

SCHEDULE B
 This forms part of application
 # DP23-0140
 City of Kelowna
 DEVELOPMENT PLANNING
 Planner Initials BC



STAIR OVERHEAD PARPET 1422.08
 433.45 m
 ROOF PARAPET 1414.00
 430.99 m
 U/S CEILING 1411.00
 430.07 m
 LEVEL 6 1402.00
 427.33 m
 LEVEL 5 1391.75
 424.21 m
 LEVEL 4 1381.50
 421.08 m
 LEVEL 3 1371.25
 417.96 m
 LEVEL 2 1361.00
 414.83 m
 GROUND LEVEL 1350.75
 411.71 m
 AVERAGE GRADE 1349.39
 411.29 m



1. FIBRE CEMENT SIDING - LIGHT GREY
 2. FIBRE CEMENT SIDING - WHITE
 3. FIBRE CEMENT SIDING - CEDAR (WOOD GRAIN)
 4. FIBRE CEMENT PANEL - WHITE
 5. FIBRE CEMENT PANEL - LIGHT GREY
 6. FIBRE CEMENT PANEL - CEDAR
 7. BRICK VENEER - GREY
 8. ALUMINUM SOFFIT - WOOD GRAIN
 9. THERMALLY BROKEN, DOUBLE GLAZED WINDOW - CLEAR
 10. CLEAR TEMPERED GLASS GUARD RAILING
 11. PRE-FINISHED METAL FLASHING - DARK GREY

Key Value	Keynote Text
1	FIBRE CEMENT SIDING - LIGHT GREY
2	FIBRE CEMENT SIDING - WHITE
3	FIBRE CEMENT SIDING - CEDAR (WOOD GRAIN)
4	FIBRE CEMENT PANEL - WHITE
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7	BRICK VENEER - GREY
8	ALUMINUM SOFFIT - WOOD GRAIN
9	THERMALLY BROKEN, DOUBLE GLAZED WINDOW - CLEAR
10	CLEAR TEMPERED GLASS GUARD RAILING
11	PRE-FINISHED METAL FLASHING - DARK GREY
12	PRIVACY SCREEN - FROSTED GLASS PARTITION WALL
13	ALUMINUM GUARDRAIL - BLACK
14	VINYL WINDOW/DOOR FRAME - BLACK
15	CONCRETE
16	WOOD - PAINTED WHITE
17	WOOD COLUMN - PAINTED WHITE



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J+S ARCHITECT
 T: 604 210 9898 601-6378 SILVER AVE. BURNABY BC V5H 0J2
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BUILDER'S RESPONSIBILITY TO LAYOUT WORK
 It is the Builder's responsibility to lay out and carry out the work as detailed in the contract documents. It is therefore necessary for the builder to pay very close attention to actual site dimensions, geometries and conditions which may vary from those assumed on the drawings.
 Any discrepancies which the Builder discovers within the contract documents themselves or between the contract documents & site conditions, are to be discussed with the Architect immediately before proceeding with any work.
 Written dimensions shall have precedence over scaled dimensions.
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NO.	REVISION	DATE
1	Client Review	AUG. 11, 2023
2	Development Permit	OCT. 15, 2023

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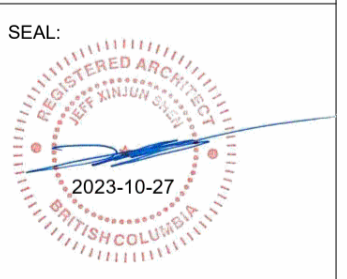
PROJECT:
Multi-family Development

465-495 DOUGALL ROAD N,
 KELOWNA, BC

CLIENT:

CONSULTANT:

SCALE: 1" = 10'-0"
 DATE: 08/11/2023
 JOB NO.: 2322



SHEET TITLE:
ELEVATIONS

DRAWING NO.:
A3.1

SCHEDULE

B

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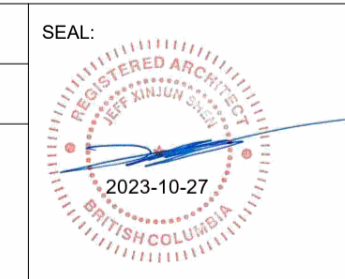
PROJECT:
Multi-family Development

465-495 DOUGALL ROAD N,
KELOWNA, BC

CLIENT:

CONSULTANT:

