0214 DVP23-0215



City of  
**Kelowna**  
DEVELOPMENT PLANNING

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a. Site buildings to protect mature trees, significant vegetation, and ecological features.	✓					
b. Locate underground parkades, infrastructure, and other services to maximize soil volumes for in-ground plantings.						✓
c. Site trees, shrubs, and other landscaping appropriately to maintain sight lines and circulation.						✓
d. Design attractive, engaging, and functional on-site open spaces with high quality, durable, and contemporary materials, colors, lighting, furniture, and signage.						✓
e. Ensure site planning and design achieves favourable microclimate outcomes through strategies such as: <ul style="list-style-type: none"> <li>• Locating outdoor spaces where they will receive ample sunlight throughout the year;</li> <li>• Using materials and colors that minimize heat absorption;</li> <li>• Planting both evergreen and deciduous trees to provide a balance of shading in the summer and solar access in the winter; and</li> <li>• Using building mass, trees and planting to buffer wind.</li> </ul>						✓
f. Use landscaping materials that soften development and enhance the public realm.						✓
g. Plant native and/or drought tolerant trees and plants suitable for the local climate.						✓
h. Select trees for long-term durability, climate and soil suitability, and compatibility with the site’s specific urban conditions.						✓
<b>2.1.6 Building Articulation, Features and Materials</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Express a unified architectural concept that incorporates variation in façade treatments. Strategies for achieving this include: <ul style="list-style-type: none"> <li>• Articulating facades by stepping back or extending forward a portion of the façade to create a series of intervals or breaks;</li> <li>• Repeating window patterns on each step-back and extension interval;</li> <li>• Providing a porch, patio, or deck, covered entry, balcony and/or bay window for each interval; and</li> <li>• Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce each interval.</li> </ul>						✓
b. Incorporate a range of architectural features and details into building facades to create visual interest, especially when approached by pedestrians. Include architectural features such as: bay windows and balconies; corner feature accents, such as turrets or cupolas; variations in roof height, shape and detailing; building entries; and canopies and overhangs.  Include architectural details such as: Masonry such as tiles, brick, and stone; siding including score lines and varied materials to distinguish between floors; articulation of columns and pilasters; ornamental features and art work; architectural lighting; grills and railings; substantial trim details and moldings / cornices; and trellises, pergolas, and arbors.					✓	

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c. Design buildings to ensure that adjacent residential properties have sufficient visual privacy (e.g. by locating windows to minimize overlook and direct sight lines into adjacent units), as well as protection from light trespass and noise.						✓
d. Design buildings such that their form and architectural character reflect the buildings internal function and use.						✓
e. Incorporate substantial, natural building materials such as masonry, stone, and wood into building facades.					✓	
f. Provide weather protection such as awnings and canopies at primary building entries.						✓
g. Limit signage in number, location, and size to reduce visual clutter and make individual signs easier to see.						✓
h. Provide visible signage identifying building addresses at all entrances.	✓					
<b>SECTION 4.0: LOW &amp; MID-RISE RESIDENTIAL MIXED USE</b>						
<b>RATE PROPOSALS COMPLIANCE TO PERTINENT GUIDELINE</b> <i>(1 is least complying &amp; 5 is highly complying)</i>	N/A	1	2	3	4	5
<b>4.1 Low &amp; mid-rise residential &amp; mixed use guidelines</b>						
<b>4.1.1 Relationship to the Street</b>	N/A	1	2	3	4	5
g. Ensure lobbies and main building entries are clearly visible from the fronting street.						✓
h. Avoid blank walls at grade wherever possible by: <ul style="list-style-type: none"> <li>Locating enclosed parking garages away from street frontages or public open spaces;</li> <li>Using ground-oriented units or glazing to avoid creating dead frontages; and</li> <li>When unavoidable, screen blank walls with landscaping or incorporate a patio café or special materials to make them more visually interesting.</li> </ul>					✓	
<b>4.1.2 Scale and Massing</b>	N/A	1	2	3	4	5
a. Residential building facades should have a maximum length of 60 m. A length of 40 m is preferred.				✓		
b. Residential buildings should have a maximum width of 24 m.						✓
c. Buildings over 40 m in length should incorporate a significant horizontal and vertical break in the façade.				✓		
d. For commercial facades, incorporate a significant break at intervals of approximately 35 m.	✓					
<b>4.1.3 Site Planning</b>	N/A	1	2	3	4	5
a. On sloping sites, floor levels should step to follow natural grade and avoid the creation of blank walls.						✓
b. Site buildings to be parallel to the street and to have a distinct front-to-back orientation to public street and open spaces and to rear yards, parking, and/or interior court yards: <ul style="list-style-type: none"> <li>Building sides that interface with streets, mid-block connections and other open spaces and should positively frame and activate streets and open spaces and support pedestrian activity; and</li> </ul>					✓	

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<ul style="list-style-type: none"> <li>Building sides that are located away from open spaces (building backs) should be designed for private/shared outdoor spaces and vehicle access.</li> </ul>						
c. Break up large buildings with mid-block connections which should be publicly-accessible wherever possible.					✓	
d. Ground floors adjacent to mid-block connections should have entrances and windows facing the mid-block connection.						✓
<b>4.1.4 Site Servicing, Access and Parking</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Vehicular access should be from the lane. Where there is no lane, and where the re-introduction of a lane is difficult or not possible, access may be provided from the street, provided: <ul style="list-style-type: none"> <li>Access is from a secondary street, where possible, or from the long face of the block;</li> <li>Impacts on pedestrians and the streetscape is minimised; and</li> <li>There is no more than one curb cut per property.</li> </ul>						✓
b. Above grade structure parking should only be provided in instances where the site or high water table does not allow for other parking forms and should be screened from public view with active retail uses, active residential uses, architectural or landscaped screening elements.					✓	
c. Buildings with ground floor residential may integrate half-storey underground parking to a maximum of 1.2 m above grade, with the following considerations: <ul style="list-style-type: none"> <li>Semi-private spaces should be located above to soften the edge and be at a comfortable distance from street activity; and</li> <li>Where conditions such as the high water table do not allow for this condition, up to 2 m is permitted, provided that entryways, stairs, landscaped terraces, and patios are integrated and that blank walls and barriers to accessibility are minimized.</li> </ul>						✓
<b>4.1.5 Publicly-Accessible and Private Open Spaces</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Integrate publicly accessible private spaces (e.g. private courtyards accessible and available to the public) with public open areas to create seamless, contiguous spaces.	✓					
b. Locate semi-private open spaces to maximize sunlight penetration, minimize noise disruptions, and minimize 'overlook' from adjacent units.					✓	
<b>4.1.6 Building Articulation, Features, and Materials</b>	<b>N/A</b>	<b>1</b>	<b>2</b>	<b>3</b>	<b>4</b>	<b>5</b>
a. Articulate building facades into intervals that are a maximum of 15 m wide for mixed-use buildings and 20 m wide for residential buildings. Strategies for articulating buildings should consider the potential impacts on energy performance and include: <ul style="list-style-type: none"> <li>Façade Modulation – stepping back or extending forward a portion of the façade to create a series of intervals in the façade;</li> <li>Repeating window pattern intervals that correspond to extensions and step backs (articulation) in the building façade;</li> <li>Providing a porch, patio, deck, or covered entry for each interval;</li> </ul>						✓

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<ul style="list-style-type: none"> <li>• Providing a bay window or balcony for each interval, while balancing the significant potential for heat loss through thermal bridge connections which could impact energy performance;</li> <li>• Changing the roof line by alternating dormers, stepped roofs, gables, or other roof elements to reinforce the modulation or articulation interval;</li> <li>• Changing the materials with the change in building plane; and</li> <li>• Provide a lighting fixture, trellis, tree or other landscape feature within each interval.</li> </ul>						
b. Break up the building mass by incorporating elements that define a building's base, middle and top.					✓	
c. Use an integrated, consistent range of materials and colors and provide variety, by for example, using accent colors.						✓
d. Articulate the façade using design elements that are inherent to the buildings as opposed to being decorative. For example, create depth in building facades by recessing window frames or partially recessing balconies to allow shadows to add detail and variety as a byproduct of massing.						✓
e. Incorporate distinct architectural treatments for corner sites and highly visible buildings such as varying the roofline, articulating the façade, adding pedestrian space, increasing the number and size of windows, and adding awnings or canopies.					✓	
f. Provide attractive signage on commercial buildings that identifies uses and shops clearly but which is scaled to the pedestrian rather than the motorist. Some exceptions can be made for buildings located on highways and/or major arterials in alignment with the City's Sign Bylaw.	✓					
g. Avoid the following types of signage: <ul style="list-style-type: none"> <li>• Internally lit plastic box signs;</li> <li>• Pylon (stand alone) signs; and</li> <li>• Rooftop signs.</li> </ul>						✓
h. Uniquely branded or colored signs are encouraged to help establish a special character to different neighbourhoods.						✓

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