SCALE: 1" = 10'-0"
DATE: 10/27/2023
JOB NO.: 2322

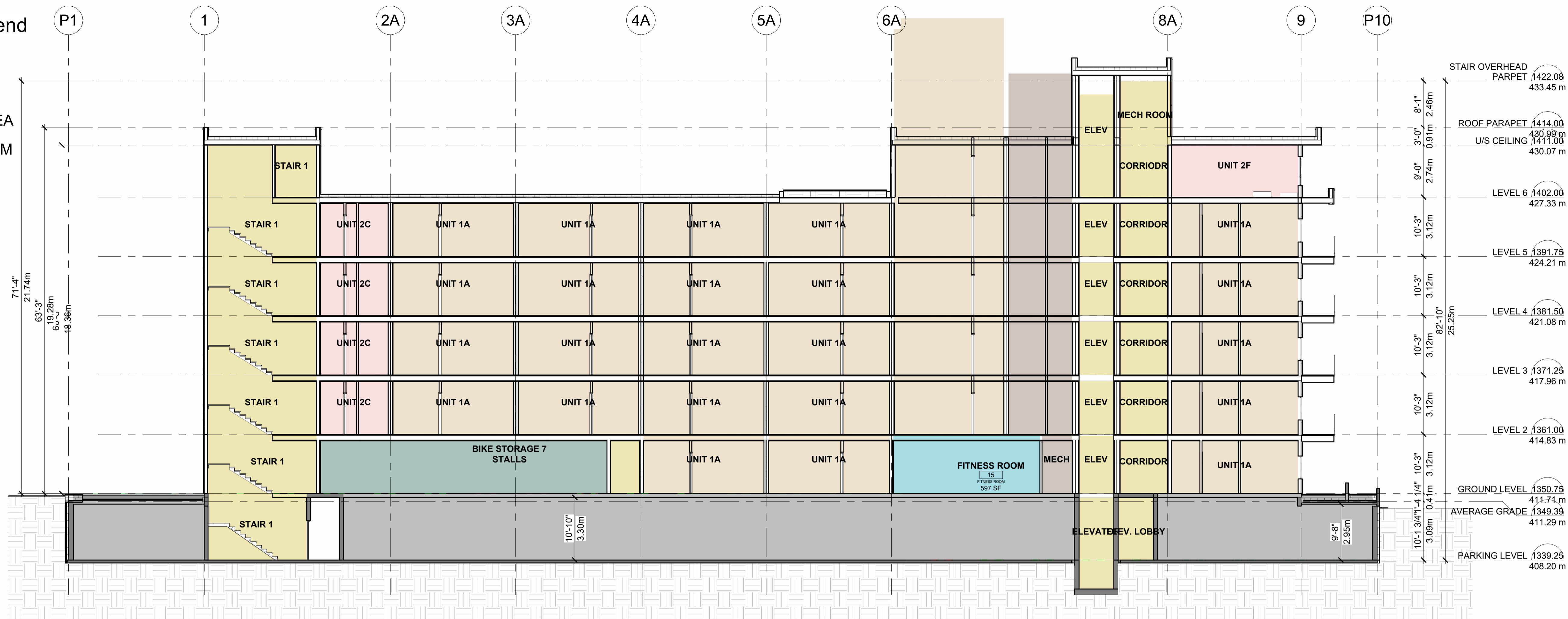


SHEET TITLE:
ELEVATIONS

DRAWING NO.: A3.2
REVISION NO.:

Unit Type Legend

- 1 BEDROOM
- 2 BEDROOM
- COMMON AREA
- FITNESS ROOM
- PARKING
- SERVICE
- STORAGE



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PROJECT:
Multi-family Development

465-495 DOUGALL ROAD N,
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CLIENT:

CONSULTANT:

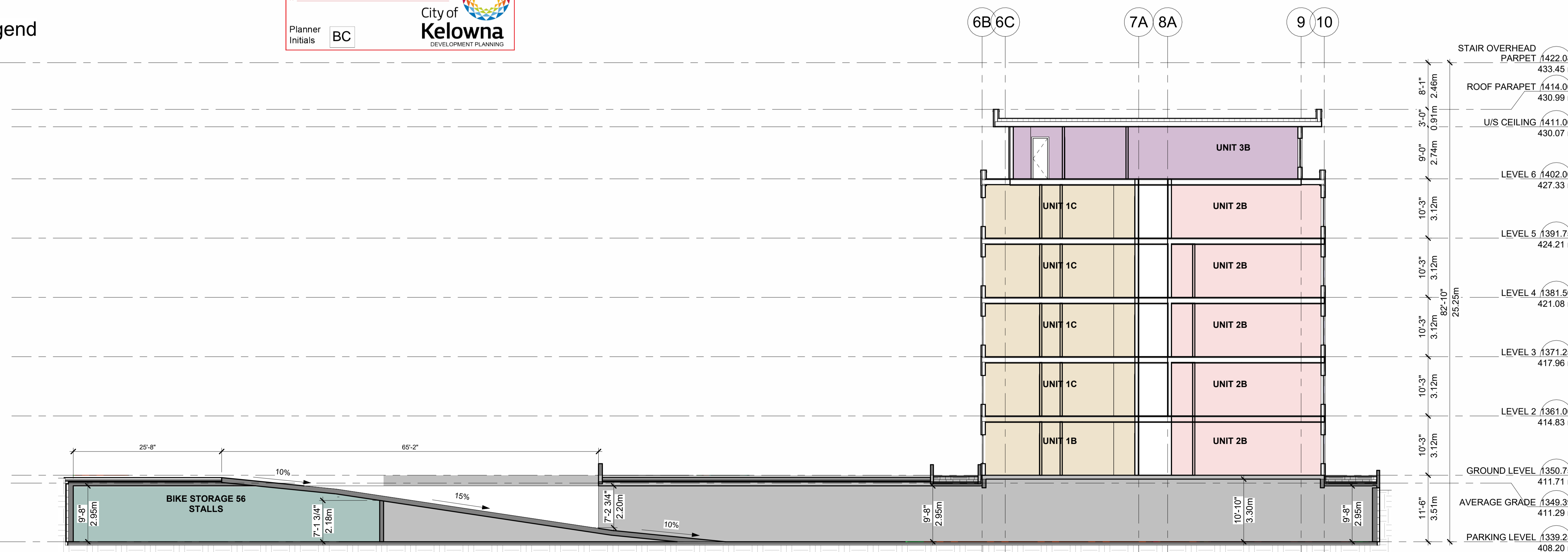
SCALE: 1" = 10'-0"
DATE: 08/11/2023
JOB NO.: 2322

SHEET TITLE:
SECTIONS

DRAWING NO.: **A4.1** REVISION NO.:

Unit Type Legend

- 1 BEDROOM
- 2 BEDROOM
- 3 BEDROOM
- PARKING
- STORAGE



1 LONG SECTION
1" = 10'-0"

SCHEDULE B
This forms part of application
DP23-0140

Planner Initials **BC**

City of **Kelowna**
DEVELOPMENT PLANNING

2 RAMP SECTION
1" = 10'-0"